



MANITOU SPRINGS HISTORIC PRESERVATION COMMISSION REGULAR MEETING AGENDA

All upcoming HPC meetings are scheduled to be hybrid,
Zoom (remote) or in-person at Memorial Hall.

In Person: Memorial Hall

606 Manitou Avenue

Manitou Springs, CO 80829

Remote: A link is provided on the City's Official Website at

<https://www.manitouspringsgov.com/544/All-Boards-and-Commissions>

March 4, 2026

5:30 PM

A. CALL TO ORDER

B. APPROVAL OF MINUTES

1. February 4 2026 HPC Minutes

C. PUBLIC COMMENT ON NON-AGENDA ITEMS

D. NOTICE OF COUNCIL ACTION

1. Introduction to City Council Liaison — Councilor Julie Wolfe

E. UNFINISHED BUSINESS

F. NEW BUSINESS

1. MCAC 2602 - 832 Midland Ave (New Residential)
2. MCAC 2604 - 944 Midland Avenue (New Residential)
3. MCAC 2605 - 946 Midland Avenue (New Residential)
4. MCAC 2603 - 210 Iron Road (Exterior Alterations)

G. OTHER BUSINESS

1. Preservation Award Art Contest Update
2. Scavenger Hunt

H. ADJOURNMENT

Commissioners:

Laura Kindseth, Chair (03/31/2027)
Matthew Rose, Vice Chair (03/31/2028)
Erin Handlin (03/31/2029)
Matthew Murphy (03/31/2028)
Ann Nichols (03/31/2029)
Joy Porter (3/31/2029)

Staff and Liaisons:

Julie Wolfe, City Council Liaison
Fred Rollenhagen, Planning Director
Chelsea Royston, Senior Planner
Erin Ringsred, Planner and Landscape Architect II
Zachary Davison, Planner II

Avrie Tomsik (03/31/2029)
Tammila Wright, Alternate Member (03/31/2028)

2 alternate positions available

The City of Manitou Springs does not discriminate on the basis of disability in the admission to, access to, or operations of programs, services or activities. Reasonable accommodation will be provided to ensure equal access to all. Individuals who would like to request auxiliary aids or services should contact the ADA Coordinator at (719) 685-5481 or jfryer@manitouspringsco.gov. You may also contact the City Clerk's Office at cityclerk@manitouspringsco.gov or (719) 685-2554. Please provide a minimum of 3-5 days advance notice.

Interested citizens are invited to serve on any of the City's Boards or Commissions. Please contact the City Clerk's Office for more information or visit our website at: www.manitouspringsgov.com.



**CITY OF MANITOU SPRINGS
HISTORIC PRESERVATION COMMISSION**
Regular Meeting Minutes
Hybrid Meeting via Zoom and at Memorial Hall
February 4, 2026

A. CALL TO ORDER

A Regular Meeting of the Manitou Springs Historic Preservation Commission (HPC) was held at Manitou Springs Memorial Hall, 606 Manitou Avenue. Chair Kindseth called the meeting to order at 5:30 PM and declared a quorum present.

COMMISSIONERS PRESENT FOR ROLL CALL:

Chair Laura Kindseth
Vice Chair Matthew Rose
Commissioner Erin Handlin
Commissioner Ann Nichols
Commissioner Joy Porter
Commissioner Avrie Tomsik
Commissioner Matthew Murphy

COMMISSIONERS ABSENT FOR ROLL CALL

Alternate Commissioner Tammila Wright

STAFF PRESENT:

Senior Planner Chelsea Royston
Planning Director Frederick Rollenhagen

GUESTS PRESENT:

City Attorney Representative Katherine Vera

B. APPROVAL OF MINUTES

1. HPC Minutes January 7, 2026

Commissioner Nichols moved to approve the minutes as presented. Commissioner Handlin seconded the motion. The motion passed (7-0).

C. PUBLIC COMMENT ON NON-AGENDA ITEMS

There was no public comment.

D. NOTICE OF COUNCIL ACTION

Director Rollenhagen shared that the City Council had a second reading of an ordinance regarding existing inadvertent encroachments. He explained how certain historic locations throughout the City could be allowed to receive encroachment allowance, which could ensure that they remain in place.

E. UNFINISHED BUSINESS

There was no Unfinished Business.

F. NEW BUSINESS

There was no New Business.

G. OTHER BUSINESS

1. Preservation Award Artwork Competition

Chair Kindseth suggested creating a competition for artists in Manitou Springs to be included in the Historic Preservation Awards.

Planner Royston stated that this may be a challenge, due to limitations on which mediums of art can be used, along with budgetary and time restrictions. She proposed tying the competition into the yearly photo competition that the City does, but noted that this could be challenging without a Public Information Officer.

There was a brief discussion regarding the budget for the Awards. In which Director Rollenhagen advised that the HPC not exceed the allocated \$300 budget. The total budget for the HPC was discussed and how the money could be allocated.

Commissioner Tomsik proposed to hold a high school art competition for the awards. Chair Kindseth supported the idea.

Commissioner Tomsik volunteered to reach out to the High School, and options for publicity were discussed.

Vice Chair Rose proposed that the award amount be \$100, Chair Kindseth agreed with this idea.

Submittal methods for the art were discussed. Planner Royston proposed the art be submitted digitally, and the winner would have the physical copy obtained for framing.

Planner Royston proposed that the competition be held in March and selection of a winner could take place in April, with the awards to follow in May. A discussion on scheduling took place, and it was decided that the submissions would be due on April 24, 2026, and a selection would be made at the May 6, 2026 HPC meeting. Chair Kindseth would reach out to the Library to secure May 28, 2026 for the awards.

Criteria for the art was discussed. Commissioner Tomsik would reach out to the Art Teachers at the school for standard size guidelines along with a time to propose the contest to students. It was determined that the art would have to be two-dimensional, not photography, and an image of a structure in the Manitou Springs Historic District.

Commissioner Porter suggested that \$150 would be an adequate award because the students would have to purchase their own art supplies.

2. Outreach and Education Programs

Chair Kindseth shared Vice Chair Rose's ideas to promote Historic Manitou Springs through information tabling at local farmers markets. Vice Chair Rose emphasized that this would fill the role of commissioner outreach and education to the public.

3. Social Media Posts

Commissioner Murphy suggested an HPC Introduction post on Social Media. Two different options for posts were discussed, which were both regarding an introduction of the HPC and their duties with different wording, as well as inserting the post into the City's biweekly newsletter. Director Rollenhagen proposed providing the post to the Public Information Officer for distribution on the City's social media platforms. Planner Royston pointed out that in the second option, the text should say quasi-judicial rather than advisory board in reference to the HPC.

Commissioner Murphy motioned to use the second paragraph, changing the language within it to quasi-judicial board. Commissioner Nichols seconded the motion. Commissioner Porter opposed, in favor of the first option. The motion passed (6-1).

Ideas for future social media posts were discussed, including benefits of repairing over replacing, Preservation Briefs, Profiling of different historic subdistricts, approval processes, grants, incentives, tax credits, events, and successful projects.

Planner Royston suggested that commissioners could send her articles to be placed in the City Newsletter. Director Rollenhagen offered to speak with the City Clerk about social media posts.

4. Upcoming Events

The upcoming Saving Places conference was discussed. Commissioner Handlin and Vice Chair Rose expressed interest in attending. The conference would be attended remotely to keep costs low.

A discussion ensued regarding the Architectural Treasure Hunt. Chair Kindseth proposed an April start date for preparations. Vice Chair Rose suggested beginning to take photos for the event now, and volunteered to work on the artwork and graphics for the event again. The photos were explained to be of architectural features around town

within the Historic Districts. Photos and Art would be ready by the March Meeting. Advertising for the event was discussed, including promotion at local businesses.

5. Planning Director Updates

Director Rollenhagen provided an update on Title 17 revisions and the historic inventory of the Log Cabin Sub District. He spoke about possible funding opportunities for the projects, which included a possible Certified Local Government (CLG) grant, but noted this wouldn't cover the cost of the inventory project. He shared that a grant from the State Historic Fund might support funding, but the grant would require a match, which might not be possible.

Director Rollenhagen explained that the Title 17 revisions were not clear to be undertaken yet, and the scope of the project was unknown. The City Attorney is reviewing the demolition permit process, including potential penalties and fees for work without a permit. Revisions for the HPC to consider include energy efficiency, acceptable material for upgrades and signage standards within the Historic District.

H. ADJOURNMENT

The meeting adjourned at 6:55 PM.

If you need this document in an alternative format, such as large print, accessible PDF, or Braille, please contact the City Clerk's Office at cityclerk@manitouspringsco.gov or (719) 685-2554.



Title: MCAC 2602 - 832 Midland Ave (New Residential)
From: Zach Davison - Planner
To: Historic Preservation Commission
Address of Proposal: 832 Midland Avenue
Applicant: LGA Studios, applicant, on behalf of Carey Mossop, property owner.

March 4, 2026

Proposal:

LGA Studios, applicant, on behalf of Carey Mossop, property owner, requests a Material Change of Appearance Certification for the development of a new single household detached dwelling. The applicant also requests relief of the height limitation to allow up to an additional five feet to accommodate the steep roof pitch.

Zone District:

General Residential (GR)

Historic Subdistrict:

Midland

Background and Existing Conditions:

The proposed structure is designed as a "walk-out" Craftsman-style bungalow that utilizes the site's steepness to remain visually subordinate to the streetscape while revealing its full two-story rear massing as the grade descends. The structure will feature wood frame construction, 6-inch wood lap siding, and half-cove wood shingles on the gables. Windows and doors are proposed from the Marvin Vivid Series, primarily fiberglass in composition. To integrate the structure with the landscape, the design incorporates natural limestone and boulder rock for its retaining walls. Measured from the finished floor to the roof ridge, the front street-level façade reaches a height of approximately 17 feet, 7 inches, while the rear façade reaches a height of roughly 29 feet, necessitating the applicant's request for height relief. The visual impact of the rear elevation is significantly mitigated by the site's surroundings. The rear of the property borders the historic Midland Railroad right-of-way and the Prospect Place parking lot. Furthermore, much of the rear massing is naturally masked by established vegetation, which will obscure it from public view.

The applicant is seeking a MCAC to construct a single household detached dwelling. The proposed two-story structure will have a 1,160-square-foot footprint, which includes a deck and an attached single-car garage. Due to the configuration of the lot, which backs to what was previously Midland Railway Right-of-Way, the proposed garage access and driveway face Midland Avenue. The topography of the site slopes away from Midland Avenue which impacts how the height of the structure is calculated. The 2023 Land Use and Development Code describes height calculation under Section 18.02.1.4.C Building Height. Subsection 2.a states



"Within Historic Districts, the maximum building height for the Zone District may be exceeded subject to the Historic District Design Guidelines or approval of a Material Change of Appearance Certification which incorporates steep roof pitches." and the General Residential Zone District Dimensional Standards identify the maximum height that the Historic Preservation Commission can approve is thirty feet (30'), which is five feet more than the zone district permits without MCAC approval. Given the topography of the site, the rear facade of the structure is proposed to be approximately 29 feet, should the MCAC be approved.

The Land Use and Development Code and the Historic Design Guidelines do not assign a numerical definition to the term "steep roof pitch." Instead, it links the allowance for additional height within Historic Districts to roof forms that are evaluated under the Historic District Design Guidelines. The Guidelines assess roof form in relation to architectural character, scale, and neighborhood context rather than a fixed pitch ratio. As a result, "steep" is interpreted qualitatively and in context.

In the absence of context of a fixed pitch ratio, staff reviewed roof slopes of surrounding residential structures along this block of Midland Avenue to establish a contextual baseline. The proposed roof pitch was compared to a range of existing pitches visible from the public right-of-way. Within this context, the proposed pitch meets or exceeds the upper range of roof slopes present on the block. Accordingly, "steep" in this instance is not defined in isolation, but relative to the established architectural pattern on the immediate streetscape. The proposed roof form reflects a pitch that is at least as pronounced as those historically present in the area and therefore can reasonably be considered steep in relation to its surroundings.

Public Involvement:

The application was noticed in accordance with Section 17.04.100 of the Manitou Springs Municipal Code. No public comment has been received as of the publication of this report.

Findings and Review Criteria:

The following guidelines are applicable to this project:

Chapter 5: Guidelines for New Residential Construction

5.1 New buildings shall match the alignment of adjacent existing structures.

The proposed structure maintains a front setback consistent with adjacent residences along the block. The alignment of the front façade follows the established setback pattern.

5.2 The relationship of the front entrance to the street shall be similar to other structures within the neighborhood.

The primary entrance is located on the front façade and faces the street, consistent with surrounding residential structures.



5.3 New buildings shall be similar in height to adjacent structures.

The front façade height is comparable to adjacent residences. The structure is proposed to have a height of approximately 17 feet 7 inches on the front façade adjacent to Midland Avenue. Due to site topography and the way height is measured, the rear façade is proposed to be approximately 29 feet. Maximum height in the General Residential Zone District is 25 feet, except as provided for in the second footnote to the dimensional standards table which states that HPC can permit building height up to 30 feet to allow for steep roofs. The term “steep roof” is not defined in the Historic Preservation Code or the Historic District Design Guidelines. The roof is proposed to have a 6.5/12 pitch.

5.4 The mass and scale of a new building shall be similar to existing historic structures located in the historic subdistrict.

The proposed building footprint and two-story form are consistent with existing residential development on the block. The structure presents as one story from the street and steps down to a two story due to site slope, as is the case for neighboring properties.

5.5 Cascading of multi-family residential developments is prohibited. The design of individual units shall not be repeated.

Not Applicable.

5.6 New buildings should employ materials and finished that complement existing historic resources contained in the district.

Proposed exterior materials include wood lap siding and wood shingles. Retaining walls incorporate natural stone. These materials are consistent with those used on historic structures in the subdistrict.

The proposed materials include:

- Wood horizontal lap siding with six-inch reveal
- Half-cove wood shingles in the front and rear gable.
- Fiberglass door and windows
- Asphalt shingle roofing
-

Please see the application narrative for the complete list of proposed materials.

5.7 Integrate roof forms that are similar to those forms seen on historic structures within the historic subdistrict where the new construction is proposed.

The proposed roof is a gable form consistent with roof types observed on surrounding residences. The pitch of approximately 6.5:12 falls within the range of roof pitches documented



on the block.

5.8 Roof materials shall appear similar in scale and texture to those materials used on historic structures.

The proposed roofing material is consistent in scale and texture with asphalt or composite shingle materials commonly used in the district.

5.9 Locate porches on the front façade of a new structure to maintain the historic orientation of the front entrance of a building toward the street.

A front-facing porch is incorporated into the primary façade, maintaining the established orientation of entrances toward the street.

Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to approve the Material Change of Appearance Certification, staff do not recommend any conditions.

Motion Language Options:

Approve the Material Change of Appearance Certification at 832 Midland Avenue, based upon the findings that the request meets the review criteria for granting a Material Change of Appearance Certification as set forth in City Code Section 17.04.050.B.5.

Approve the Material Change of Appearance Certification at 832 Midland Avenue, based upon the findings that the request meeting the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with conditions as follows...

Deny the Material Change of Appearance Certification at 832 Midland Avenue, based upon the findings that the request does not meet the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5.

Postpone the Material Change of Appearance Certification at 832 Midland Avenue, to April 1, 2026, for further consideration.

February 2, 2026

Property: 832 Midland Ave

Owner: Carey & Susan Mossop
7001 Seaview Ave NW, Suite 160-482
Seattle, WA 98117
(615) 601-1893
careymossop@gmail.com

Contractor: Palace Homes Inc. – Gordon Stegner
1216 W. Colorado Ave #110
Colorado Springs, CO 80904
(719) 491-9635
gordon@palacehomes.com

Architect: LGA Studios – Lacey Wells
201 E Las Animas STE 113
Colorado Springs, CO 80903
(719) 635-0880
laceyw@lgastudios.com

Planning Department of Manitou Springs:

Carey and Susan Mossop purchased this empty lot with the intention to build a new single family residence as their retirement home. The design intent of this project is to create a modest bungalow that meets the accessibility needs of aging in place. The design was created based on the simple forms and detailing of the bungalow style, with a fun application of Earthtone / Manitou colors.

The property as it sits today is undeveloped with 6 large trees. According to the El Paso County Assessors, the neighboring houses were built 70 plus years ago, with 840 Midland built in 1899, 836 Midland built in 1956, 828 Midland built in 1910, and 824 Midland built in 1904. Unfortunately, this means that adding a house on this property will have a noticeable impact on the surroundings because it has remained vacant for so long. To mitigate the impact, the design will protect the three large trees on the east side of the property. Additionally, several of the neighbor's retaining walls and exterior stairs are within the property boundary of 832 Midland Ave. It is the intent to leave all the existing site improvements intact for historical preservation and site retaining integrity.

Another impact mitigation tactic relates to the roof pitch / building height. To better harmonize with the existing houses, the roof pitch was raised to 6 ½":12" to be considered a steep pitch and remain under the 30' maximum building height.

As a detailed description of the proposal, the following features that characterize the Midland Subdistrict are listed below:

1. **Building siting laid out in a grid pattern:** The house is situated parallel with the property lines, with the front porch in line with the existing buildings on either side. The footprint is comprised of clean, rectilinear shapes that fit nicely into the grid pattern.
2. **Moderately scaled residences:** The house is modestly sized at 23 feet wide by 58 feet long with several jogs in the footprint to reduce the overall appearance of the massing.
3. **Terracing of sites related to the historic railroad right of way:** The site design has several terraced areas with retaining walls that face the historic railroad right-of-way.





4. **Bungalows and cottages:** This plan incorporates multiple design elements of the craftsman bungalow with exposed roof rafters at the porch, partial width porch with square columns, exposed timber beams, columns extending to the ground, and decorative elements in the gables.
5. **Wood frame construction:** The house is to be of wood frame construction with wood siding and shingles. See below for a full list of exterior materials.
6. **Cut stone walls:** The new retaining walls will be constructed of Natural Limestone Boulder/rock from the Minzer Pit.
7. **Unique detailing:** This plan features heavy timber post and truss construction at the front porch and rear deck, similar to current Colorado Timber trends. The gable ends on the front and rear feature shingle siding, reminiscent of the bungalow style.

The owner is planning on having all improvements made by spring of 2027.

Exterior material and color selections:

- **Siding:** 6" Wood lap siding – painted – Poised Taupe SW6039
- **Trim:** Wood – painted – Rural Green SW6418
- **Fascia/trim:** Wood – Painted – Magic Black SW6991
- **Shingle Siding:** Half-cove wood shingles – painted – Magic Black SW6991, Enticing Red SW6600, Begonia SW6599, & Biscuit SW6112
- **Roof:** Asphalt shingles – GAF Timberline - Charcoal
- **Windows:** Marvin Vivid Series – Fiberglass Windows - Ebony
- **Doors:** Marvin Vivid Series – Fiberglass Doors – Ebony; Milgard (Western) Multi slide door – Aluminum – Bronze anodized
- **Front Door:** Thermatru S84800 – Painted – Magic Black SW6991
- **Garage Door:** Overhead Door Thermacore 5740, Vertical Short Panels – Painted – Magic Black SW6991
- **Timbers:** Wood timbers – painted – Rural Green SW6418
- **Railings:** RDI railings, Latitude – Metal – Painted Black
- **Exposed foundation:** Concrete – Painted – Poised Taupe SW6039
- **Retaining walls:** Natural Limestone Boulder/rock from the Minzer Pit
- **Driveway:** Asphalt paving
- **Porch:** 4" concrete – Broom finish
- **Patios:** 4" concrete – Broom finish

Respectfully,

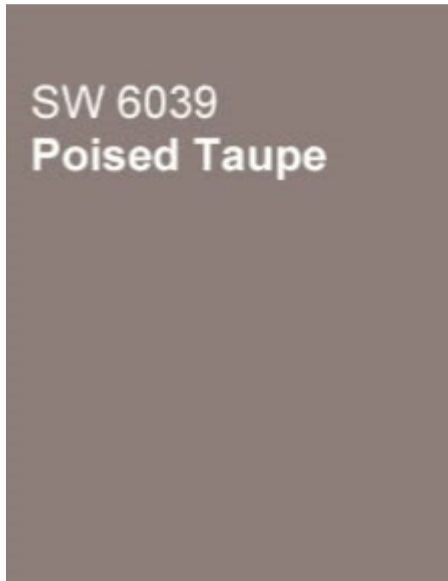
Lacey Wells, ARCHITECT, CSI, CDT

Pictures of Existing Conditions:

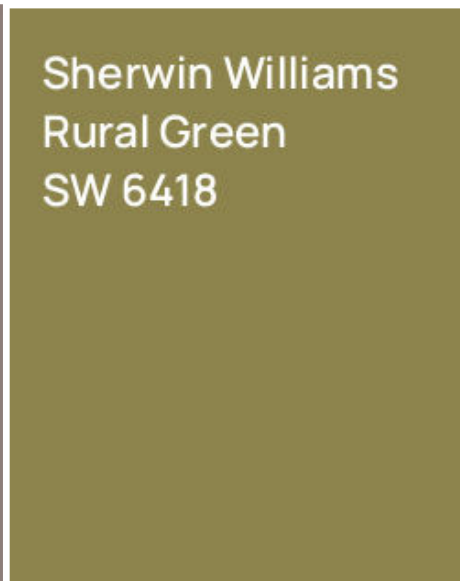




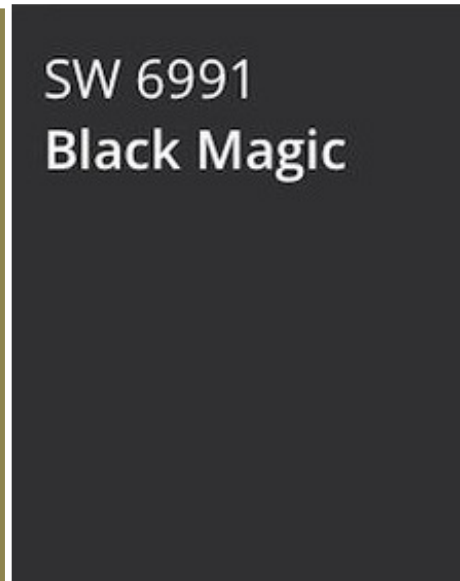
Pictures of Proposed Materials:



Main Body Color



Main Trim Color



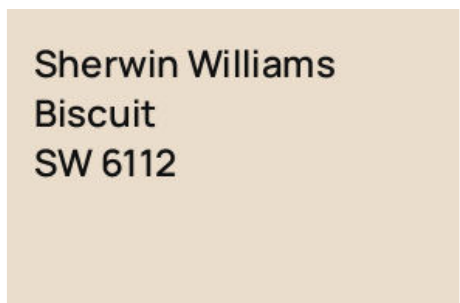
Accent Trim Color



Gable Accent Color



Gable Accent Color



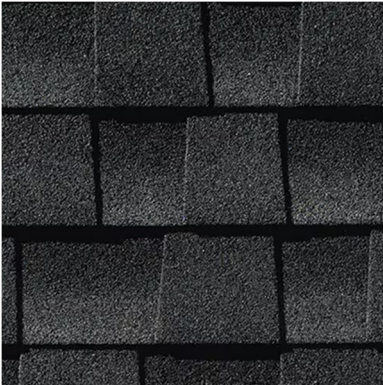
Gable Accent Color



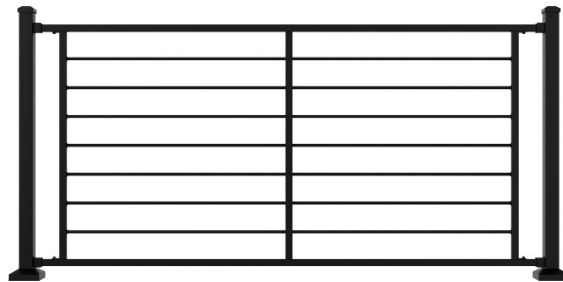
Siding style



Shingle style



Roof



Railing



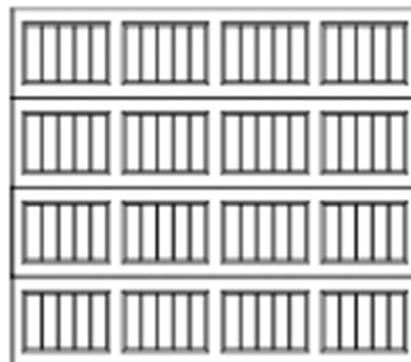
Windows



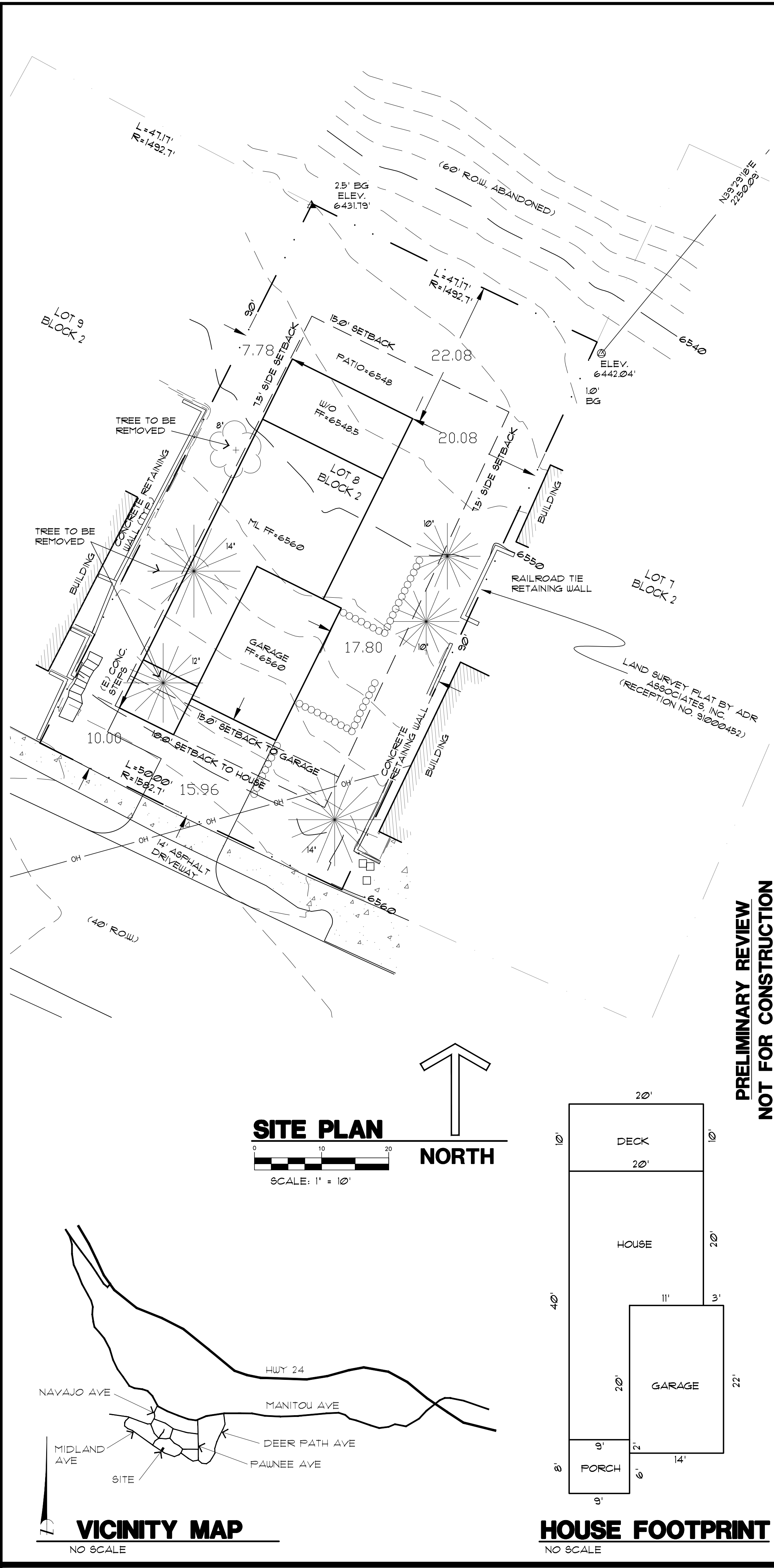
Sliding Glass Door



Front Door



Garage Door



SITE INFO:

ADDRESS:
832 MIDLAND AVE

LEGAL:
LOT 8, BLK 2, SUB OF PART OF BLK D + E, MANITOU SPRINGS, EL PASO COUNTY, COLORADO.

SITE DATA:
LOT SIZE = 4350 SQFT
BUILDING FOOTPRINT =
HOUSE = 580 SQFT
GARAGE = 308 SQFT
PORCH = 72 SQFT
DECK = 200 SQFT
TOTAL = 1160 SQFT

LOT COVERAGE = 26.7%
ZONING = GR
TAX SCHEDULE # = 74053-25-021
DEVELOPMENT PLAN = R00263
BUILDING HEIGHT = SEE ELEVATIONS

SITE NOTES:

- 1) Topographic information is to be supplied by others. See below for info.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- 5) Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- 6) Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- 7) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- 8) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- 9) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- 10) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

SITE LEGEND:

PROPERTY LINES & CORNERS

PROPOSED BOULDER RETAINING WALL

⊙ = NATURAL GRADE
⊘ = FINISH GRADE

NO ROCK OUT CROPPING EXIST AT SITE

SITE TERMS:

ABBREVIATIONS:
 BOW = BOTTOM OF RETAINING WALL
 (E) = EXISTING TO REMAIN
 LL = LOWER LEVEL
 ML = MAIN LEVEL
 (N) = NEW CONSTRUCTION
 (R) = REMOVE
 R.O.W. = RIGHT OF WAY
 SB = SETBACK
 SQ. FT. OR SF = SQUARE FEET
 TOP = TOP OF FOUNDATION
 TOW = TOW OF RETAINING WALL
 UL = UPPER LEVEL
 WO = WALKOUT

REFERENCE INFO:

TOPO INFO:
 RAMPART SURVEYS, LLC
 P.O. BOX 5101
 WOODLAND PARK, CO. 80866
 PHONE # (719) 687-0920
 EMAIL: JANET@RAMPARTLS.COM
 DRAWING: 25401 TOPO.DWG

CLIENT/OWNER INFO:
 CAREY MOSSOP
 832 MIDLAND AVE
 MANITOU SPRINGS, CO. 80829
 PHONE # (615) 601-1893
 EMAIL: CAREYMOSSOP@GMAIL.COM

REVISIONS

LGA STUDIOS
 201 E. Las Animas Street Suite 113
 Colorado Springs, CO. 80903
 Phone: (719) 635-0880
 Fax: (719) 694-2088
 LGAstudiosmailbox@gmail.com
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CONTRACTOR

PALACE HOMES INC.
 1216 W COLORADO AVE #110
 Colorado Springs, CO 80904
 Phone: (719) 481-8835
 EMAIL: GORDON@PALACEHOMESINC.COM

THE

MOSSOP RESIDENCE
 832 MIDLAND AVE-MANTOU SPRINGS
 COMPUTER FILE # 25-2544

DRAWN BY: LCW

CHECKED BY: LGAstudios
 PLOT 01/23/26 3:03 PM

SITE PLAN
 VICINITY MAP
 SITE NOTES

Sheet #
SP1
 OF 1 Sheets

**PRELIMINARY REVIEW
 NOT FOR CONSTRUCTION**

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Colorado Springs, CO. 80903
Phone: (719) 635-0880
office@LGAstudios.com
www.lgastudios.com

CONTRACTOR
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1216 W COLORADO AVE #110
COLORADO SPRINGS, CO 80904
PHONE: (719) 481-9635
EMAIL: GORDON@PALACEHOMESINC.COM

THE MOSSOP RESIDENCE
832 MIDLAND AVE
MANITOU SPRINGS
PROJECT #25-2544

DRAWN BY: LCW
CHECKED: DMNS
PLOT: 2/2/2026

FOUNDATION LAYOUT & LOWER LEVEL FLOOR PLAN

Sheet #
A1
OF 5 SHEETS

GENERAL FOUNDATION NOTES:

- FOUNDATION DESIGN TO BE COMPLETED UPON SITE INSPECTION OF SOILS BY A COLORADO REGISTERED SOILS ENGINEER. DESIGN & SOILS REPORT TO BE ON HAND AT TIME OF INSPECTION AND/OR SUBMITTED TO THE BUILDING DEPARTMENT AT THE TIME OF PLAN CHECK. DESIGN BY AN ENGINEER SHALL BE BASED UPON LOADS FOUND BY USING DRAWINGS BY LGA STUDIOS, INC. IT SHALL BE ADVISED THAT ALL ENGINEERING SHOWN ON THE PLANS SHALL BE VERIFIED BY A PROFESSIONAL ENGINEER AND DISCREPANCIES REPORTED TO THE DESIGNER. FAILURE TO DO SO SHALL RELIEVE THE DESIGNER OF ERRORS.
- ALL GRADES SHALL SLOPE AWAY FROM ANY STRUCTURE A MINIMUM OF 10% OR 1" IN 10' AND SHALL CONFORM TO ALL REQUIREMENTS INDICATED IN SOILS REPORT. SOILS REPORT SHALL GOVERN SLABS, AND FOUNDATION DRAINAGE. STEP FOUNDATION AS PER GRADE CONDITIONS AS SHOWN ON THE ELEVATIONS AND MAY NEED SOME ADJUSTMENT AT SITE.
- SEE PLUMBING AND MECHANICAL CONTRACTORS FOR ANY REQUIRED PENETRATIONS.
- INSTALL ALL COLUMN ANCHORS PER MFG. SEE MAIN LEVEL FLOOR FRAMING PLAN FOR COLUMN ANCHOR TYPE AND LOCATION.
- PROVIDE 3" MINIMUM BEARING AT BEAM POCKETS (TYP).
- FIELD VERIFY ACTUAL WALKOUT LOCATION WITH SITE PLAN AND AT SITE PER EXISTING SITE CONDITIONS.
- PROVIDE MINIMUM PERIMETER FOUNDATION INSULATION AS REQUIRED PER CODE. SEE ATTACHED PIKES PEAK BUILDING DEPARTMENT INTERNATIONAL ENERGY CONSERVATION CODE CERTIFICATE.

GENERAL LOWER LEVEL NOTES:

- UNLESS NOTED OTHERWISE ALL CONCRETE FOUNDATION WALL HEIGHTS THIS LEVEL TO BE A 11'-4" FOUR W/INTERIOR WALL HEIGHTS TO BE 11'-0" FIELD VERIFY.
- PROVIDE 'LOW RESISTANCE' RETURN AIR PATH FOR ALL CLOSED ROOMS - USE T-GRILLS OR UNDER-CUT DOORS PER CODE.
- ALL NON-BEARING WALL, STAIRS AND LANDINGS MUST FLOAT.
- MAINTAIN MINIMUM CLEAR SPACE PER THE MANUFACTURER IN FRONT OF THE CONTROL SIDE OF FURNACE & WATER HEATER. WATER HEATER MUST BE PLACED SO THE VENT IS ADJACENT & CLOSEST TO THE VENT STACK. PROVIDE COMBUSTION AIR PATH TO ALL GAS FIRED APPLIANCES PER CODE.

48" MAX HIGH RETAINING WALLS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY WITH SITE PLAN AND ACTUAL SITE CONDITIONS PRIOR TO BACKFILLING. IN ADDITION, VERIFY W/CONTRACTOR ACTUAL RETAINING WALL CONSTRUCTION.

SPECIFIC ELECTRICAL NOTES / SYMBOLS

- (F) EXHAUST FAN (VENT TO EXTERIOR) FANS VENTED THROUGH UNCONDITIONED SPACE MAX 25'-0" & MIN R-6 INSUL
- (S) SMOKE ALARM HARDWIRED & INTERLOCK SMOKE DETECTOR w/BATTERY BACK-UP
- (CO) CARBON MONOXIDE DETECTOR

NOTES:
ALL PLACEMENT OF LIGHTING, OUTLETS, TV, PHONES, SECURITY, COMPUTER, STEREO/VIDEO WIRING, INTERCOM OR ANY OTHER ELECTRICAL FIXTURES SHALL BE VERIFIED PRIOR TO CONSTRUCTION W/CONTRACTOR. ELECTRICAL SHALL BE WIRED PER THE NATIONAL ELECTRICAL CODE AND LOCAL CODES. SEE SPECIFICATIONS DIVISION 260000 BASIC ELECTRICAL REQUIREMENTS.

SPECIFIC FOUNDATION NOTES:

- DROP TOP OF WALL 6" @ DOOR & POUR SLAB OVER. CONTRACTOR TO VERIFY R.O. WIDTH
- DROP TOP OF WALL 6" @ DOOR & POUR SLAB OVER. CONTRACTOR TO VERIFY R.O. WIDTH
- 2X4 MUD SILL W/ 1/2" DIA X 10" ANCHOR BOLTS @ 48" O.C. & 12" FROM ENDS W/MIN. 7" EMBEDMENT W/2 PER PIECE MIN
- DASHED LINES INDICATE R.I. PLUMBING FIXTURES
- NOT USED
- STEP TOP OF FND. SEE ENGINEERED FOUNDATION PLAN FOR MORE INFORMATION
- PROVIDE BLOCK OUTS AS NEEDED IN STEPPED FOUNDATION WALL FOR NOTED WINDOWS.
- RIPPED P.T. OR REDWOOD 2X10 SILL PLATE ATOP FND W/ 1/2" DIA X 10" ANCHOR BOLTS @ 48" O.C. & 12" FROM ENDS W/ MIN. 7" EMBEDMENT W/2 PER PIECE MIN.
- NOT USED

ASSEMBLY NOTES:

- (A) ROOF:
- (B) FASCIA/SOFFIT:
- (C) EXTERIOR WALL:
- (D) EXTERIOR WALL BALLOON FRAME:
- (E) FRAMED FLOOR SYSTEM:
- (F) EXTERIOR DECK SYSTEM:
- (G) RAILING SYSTEM:
- (H) STAIRS:
- (I) BASEMENT FOUNDATION WALL:
- (J) SLAB ON GRADE:
- (K) PERIMETER DRAIN SYSTEM:

ALL ASSEMBLIES AND GENERAL NOTES REFER TO SHEET CS-1 AND SPECIFICATIONS SHEET SS-1

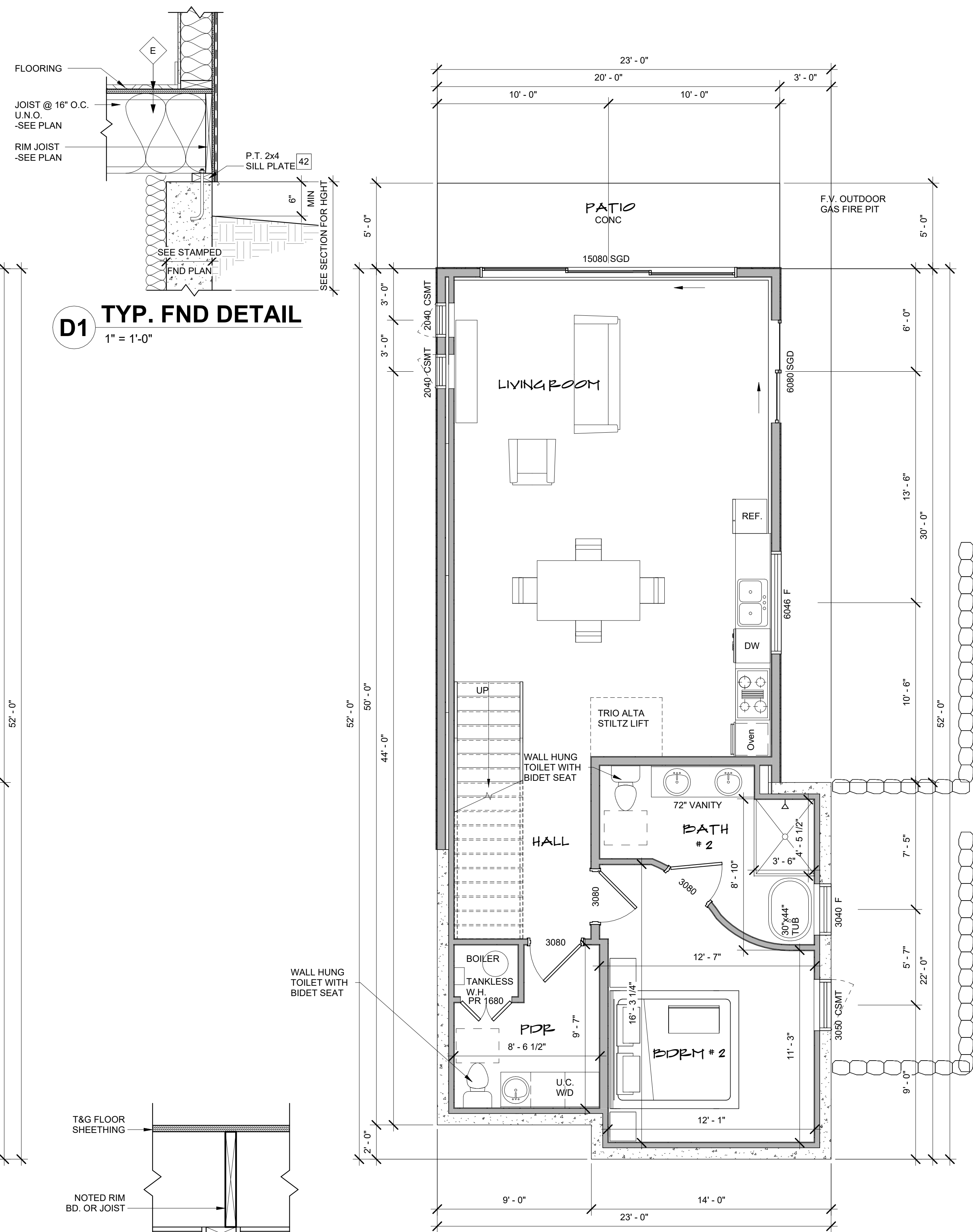
SPECIFIC LOWER LEVEL NOTES:

- METAL WINDOW WELL AS GRADE REQUIRES. PROVIDE 36" MIN CLEAR SQUARE EGRESS WELL W/ LADDER PER IRC 2021 R310.4 (9 SQ' MIN CLR)
- TOP OF WINDOW WELL SHALL BE 36" MIN BELOW BOTTOM OF FLOOR/DECK OVERHANG ABOVE. AT DECK PROVIDE MAX 36" EGRESS PATH FROM UNDER DECK TO YARD OR COURT PER IRC 2021 R310.2.4
- PROVIDE MECHANICAL VENTILATION PER IRC 2021 SECTION R303.1.1 AND ARTIFICIAL LIGHT PER SECTION R303.1.3
- PROVIDE FIRE PROTECTION OF FLOORS PER 2021 IRC R302.13 @ ENTIRE CEILING
- 2x4 FURRED WALL WITH MINIMUM INSULATION PER INTERNATIONAL ENERGY CONSERVATION CODE CERTIFICATE, AS REQUIRED

AREA SCHEDULE	
Name	Area
LL FINISHED	1088 SF
ML FINISHED	580 SF
GARAGE	308 SF
PORCH	72 SF
COVERED DECK	200 SF
PATIO	160 SF
Grand total:	2408 SF

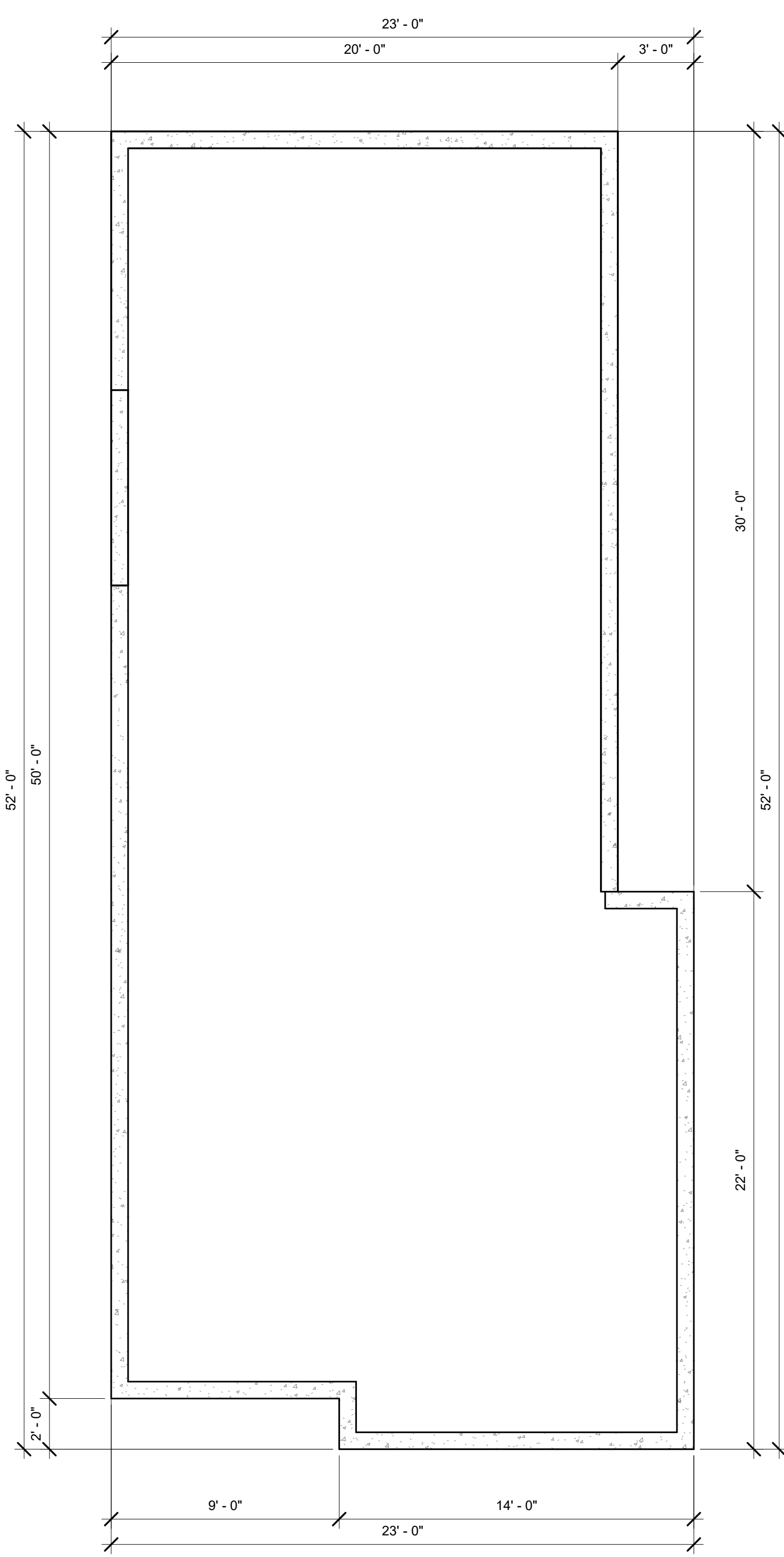
NOTE: FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE NO SHEET CS-11 FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

PRELIMINARY REVIEW NOT FOR CONSTRUCTION



D1 TYP. FND DETAIL
1" = 1'-0"

D2 TYP FLOATING WALL
1 1/2" = 1'-0"



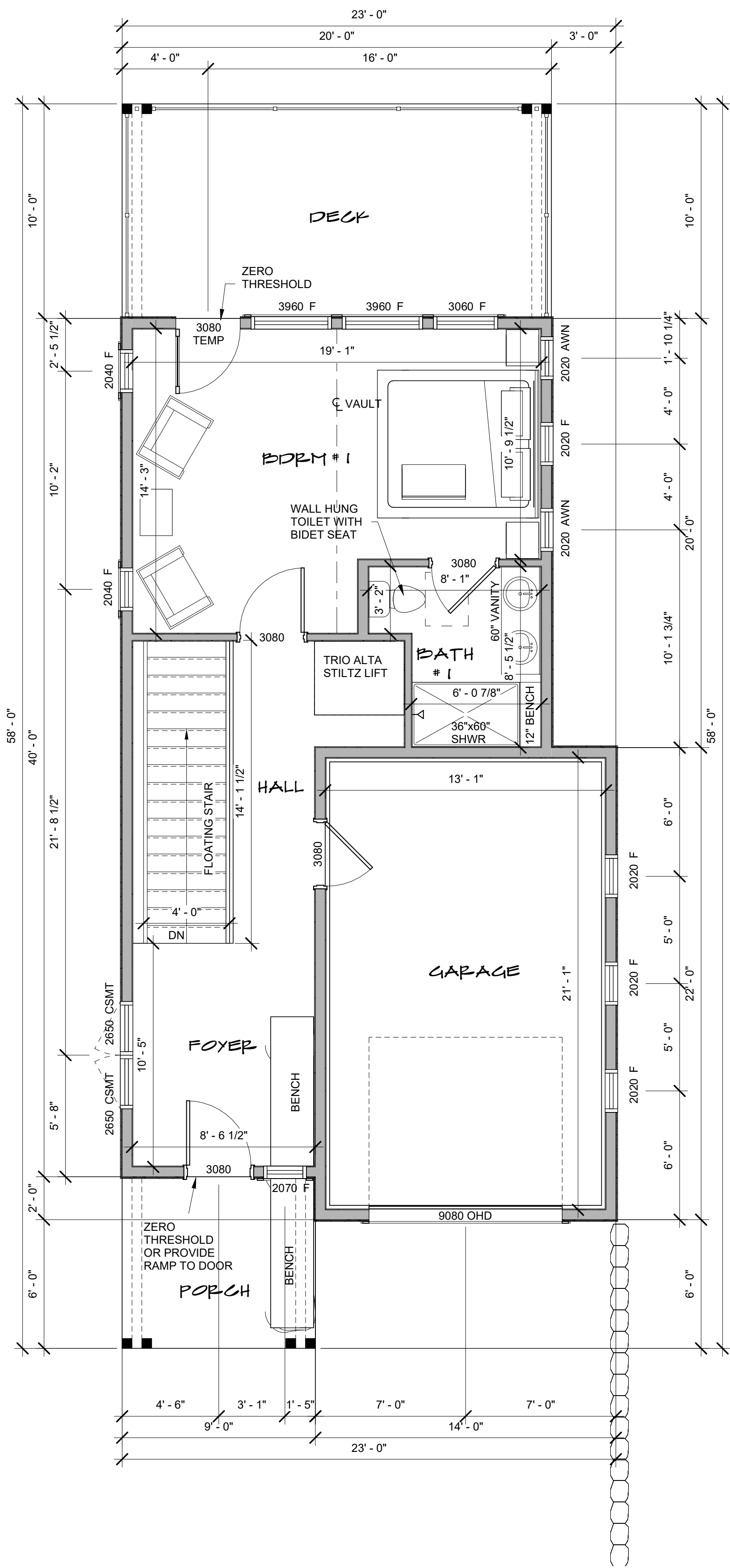
FOUNDATION LAYOUT PLAN
SCALE: 1/4" = 1' - 0"

LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1' - 0"

FOUNDATION LAYOUT & LOWER LEVEL FLOOR PLAN

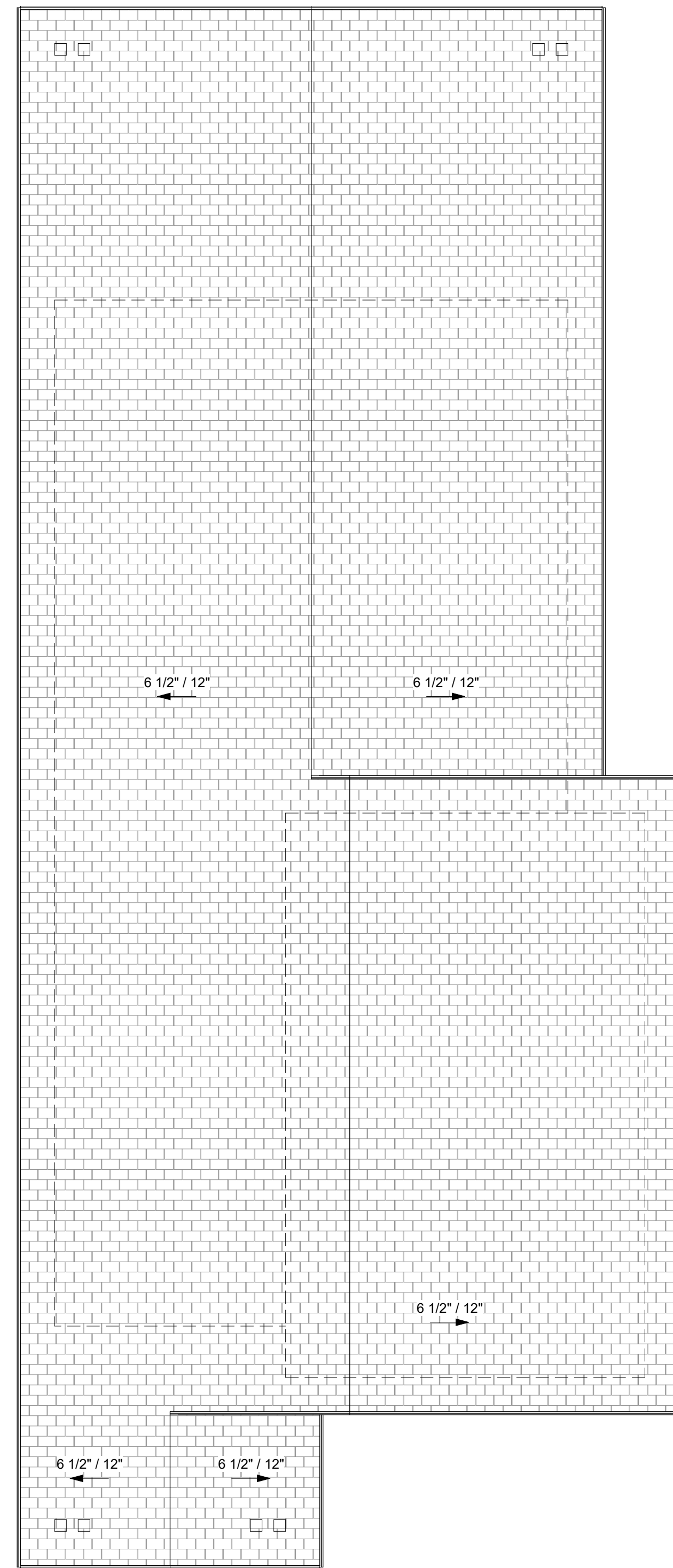
SCALE: 1/4" = 1' - 0"

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MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1' - 0"



ROOF RIDGE PLAN

SCALE: 1/4" = 1' - 0"

AREA SCHEDULE	
Name	Area
LL FINISHED	1088 SF
ML FINISHED	580 SF
GARAGE	308 SF
PORCH	72 SF
COVERED DECK	200 SF
PATIO	160 SF
Grand total:	6 2408 SF

NOTE: FURNITURE SHOWN IS FOR REFERENCE ONLY AND IS NOT PROVIDED AS PART OF THE PLAN. ACTUAL FURNITURE MAY BE DIFFERENT THAN SHOWN.

GENERAL MAIN LEVEL NOTES:

- UNLESS NOTED OTHERWISE ALL NEW WALL HEIGHTS THIS LEVEL TO BE 10'- 1 1/8".
- PROVIDE 'LOW RESISTANCE' RETURN AIR PATH FOR ALL CLOSED ROOMS - USE T-GRILLS OR UNDER-CUT DOORS PER CODE.

SPECIFIC ELECTRICAL NOTES / SYMBOLS

- (F) EXHAUST FAN (VENT TO EXTERIOR) FANS VENTED THROUGH UNCONDITIONED SPACE MAX 25'-0" & MIN R-6 INSUL
- (SMOKE) HARDWIRED & INTERLOCK SMOKE ALARM DETECTOR w/BATTERY BACK-UP
- (CO) CARBON MONOXIDE DETECTOR

NOTES:
ALL PLACEMENT OF LIGHTING, OUTLETS, TV, PHONES, SECURITY, COMPUTER, STEREO/VIDEO WIRING, INTERCOM OR ANY OTHER ELECTRICAL FIXTURES SHALL BE VERIFIED PRIOR TO CONSTRUCTION w/CONTRACTOR. ELECTRICAL SHALL BE WIRED PER THE NATIONAL ELECTRICAL CODE AND LOCAL CODES. SEE SPECIFICATIONS DIVISION 260000 BASIC ELECTRICAL REQUIREMENTS.

ASSEMBLY NOTES:

- A ROOF:
- B FASCIA/SOFFIT:
- C EXTERIOR WALL:
- D EXTERIOR WALL BALLOON FRAME:
- E FRAMED FLOOR SYSTEM:
- F EXTERIOR DECK SYSTEM:
- G RAILING SYSTEM:
- H STAIRS:
- I BASEMENT FOUNDATION WALL:
- J SLAB ON GRADE:
- K PERIMETER DRAIN SYSTEM:

ALL ASSEMBLIES AND GENERAL NOTES REFER TO SHEET CS1 AND SPECIFICATIONS SHEET SS1

SPECIFIC MAIN LEVEL NOTES:

55 NOT USED

GENERAL ROOF RIDGE NOTES:

- PROVIDE 6" MIN. GUTTER AT ALL OVERHANGS AND DOWN SPOUTS AT ALL CORNERS OR AT ALL 30' OF GUTTER RUNS. FIELD LOCATE ALL DOWN SPOUTS SUCH THAT THEY SHALL DRAIN 700% OF ROOF SURFACE PER 2"x4" DOWN SPOUT. ALL DOWN SPOUTS SHALL HAVE TIPOUTS THAT ALLOW FOR DRAINAGE PAST BACK FILL AREAS-APPROX 7'-0" FROM VERTICAL WALL TO PROVIDE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS.
- UNLESS OTHERWISE NOTED:
ROOF OVERHANGS: AT EAVES 16" AT GABLES 16"
- ALL ROOF PITCHES = AS NOTED ON ROOF RIDGE PLAN
- NOTES SHALL APPLY TO ALL ROOF CONDITIONS OF LIKE OR SIMILAR CONDITIONS.
- ICE AND SNOW SHIELD REQUIRED ABOVE 7,000 FEET ABOVE SEA LEVEL.

SPECIFIC ROOF RIDGE NOTES:

65 NOT USED

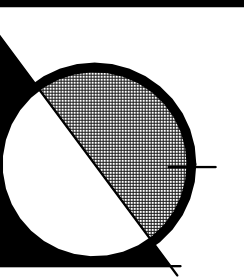
ROOF NOTE SYMBOLS:

[Symbol] = OVERBUILD

NOTE:
FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET "CS1" FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

PRELIMINARY REVIEW NOT FOR CONSTRUCTION

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THE MOSSOP RESIDENCE

832 MIDLAND AVE
MANITOU SPRINGS
PROJECT #25-2544

DRAWN BY: LCW

CHECKED: DMNS

PLOT: 2/2/2026

MAIN LEVEL FLOOR & ROOF RIDGE PLAN

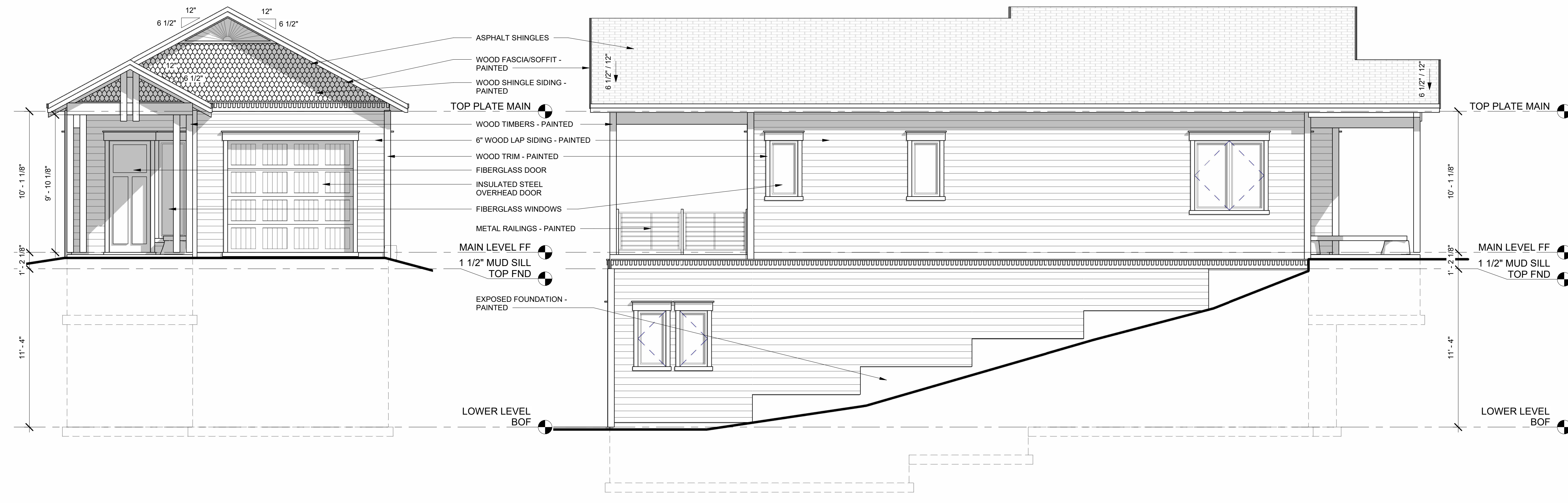
Sheet #

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OF 5 SHEETS

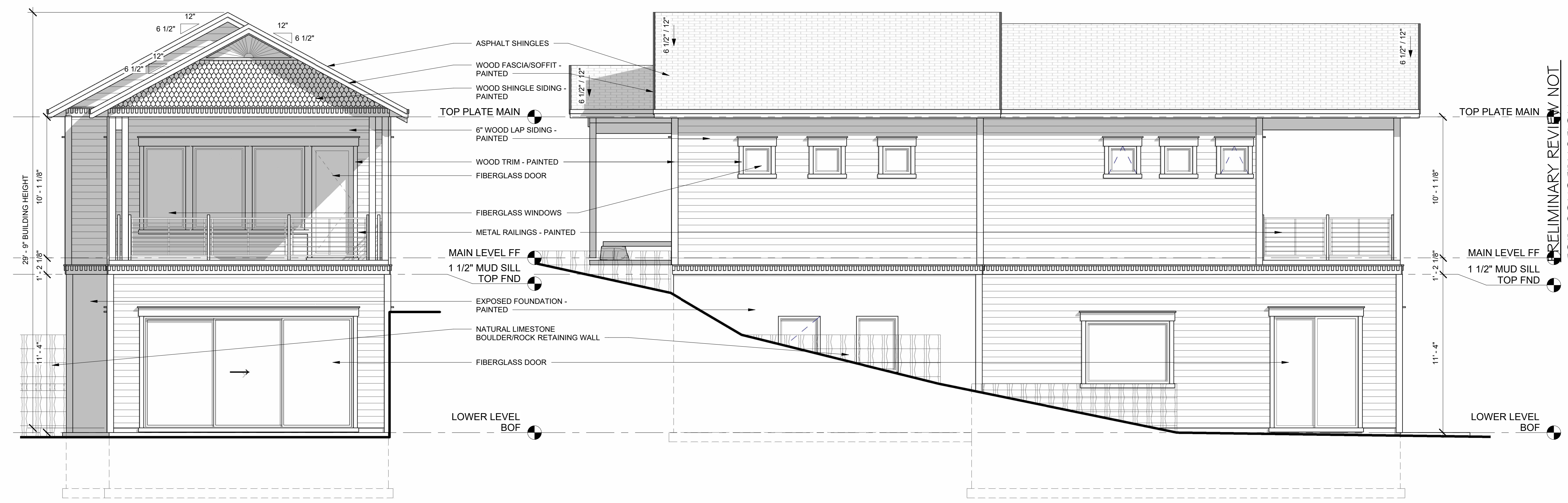
MAIN LEVEL FLOOR & ROOF RIDGE PLAN

SCALE: 1/4" = 1' - 0"



FRONT ELEVATION SCALE: 1/4" = 1' - 0"

LEFT ELEVATION SCALE: 1/4" = 1' - 0"



REAR ELEVATION SCALE: 1/4" = 1' - 0"

RIGHT ELEVATION SCALE: 1/4" = 1' - 0"

NOTE: FURNITURE SHOWN IS FOR REFERENCE ONLY AND IS NOT PROVIDED AS PART OF THE PLAN. ACTUAL FURNITURE MAY BE DIFFERENT THAN SHOWN.

- GENERAL ELEVATION NOTES:**
1. PROVIDE 6" MIN. GUTTER AT ALL OVERHANGS AND DOWN SPOUTS AT ALL CORNERS OR AT ALL 30' OF GUTTER RUNS. FIELD LOCATE ALL DOWN SPOUTS SUCH THAT THEY SHALL DRAIN 700sf OF ROOF SURFACE PER 2"x4" DOWN SPOUT. ALL DOWN SPOUTS SHALL HAVE TIPOUTS THAT ALLOW FOR DRAINAGE PAST BACK FILL AREAS-APPROX 7'-0" FROM VERTICAL WALL TO PROVIDE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS.
 2. ROOF VENTILATION SHALL COMPLY WITH 2021 IRC R806.2. - _____ SQ. FT. OF VENTILATING AREA.
 3. NOTES SHALL APPLY TO ALL ELEVATION CONDITIONS OF LIKE OR SIMILAR CONDITIONS.
 4. ANY BOULDER RETAINAGE WALL SHOWN SHALL BE LESS THAN 48" IN HEIGHT W/60" MIN APART IF MORE THAN (1) WALL OR SHALL BE DESIGNED BY SOILS ENGINEER. ANY RETAINING WALLS ARE SHOWN FOR REFERENCE. FIELD VERIFY WITH SITE PLAN AND ACTUAL SITE CONDITIONS PRIOR TO BACK FILL. IN ADDITION, VERIFY WITH CONTRACTOR ACTUAL RETAINING WALL CONSTRUCTION.
 5. ICE AND SNOW SHIELD REQUIRED ABOVE 7,000 FEET ABOVE SEA LEVEL.

- ASSEMBLY NOTES:**
- | | |
|---|------------------------------|
| A | ROOF: |
| B | FASCIA/SOFFIT: |
| C | EXTERIOR WALL: |
| D | EXTERIOR WALL BALLOON FRAME: |
| E | FRAMED FLOOR SYSTEM: |
| F | EXTERIOR DECK SYSTEM: |
| G | RAILING SYSTEM: |
| H | STAIRS: |
| I | BASEMENT FOUNDATION WALL: |
| J | SLAB ON GRADE: |
| K | PERIMETER DRAIN SYSTEM: |
- ALL ASSEMBLIES AND GENERAL NOTES REFER TO SHEET "CSI" AND SPECIFICATIONS SHEET "SS1"

- SPECIFIC ELEVATION NOTES:**
- 80 NOT USED
 - 81 NOT USED
 - 82 NOT USED
 - 83 DIVIDED LIGHTS AS SHOWN. FIELD VERIFY W/CONTRACTOR PRIOR TO ORDERING AND INSTALLATION
 - 84 FALSE STONE VENEER FIELD VERIFY ACTUAL STONE LOOK W/OWNER PRIOR TO ORDERING AND INSTALLATION
 - 85 WINDOW AND DOOR TRIM
 - 86 DOOR STYLE IS REPRESENTATIONAL ONLY. F.V. STYLE, MATERIAL & AVAILABILITY W/ MFG PRIOR TO ORDERING
 - 87 FALSE DECO GABLE END TRUSS. SCREW INTO GABLE END TRUSS WEBS OR BLOCKING BETWEEN WEBS.
 - 88 VERTICAL SIDING MATERIAL TBD PRIOR TO ORDERING & INSTALLING. F.V. W/ CONTRACTOR
 - 89 HORIZONTAL SIDING MATERIAL TBD PRIOR TO ORDERING & INSTALLING. F.V. W/ CONTRACTOR
- NOTE: FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET "CSI" FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

- ELEVATION NOTE SYMBOLS:**
- = FINISH GRADE LINE
 - - - = EXISTING GRADE ELEVATION
 - 01 = EXISTING GRADE ELEVATION
 - 01 = FINISH GRADE ELEVATION
 - TOW=07 = TOP OF FOUNDATION WALL ELEVATION
 - MO=08 = MAIN LEVEL FINISH FLOOR ELEVATION

ELEVATIONS SCALE: 1/4" = 1' - 0"

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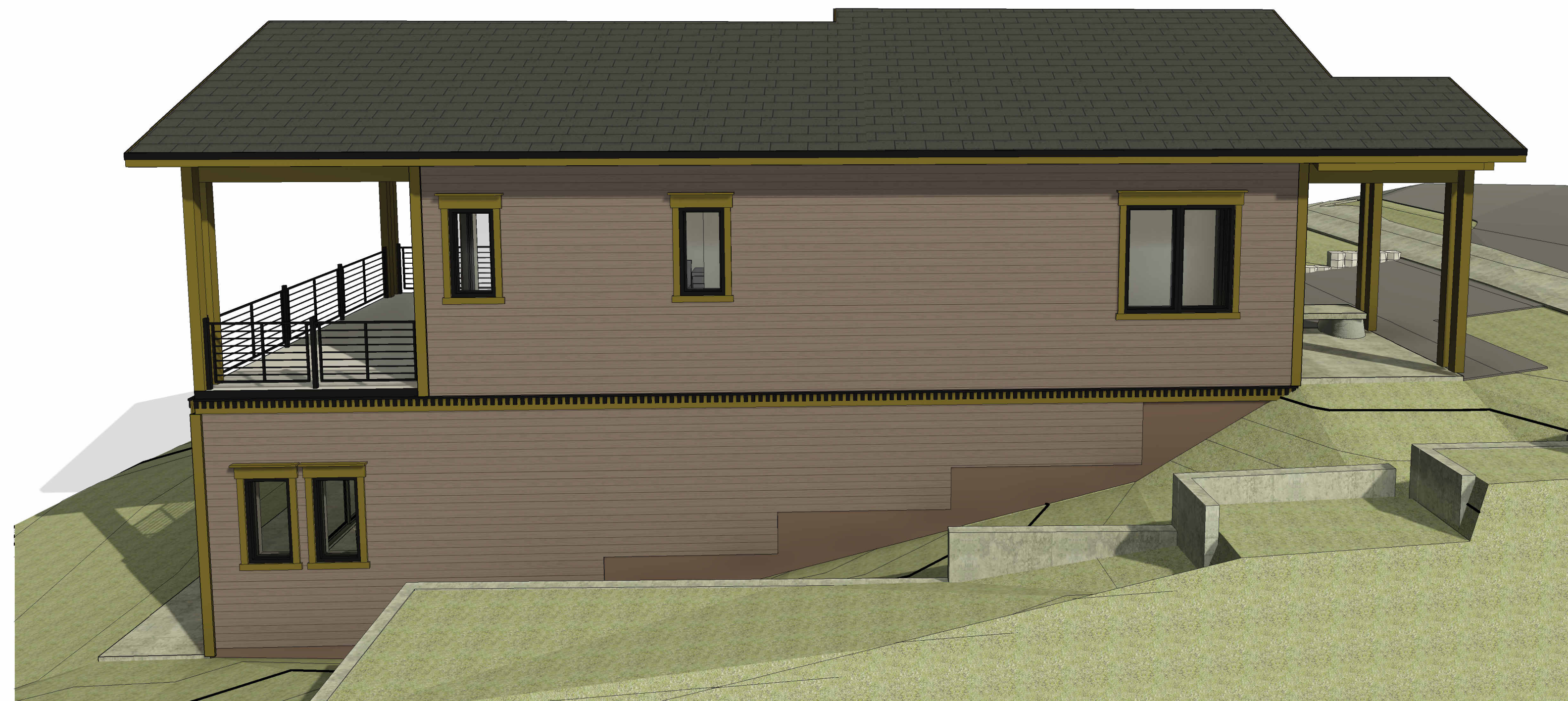
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PLOT: 2/2/2026

ELEVATIONS

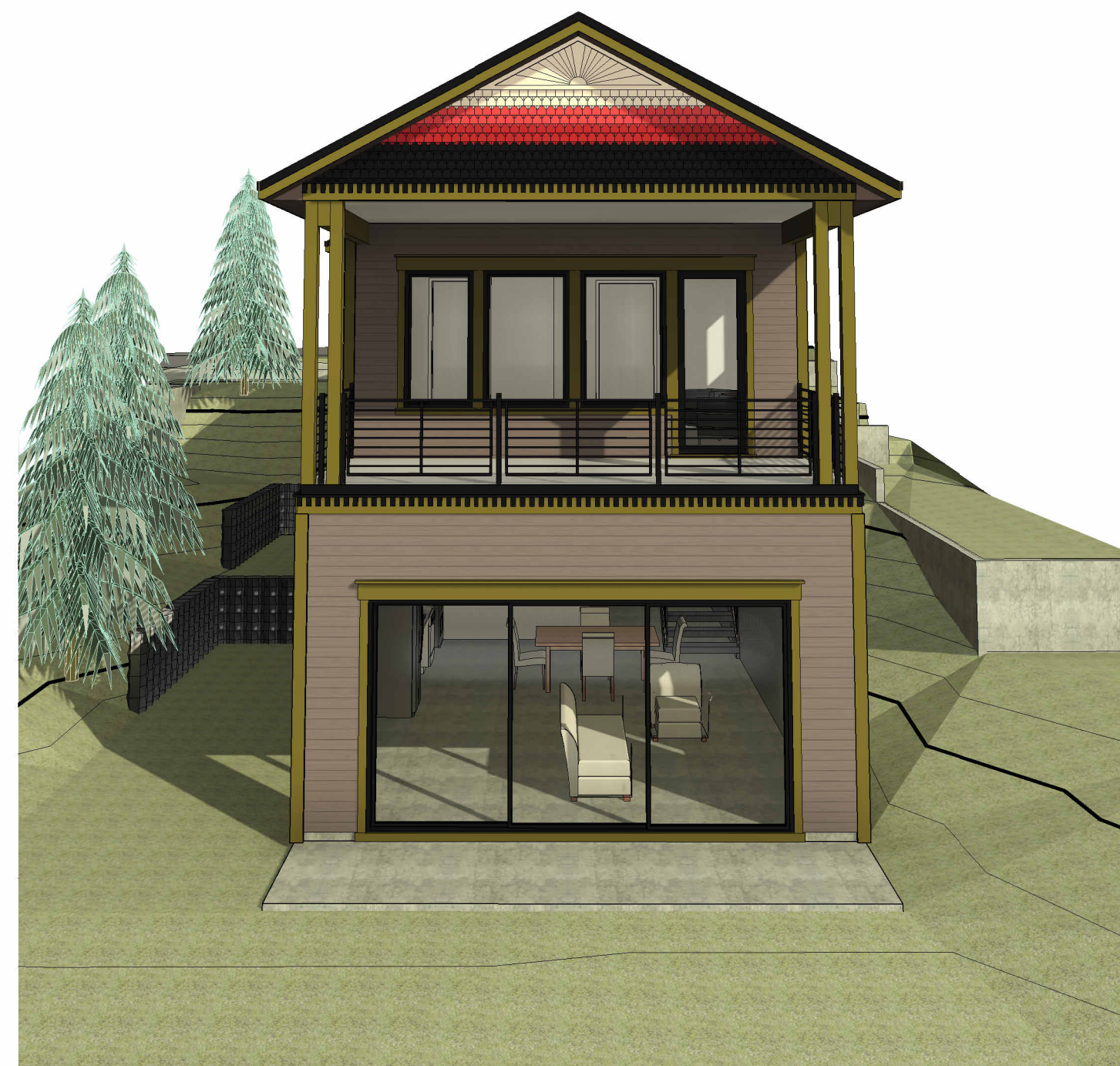
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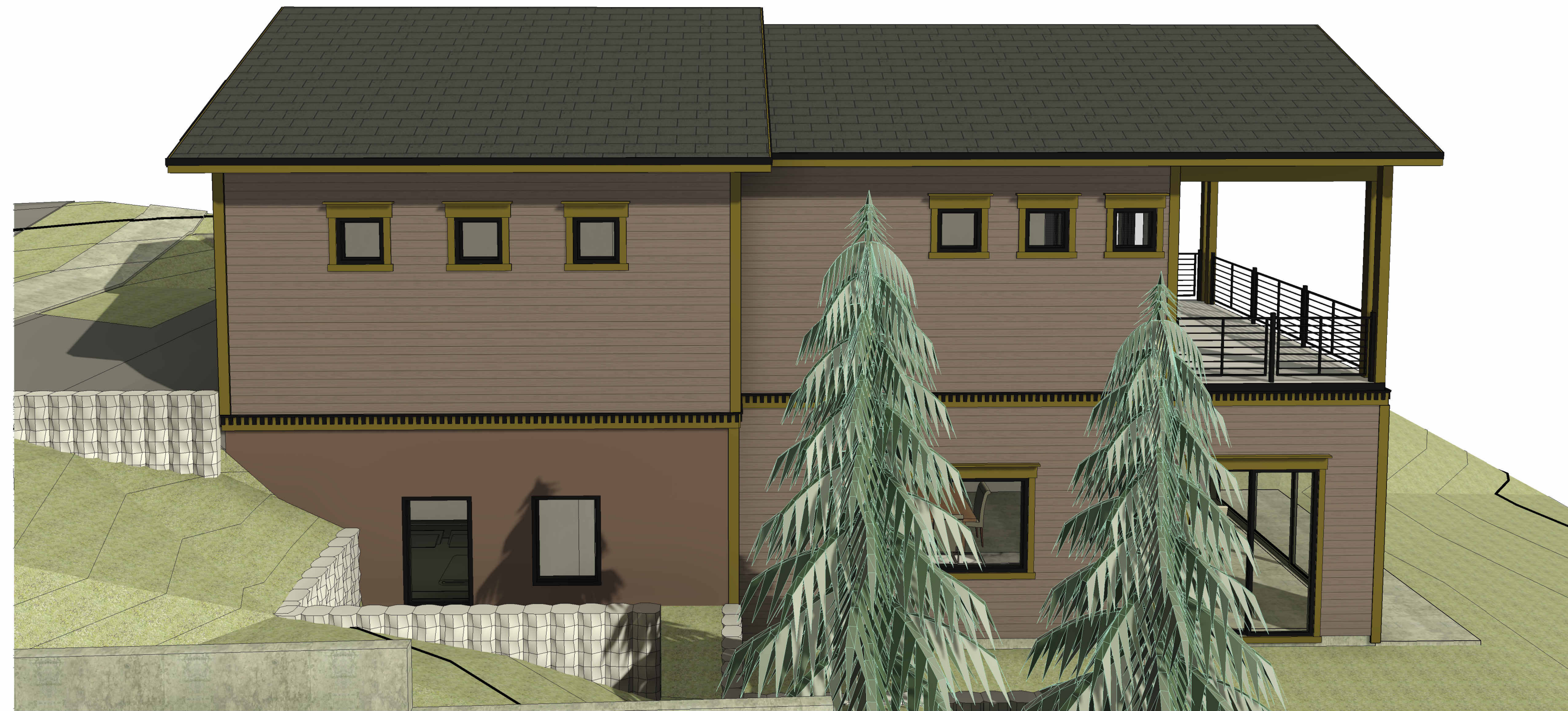
1 3D View 1



2 3D View 2



3 3D View 3



4 3D View 4

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3D VIEWS

Sheet #

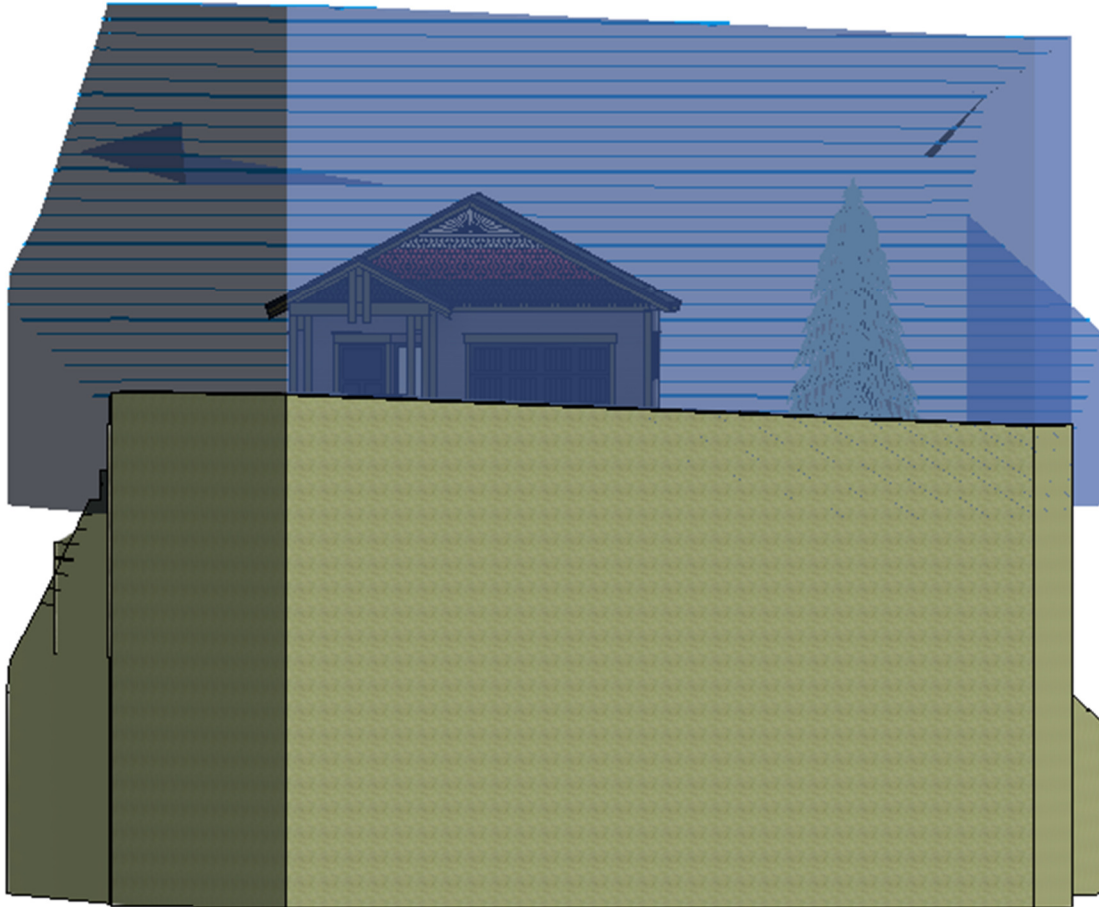
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OF 5 SHEETS

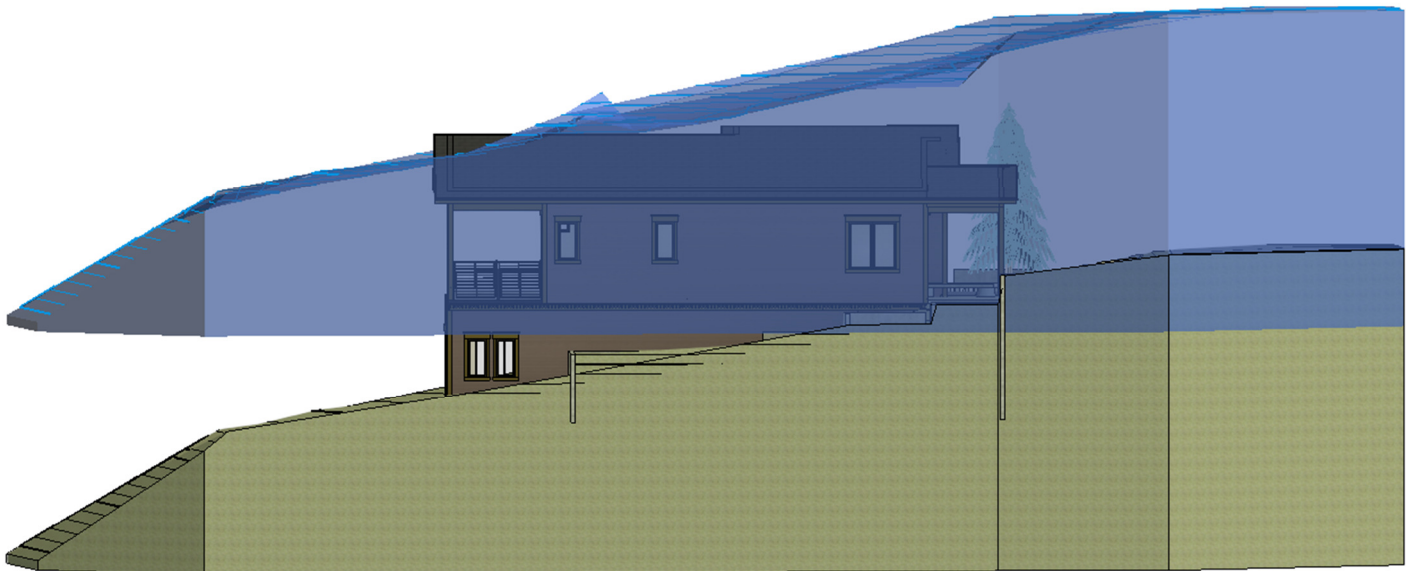
3D VIEWS

SCALE: 1/4" = 1' - 0"

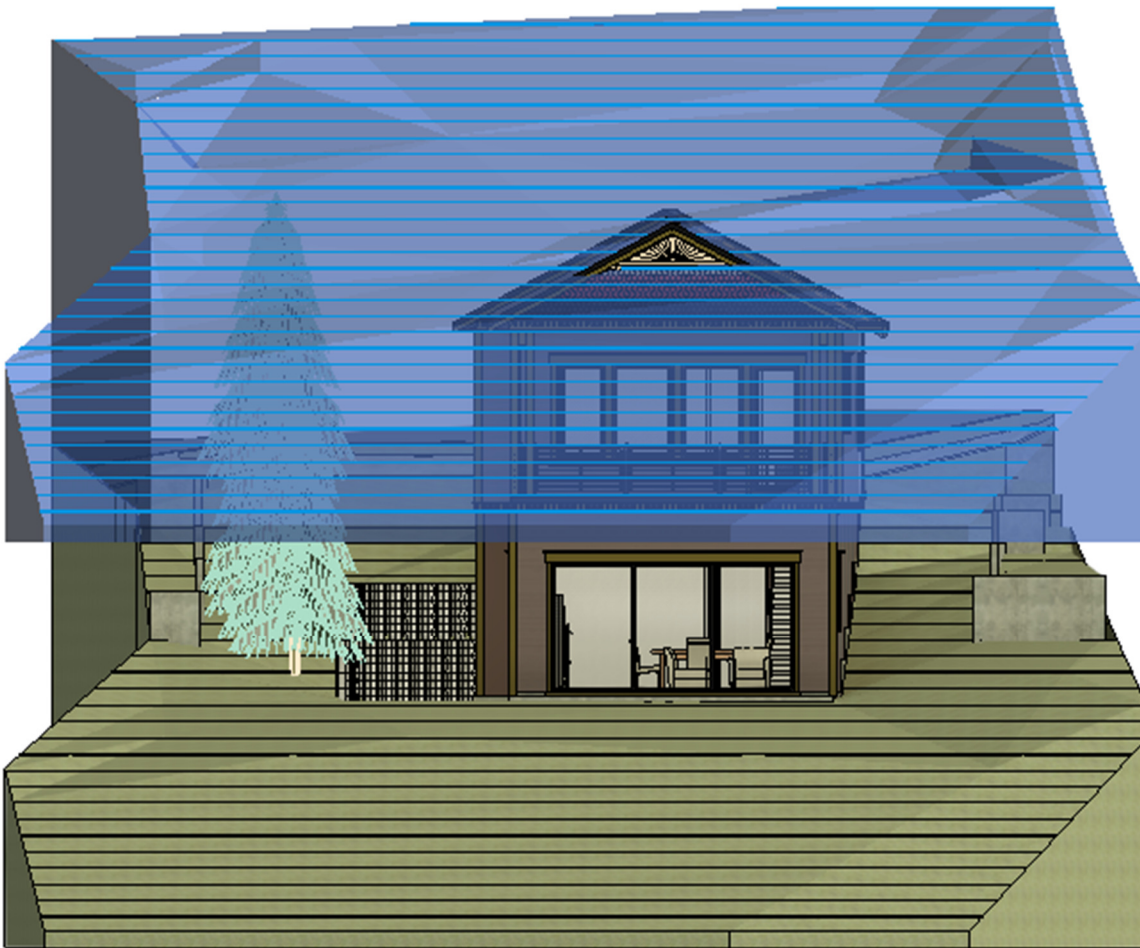
832 Midland Ave – 25' building envelope with natural grade



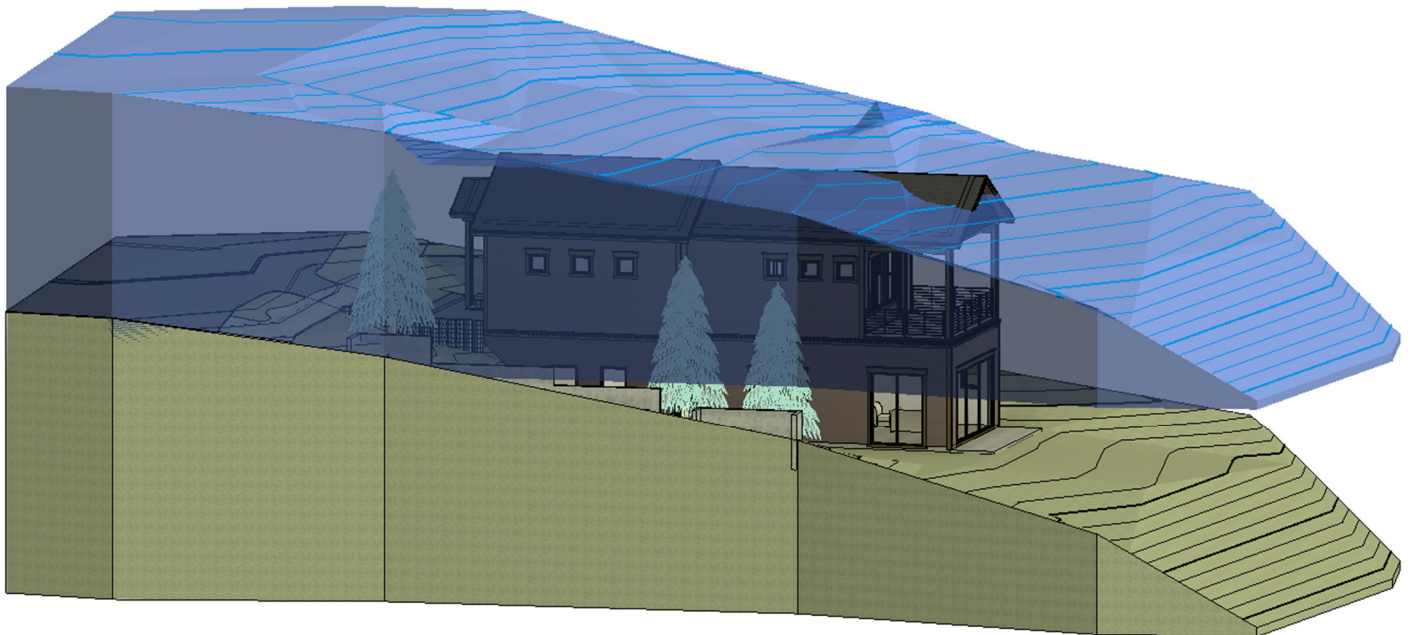
Front View



Left View



Rear View



Right View



HISTORIC PRESERVATION CODE CHAPTER 17.04.050 MATERIAL CHANGE OF APPEARANCE CERTIFICATION (MCAC) EXTERIOR REMODEL / NEW CONSTRUCTION SUBMITTAL INSTRUCTIONS and CHECKLIST

This checklist is not designed to be a substitute for the Historic Preservation Regulations. Applicants are expected to review the details of the Regulations; copies can be purchased in the Planning office, or accessed online at: www.manitouspringsgov.com

A pre-application conference shall be scheduled with Planning Staff a minimum of 14 working days prior to application submittal in order for the Applicant to become acquainted with the submittal requirements and the Historic Design Guidelines. The following information needs to be provided at the pre-submittal meeting:

- 1) ***Conceptual site layout***
- 2) ***Conceptual building exterior elevations including exterior materials.***

By **4:30 p.m. on the published submittal date** the following information, as specified in the Manitou Springs Historic Preservation Regulations, shall be submitted electronically to planningdept@manitouspringsco.gov

- 1. A completed **Development Review Application** form with nonrefundable application fee.
- 2. A **letter of explanation** containing the following information:
 - Property address
 - Name, address, phone number, email of owner
 - Name, address, phone number, email of developer or contractor (if other than the owner)
 - Name, address, phone number, email of architect or designer (if commissioned)
 - Description of any existing improvements on the property
 - A statement describing the scope of the project, the design intentions, and a comment on the project's visual impact on its surroundings
 - Detailed description of the proposal
 - Description of the proposed type of all exterior materials
- 3. **Photographs** of the existing property and its relationship to the surrounding area.
- 4. Site Plan per Planning Commission requirements (see Chapter 18.72.030 Site plan requirements)
 - Existing and proposed floor plan layouts
 - Elevation drawings and details
- 5. Completed **Checklist for Applicability**.
- NA 6. Applications for properties in the Downtown Zone shall submit elevations and samples of the proposed exterior color(s)
- NA 7. Applications for properties in the Downtown Zone may also be required to submit additional information or documentation such as a photo simulation, massing model, streetscape elevation, streetscape or building perspective and extended site plan incorporating the existing Resources surrounding the proposed construction, which demonstrates its overall compatibility in relation to siting, scale, height and massing
- NA 8. Other information as requested by the Planning staff and/or the Historic Preservation Commission

CHECKLIST FOR APPLICABILITY

City of Manitou Springs Historic District Design Guidelines

Project Name and/or Address Mossop Residence - 832 Midland Ave **Date** February 2, 2026

STEP 1: Identify an approach for your project (see page 1.7 of the Historic Design Guidelines)

STEP 2: Complete the following Checklist

- **Is the Guideline applicable? If yes, is your project in compliance with the Guideline? If your project is not in compliance, please indicate why not and describe your alternative strategy for fulfilling the intent of the Guideline.**

Photographs and supplemental information are encouraged. Please use a separate piece of paper if you need additional space.

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 1: Introduction (Includes Philosophy, How to Use the Design Guidelines and the Submittal Process)								
Chapter 2: Historic Context (Includes information about the Historic Subdistricts on pages 2.7-2.60 and Architectural Styles on pages 2.61-2.72)								
Chapter 3: Guidelines for SUSTAINABLE Building Strategies								
3.1	3.6	Solar Panels and Photovoltaic Cells		X				
3.2	3.6	Satellite Dish Antennas		X				
Chapter 4: Guidelines for Preservation, Alterations and Additions to CONTRIBUTING RESIDENTIAL Structures								
4.1	4.1	Architectural Character		X				
4.2	4.2	Building Alignment		X				
4.3	4.2	Building Orientation		X				
4.4	4.2	Building Height		X				
4.5	4.4	Mass & Scale		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.6	4.4	Roof Form		X				
4.7	4.5	Roof Materials		X				
4.8	4.6	Chimneys		X				
4.9	4.6	Dormers		X				
4.10	4.7	Skylights		X				
4.11	4.7	Porches		X				
4.12	4.8	Porch Material		X				
4.13	4.9	Windows		X				
4.14	4.10	Doors		X				
4.15	4.11	Architectural Details		X				
4.16	4.12	Foundation Ornamentation & Details		X				
4.17	4.12	Foundation Ornamentation & Details		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.18	4.13	Materials		X				
4.19	4.13	Materials		X				
Chapter 5: Guidelines for NEW RESIDENTIAL Construction								
5.1	5.2	Building Alignment	X		X			
5.2	5.3	Building Orientation	X		X			
5.3	5.3	Building Height	X			X	Building height in front is average between adjacent structures but is too tall in rear due to new height calculation requirements.	Requesting a variance for rear height so that new house will be harmonious with the neighboring houses
5.4	5.4	Mass & Scale	X		X			
5.5	5.4	Mass & Scale		X				
5.6	5.5	Building Materials	X		X			
5.7	5.5	Roof Form	X		X			
5.8	5.6	Roof Materials	X		X			
5.9	5.6	Porches	X		X			

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 6: Guidelines for Additions and Alterations to NON-CONTRIBUTING Structures								
6.1	6.1	Building Orientation		X				
6.2	6.2	Mass & Scale		X				
6.3	6.2	Building Materials		X				
6.4	6.2	Roof Form		X				
6.5	6.3	Architectural Details		X				
Chapter 7: Guidelines for NEW Construction in the COMMERCIAL CORE (see also pages 2.53-2.55 and Chapter 10)								
7.1	7.3	Franchise Architecture		X				
7.2	7.3	Building Alignment		X				
7.3	7.4	Building Orientation		X				
7.4	7.4	Mass & Scale		X				
7.5	7.5	Building Form		X				
7.6	7.5	Roof Form		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
7.7	7.6	Storefronts		X				
7.8	7.7	Storefronts		X				
7.9	7.7	Storefronts		X				
7.10	7.8	Architectural Details		X				
7.11	7.9	Architectural Details		X				
7.12	7.10	Architectural Details		X				
7.13	7.11	Materials		X				
7.14	7.11	Materials		X				
7.15	7.11	Materials		X				
7.16	7.12	Awnings		X				
7.17	7.13	Nonconforming Commercial Buildings		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 8: Guidelines for New Construction and Additions in Selected SUBDISTRICTS								
8.1	8.2	Architectural Details of Historic Structures		X				
8.2	8.3	Architectural Details of Historic Structures		X				
8.3	8.4	Architectural Details of Historic Structures		X				
8.4	8.5	Franchise Architecture		X				
8.5	8.5	Nonconforming Commercial Buildings		X				
LOG CABIN SUBDISTRICT (see also pages 2.33-2.35, 10.6-10.7, and 10.9-10.10)								
8.6	8.7	Building Form		X				
8.7	8.7	Primary Entrances and Porches		X				
8.8	8.7	Garages		X				
8.9	8.7	Garages		X				
8.10	8.8	Building Materials		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
EL COLORADO LODGE SUBDISTRICT (See also pages 2.21-2.23)								
8.11	8.8	Building Alignment		X				
8.12	8.9	Building Orientation		X				
8.13	8.9	Mass & Scale		X				
8.14	8.9	Building Form		X				
8.15	8.10	Roof Form		X				
8.16	8.10	Materials		X				
8.17	8.10	Materials		X				
8.18	8.10	Materials		X				
VILLAS SUBDISTRICT – Page 8.11 (See also pages 2.49-2.51 and Chapters 3, 4, 5, 6, 9, 10 and/or 11 as applicable)								
CLIFF DWELLINGS SUBDISTRICT (See also pages 2.17-2.19)								
8.19	8.12	Building Alignment		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
8.20	8.12	Building Orientation		X				
8.21	8.12	Mass & Scale		X				
8.22	8.13	Building Form		X				
8.23	8.13	Roof Form		X				
8.24	8.14	Materials		X				
8.25	8.14	Materials		X				
8.26	8.14	Materials		X				

WEST MANITOU SUBDISTRICT – Pages 8.14-8.15 (See also pages 2.57-2.59 and Chapters 3, 4, 5, 6, 8, 9, 10 and/or 11 as applicable)

Chapter 9: Guidelines for SECONDARY Structures

9.1	9.1	Secondary Structures		X				
9.2	9.1	Secondary Structures		X				
9.3	9.1	Garages		X				
9.4	9.3	Carports Shade Structures		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 10: Guidelines for SITE IMPROVEMENTS for Residential and Commercial Properties								
10.1	10.2	Stone Retaining Walls, Bridges & Stairs	X		X			
10.2	10.2	Stone Retaining Walls, Bridges & Stairs	X		X			
10.3	10.3	Stone Retaining Walls, Bridges & Stairs	X		X			
n/a	10.3	Site Drainage		X				
10.4	10.4	Automobile Access & Parking	X			X	Lot width does not allow for a side entry garage	Paneled door to be painted to match color scheme. Sidewalk grade to remain driveway material to be asphalt.
10.5	10.5	Automobile Access & Parking		X				
10.6	10.5	Mechanical Equipment & Service Areas	X		X			
n/a	10.6	Fencing		X				
10.7	10.8	Streetscape		X				
n/a	10.9	Vegetation		X				
10.8	10.10	Lighting	X		X			
10.9	10.11	Lighting		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
10.10	10.11	Security		X				
10.11	10.12	Integral Color: Roofing, Natural Stone, Grout, Concrete	X		X			
n/a	10.12	Painting and Surface Treatments		X	X			
n/a	10.13	Historic District Color Palette		X	X			
Chapter 11: Guidelines for Building RELOCATION								
11.1	11.1	Building Relocation		X				
11.2	11.1	Building Relocation		X				
11.3	11.1	Building Relocation		X				
APPENDIX A: Secretary of the Interior: Standards for Treatment of Historic Properties								
APPENDIX B: Technical Maintenance and Preservation Information								
APPENDIX C: Tax Credits and Other Incentives for Historic Preservation								
APPENDIX D: Glossary of Terms								



Title: MCAC 2604 - 944 Midland Avenue (New Residential)
From: Chelsea Royston
To: Historic Preservation Commission
Address of Proposal: 944 Midland Avenue
Applicant: LGA Studios

March 4, 2026

Proposal:

LGA Studios, applicant, on behalf of Summit Ministries, property owner, requests a Material Change of Appearance Certification for the development of a new single household detached dwelling. The applicant also requests relief of the height limitation to allow up to an additional five feet to accommodate the steep roof pitch.

Zone District:

General Residential

Historic Subdistrict:

High Road

Background and Existing Conditions:

The current owner is unaffiliated with the previous applications heard by the Historic Preservation Commission (HPC) on this site, as recently as 2014. There was previously a residential structure on the site that was legally demolished in 2014 in accordance with the procedure set forth by the Manitou Springs Municipal Code. In accordance with code, the site has been downgraded to a noncontributing status.

Though the property is noncontributing, it is a part of the High Road Historic Subdistrict and new construction is subject to review by the HPC. The Historic District Design Guidelines state that in the High Road subdistrict (and others)

“The topography tends to be steeper, hence building siting may be irregular and buildings are fit to the varied topography. Some buildings are set immediately against the roadbed or sidewalks and many have a strong relationship to the street or the view. One of the most critical considerations for this area is to respect the natural topography and fit new construction into the topography, rather than using modern methods and equipment to alter it.”

The applicant is seeking a MCAC to construct a single household detached dwelling. The proposed two-story structure will have a 1,502 square foot footprint, which includes a deck and an attached single-car garage. Due to the configuration of the lot, which backs to what was previously Midland Railway Right-of-Way, the proposed garage access and driveway face Midland Avenue. The topography of the site slopes away from Midland Avenue which impacts how the height of the structure is calculated. The 2023 Land Use and Development Code



describes height calculation under [Section 18.02.1.4.C Building Height](#). Subsection 2.a states "Within Historic Districts, the maximum *building height* for the Zone District may be exceeded subject to the Historic District Design Guidelines or approval of a Material Change of Appearance Certification which incorporates steep roof pitches." and the General Residential Zone District Dimensional Standards identify the maximum height that the Historic Preservation Commission can approve is thirty feet (30'), which is five feet more than the zone district permits without MCAC approval. Given the topography of the site, the rear facade of the structure is proposed to be approximately 28.5 feet, should the MCAC be approved.

The Land Use and Development Code and the Historic Design Guidelines do not assign a numerical definition to the term "steep roof pitch." Instead, it links the allowance for additional height within Historic Districts to roof forms that are evaluated under the Historic District Design Guidelines. The Guidelines assess roof form in relation to architectural character, scale, and neighborhood context rather than a fixed pitch ration. As a result, "steep" is interpreted qualitatively and in context.

In the absence of context of a fixed pitch ratio, staff reviewed roof slopes of surrounding residential structures along this block of Midland Avenue to establish a contextual baseline. The proposed roof pitch was compared to a range of existing pitches visible from the public right-of-way. Within this context, the proposed pitch meets or exceeds the upper range of roof slopes present on the block. Accordingly, "steep" in this instance is not defined in isolation, but relative to the established architectural pattern on the immediate streetscape. The proposed roof form reflects a pitch that is at least as pronounced as those historically present in the area and therefore can reasonably be consisted steep in relation to its surroundings.

There is an existing shed on the site that is proposed to be removed, the shed is not historic and was placed on the site between 2011 and 2015.

Public Involvement:

The application was noticed in accordance with Section 17.04.100 of the Manitou Springs Municipal Code. No public comment has been received as of the publication of this report.

Findings and Review Criteria:

The application is reviewed under Chapter 5 of the Historic District Design Guidelines: Guidelines for New Residential Construction.

5.1 New buildings shall match the alignment of adjacent existing structures.

The structure is proposed to have a reduced front setback and if the MCAC is approved, the applicant will seek a variance to reduce the front yard setback to five feet where fifteen feet is required to the garage. Staff proposes a condition of approval for the MCAC related to this item.



5.2 The relationship of the front entrance to the street shall be similar to other structures within the neighborhood.

The front door is perpendicular to the street and is clearly defined by a covered front entrance.

5.3 New buildings shall be similar in height to adjacent structures.

The structure is proposed to have a height of approximately 18'10" on the front façade adjacent to Midland Avenue. Due to site topography and the way height is measured, the rear façade is proposed to be approximately 28'6". Maximum height in the General Residential Zone District is 25 feet, except as provided for in the second footnote to the dimensional standards table which states that HPC can permit building height up to 30 feet to allow for steep roofs. The term "steep roof" is not defined in the Historic Preservation Code or the Historic District Design Guidelines. The roof is proposed to have a 7/12 pitch. If the HPC does not approve of the additional height, the applicants have indicated that they may seek a variance from the City Planning Commission, or may modify the pitch of the roof to bring the height into compliance.

5.4 The mass and scale of a new building shall be similar to existing historic structures located in the historic subdistrict.

The proposed structure is comparable in size and scale to existing historic structures in the subdistrict and along Midland Avenue. Due to the topography of the area, houses on the south side of Midland Avenue appear taller than the houses on the north side of the street. Setbacks also vary in the area and can impact how building massing is perceived. The site is on the north side of the street and the proposed structure is two-story. Should the variance for the reduced front setback be approved by CPC, the structure may appear larger and taller than others nearby, however, staff does not find it to be incompatible.

5.5 Cascading of multi-family residential developments is prohibited. The design of individual units shall not be repeated.

Not applicable

5.6 New buildings should employ materials and finishes that complement existing historic resources contained in the subdistrict.

The proposed materials include:

- Wood horizontal lap siding with six inch reveal
- Wood shakes in the front gable end accent
- Fiberglass sliding windows (the front window will have decorative muntins)
- Asphalt shingle roofing

Please see the application narrative for the complete list of proposed materials.

5.7 Integrate roof forms that are similar to those forms seen on historic structures within



the historic subdistrict where the new construction is proposed.

The proposed structure is cross-gabled, and though the garage protrudes closer to the road than the rest of the front façade, the roofline minimizes the appearance of the garage so that the front entry is more prominent.

5.8 Roof materials shall appear similar in scale and texture to those materials used on historic structures.

The proposed roofing material is asphalt shingle and is compatible with adjacent properties.

5.9 Locate porches on the front façade of a new structure to maintain the historic orientation of the front entrance of a building toward the street.

Not applicable as there is no front porch.

Staff Recommendation:

Should the HPC find it appropriate to approve the MCAC, staff recommends the following conditions:

1. Should the Planning Commission modify or deny the request for a reduced front yard setback, the final plans may be modified to comply with setback standards without further consideration by the HPC, subject to staff review.

Motion Language Options:

MCAC 2604 – Material Change of Appearance Certification

Approve the Material Change of Appearance Certification at 944 Midland Avenue, based upon the findings that the request meets the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with staff's conditions as outlined.

Approve the Material Change of Appearance Certification at 944 Midland Avenue, based upon the findings that the request meeting the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with an alteration to staff's conditions as follows...

Deny the Material Change of Appearance Certification at 944 Midland Avenue, based upon the findings that the request does not meet the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5.

Postpone the Material Change of Appearance Certification at 944 Midland Avenue to April 1, 2026 for further consideration.

February 13, 2026

Property: 944 & 946 Midland Ave

Owner: Summit Ministries
941 Osage Ave
Manitou Springs, CO 80829
(866) 786-6483
Jeff.wood@summit.org

Contractor: TBD

Architectural Designer: LGA Studios/EV Studio
201 E Las Animas Ste 113
Colorado Springs, CO 80903
(719) 635-0880
michellew@lgastudios.com



944 & 946 Midland Avenue are currently undeveloped with small existing shed structures intended to be removed. According to the El Paso County Assessor, the neighboring houses were built between 1914 and 1997, with 935 Midland built in 1997, 936 Midland built in 1914, 937 Midland built in 1956, 945 Midland built in 1946, and 950 Midland built in 1924.

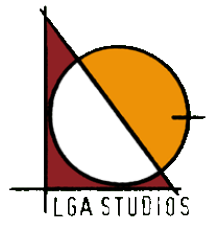
Summit Ministries purchased these lots with the intention to provide affordable housing for staff with families. The design intent of this project is to create two comfortable and efficient homes that also fit well within the historical architectural context of the neighborhood. The design was created based on the simple forms and detailing of the craftsman and folk victorian style including a covered front porch and rear deck for some outdoor living while using simple clean lines and exterior materials that fit within the neighborhood. The visual impact will be minimal. The homes as designed will stay within the building height limitations pending MCAC approval of the 30' building height. These undeveloped lots slope substantially from the street to the majority of a level site. In an effort to keep build costs reasonable and to allow a nice rear yard, the owner is seeking a variance to allow the homes to be placed as close to the front of property and street as reasonable. A front yard setback of 5 feet is being requested for both 944 and 946 Midland Avenue to reduce the amount of fill dirt needed and to provide building alignment with adjacent homes along Midland Ave. Additionally, Lot 3 (946 Midland Ave.) is narrower than Lot 2 (944 Midland Ave.) and because of that we are requesting a variance to allow the side setback to be less than 7'-6", but no less than 5'-0". This would allow us to use a similar house footprint for both lots that would provide adequate space for a single car garage and reasonable entry/dining space.

Within the historic guidelines there is not a formal list of characterization features for the architecture of the High Road subdistrict. However, as we evaluated the surrounding homes, we did observe that the majority of them have steeper roofs and gables. These new homes that have been designed to also have these elements to compliment the appearance of the existing homes in the neighborhood. The roof pitch was raised to 7:12 to be considered a steeper pitch and still remain within the building height limitations if MCAC approves the 30' height.

The owner is planning on having all improvements made by summer of 2027.

Respectfully,
Michelle Williams

Photos of 944 & 946 Midland Ave:



Photos of other Midland Ave homes:



935 Midland Ave



936 Midland Ave



937 Midland Ave



945 Midland Ave

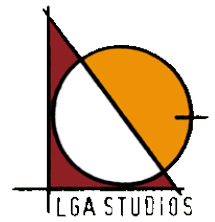


950 Midland Ave



901 Midland Ave





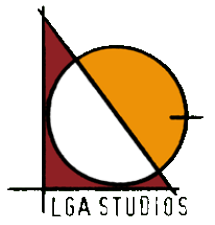
944 Midland Ave. Exterior material and color selections:

- **Siding:** 6" Wood lap siding – painted
- **Trim:** Wood – painted
- **Fascia/trim:** Wood – Painted
- **Shingle Siding:** Half-cove wood shingles – painted
- **Roof:** Asphalt shingles – GAF Timberline
- **Windows:** Fiberglass Windows
- **Doors:** Fiberglass Doors
- **Front Door:** Fiberglass paneled door
- **Garage Door:** Overhead Door – paneled with lites – Painted
- **Timbers:** Wood timbers – painted
- **Railings:** Metal – Painted
- **Exposed foundation:** Concrete – Painted
- **Retaining walls:** Broadmoor boulders (or similar)
- **Driveway:** Asphalt paving
- **Porch:** 4" concrete – Broom finish
- **Patios:** 4" concrete – Broom finish

946 Midland Ave. Exterior material and color selections:

- **Siding:** Wood Board & Batten siding – painted
- **Trim:** Wood – Painted
- **Fascia/trim:** Wood – Painted
- **Shingle Siding:** Half-cove wood shingles – painted
- **Roof:** Asphalt shingles – GAF Timberline
- **Windows:** Fiberglass Windows
- **Doors:** Fiberglass Doors
- **Front Door:** Fiberglass paneled door
- **Garage Door:** Overhead Door – paneled with lites – Painted
- **Timbers:** Wood timbers – painted
- **Railings:** Metal – Painted
- **Exposed foundation:** Concrete – Painted
- **Retaining walls:** Broadmoor boulders (or similar)
- **Driveway:** Asphalt paving
- **Porch:** 4" concrete – Broom finish
- **Patios:** 4" concrete – Broom finish

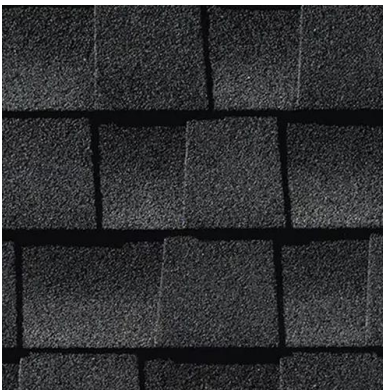
944 Midland Ave
Proposed Materials:



Lap siding



Shingle style



Roof



Railing



Windows



Sliding Glass Door

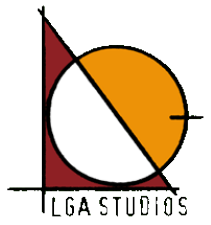


Front Door Style

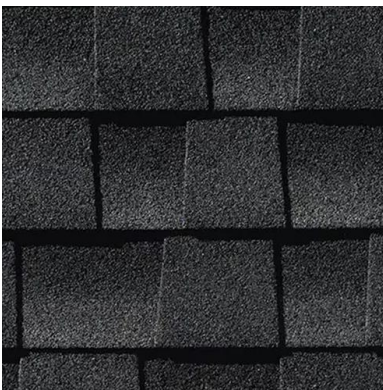


Back Door Style

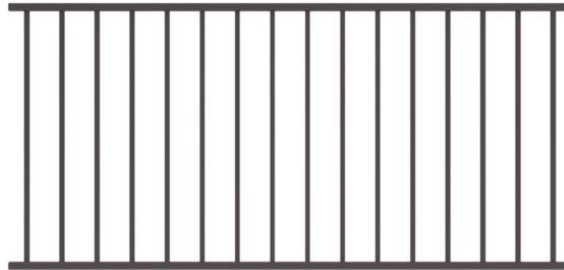
**946 Midland Ave
Proposed Materials:**



Board & Batten siding



Roof



Railing



Windows



Sliding Glass Door



Front Door



Garage Door Style



HISTORIC PRESERVATION CODE CHAPTER 17.04.050 MATERIAL CHANGE OF APPEARANCE CERTIFICATION (MCAC) EXTERIOR REMODEL / NEW CONSTRUCTION SUBMITTAL INSTRUCTIONS and CHECKLIST

This checklist is not designed to be a substitute for the Historic Preservation Regulations. Applicants are expected to review the details of the Regulations; copies can be purchased in the Planning office, or accessed online at: www.manitouspringsgov.com

A pre-application conference shall be scheduled with Planning Staff a minimum of 14 working days prior to application submittal in order for the Applicant to become acquainted with the submittal requirements and the Historic Design Guidelines. The following information needs to be provided at the pre-submittal meeting:

- 1) ***Conceptual site layout***
- 2) ***Conceptual building exterior elevations including exterior materials.***

By **4:30 p.m. on the published submittal date** the following information, as specified in the Manitou Springs Historic Preservation Regulations, shall be submitted electronically to planningdept@manitouspringsco.gov

- 1. A completed **Development Review Application** form with nonrefundable application fee.
- 2. A **letter of explanation** containing the following information:
 - Property address
 - Name, address, phone number, email of owner
 - Name, address, phone number, email of developer or contractor (if other than the owner)
 - Name, address, phone number, email of architect or designer (if commissioned)
 - Description of any existing improvements on the property
 - A statement describing the scope of the project, the design intentions, and a comment on the project's visual impact on its surroundings
 - Detailed description of the proposal
 - Description of the proposed type of all exterior materials
- 3. **Photographs** of the existing property and its relationship to the surrounding area.
- 4. Site Plan per Planning Commission requirements (see Chapter 18.72.030 Site plan requirements)
 - Existing and proposed floor plan layouts
 - Elevation drawings and details
- 5. Completed **Checklist for Applicability**.
- NA 6. Applications for properties in the Downtown Zone shall submit elevations and samples of the proposed exterior color(s)
- NA 7. Applications for properties in the Downtown Zone may also be required to submit additional information or documentation such as a photo simulation, massing model, streetscape elevation, streetscape or building perspective and extended site plan incorporating the existing Resources surrounding the proposed construction, which demonstrates its overall compatibility in relation to siting, scale, height and massing
- NA 8. Other information as requested by the Planning staff and/or the Historic Preservation Commission

CHECKLIST FOR APPLICABILITY
City of Manitou Springs Historic District Design Guidelines

Project Name and/or Address Summit Ministries - 944 & 946 Midland Ave **Date** February 13, 2026

STEP 1: Identify an approach for your project (see page 1.7 of the Historic Design Guidelines)

STEP 2: Complete the following Checklist

- **Is the Guideline applicable? If yes, is your project in compliance with the Guideline? If your project is not in compliance, please indicate why not and describe your alternative strategy for fulfilling the intent of the Guideline.**

Photographs and supplemental information are encouraged. Please use a separate piece of paper if you need additional space.

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 1: Introduction (Includes Philosophy, How to Use the Design Guidelines and the Submittal Process)								
Chapter 2: Historic Context (Includes information about the Historic Subdistricts on pages 2.7-2.60 and Architectural Styles on pages 2.61-2.72)								
Chapter 3: Guidelines for SUSTAINABLE Building Strategies								
3.1	3.6	Solar Panels and Photovoltaic Cells		X				
3.2	3.6	Satellite Dish Antennas		X				
Chapter 4: Guidelines for Preservation, Alterations and Additions to CONTRIBUTING RESIDENTIAL Structures								
4.1	4.1	Architectural Character		X				
4.2	4.2	Building Alignment		X				
4.3	4.2	Building Orientation		X				
4.4	4.2	Building Height		X				
4.5	4.4	Mass & Scale		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.6	4.4	Roof Form		X				
4.7	4.5	Roof Materials		X				
4.8	4.6	Chimneys		X				
4.9	4.6	Dormers		X				
4.10	4.7	Skylights		X				
4.11	4.7	Porches		X				
4.12	4.8	Porch Material		X				
4.13	4.9	Windows		X				
4.14	4.10	Doors		X				
4.15	4.11	Architectural Details		X				
4.16	4.12	Foundation Ornamentation & Details		X				
4.17	4.12	Foundation Ornamentation & Details		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.18	4.13	Materials		X				
4.19	4.13	Materials		X				
Chapter 5: Guidelines for NEW RESIDENTIAL Construction								
5.1	5.2	Building Alignment	X		X		front setback not compliant with written code, but front of building would align with existing adjacent house if 5' setback is approved	requesting variance to allow 5'-0" front setback. Requesting 5'-0" side setback for Lot 4 (946 Midland)
5.2	5.3	Building Orientation	X		X			
5.3	5.3	Building Height	X			X	Building height in front is average between adjacent structures but is too tall in rear due to new height calculation requirements.	Requesting a variance for rear height so that new house will be harmonious with the neighboring houses
5.4	5.4	Mass & Scale	X		X			
5.5	5.4	Mass & Scale		X				
5.6	5.5	Building Materials	X		X			
5.7	5.5	Roof Form	X		X			
5.8	5.6	Roof Materials	X		X			
5.9	5.6	Porches	X		X			

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 6: Guidelines for Additions and Alterations to NON-CONTRIBUTING Structures								
6.1	6.1	Building Orientation		X				
6.2	6.2	Mass & Scale		X				
6.3	6.2	Building Materials		X				
6.4	6.2	Roof Form		X				
6.5	6.3	Architectural Details		X				
Chapter 7: Guidelines for NEW Construction in the COMMERCIAL CORE (see also pages 2.53-2.55 and Chapter 10)								
7.1	7.3	Franchise Architecture		X				
7.2	7.3	Building Alignment		X				
7.3	7.4	Building Orientation		X				
7.4	7.4	Mass & Scale		X				
7.5	7.5	Building Form		X				
7.6	7.5	Roof Form		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
7.7	7.6	Storefronts		X				
7.8	7.7	Storefronts		X				
7.9	7.7	Storefronts		X				
7.10	7.8	Architectural Details		X				
7.11	7.9	Architectural Details		X				
7.12	7.10	Architectural Details		X				
7.13	7.11	Materials		X				
7.14	7.11	Materials		X				
7.15	7.11	Materials		X				
7.16	7.12	Awnings		X				
7.17	7.13	Nonconforming Commercial Buildings		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 8: Guidelines for New Construction and Additions in Selected SUBDISTRICTS								
8.1	8.2	Architectural Details of Historic Structures		X				
8.2	8.3	Architectural Details of Historic Structures		X				
8.3	8.4	Architectural Details of Historic Structures		X				
8.4	8.5	Franchise Architecture		X				
8.5	8.5	Nonconforming Commercial Buildings		X				
LOG CABIN SUBDISTRICT (see also pages 2.33-2.35, 10.6-10.7, and 10.9-10.10)								
8.6	8.7	Building Form		X				
8.7	8.7	Primary Entrances and Porches		X				
8.8	8.7	Garages		X				
8.9	8.7	Garages		X				
8.10	8.8	Building Materials		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
EL COLORADO LODGE SUBDISTRICT (See also pages 2.21-2.23)								
8.11	8.8	Building Alignment		X				
8.12	8.9	Building Orientation		X				
8.13	8.9	Mass & Scale		X				
8.14	8.9	Building Form		X				
8.15	8.10	Roof Form		X				
8.16	8.10	Materials		X				
8.17	8.10	Materials		X				
8.18	8.10	Materials		X				
VILLAS SUBDISTRICT – Page 8.11 (See also pages 2.49-2.51 and Chapters 3, 4, 5, 6, 9, 10 and/or 11 as applicable)								
CLIFF DWELLINGS SUBDISTRICT (See also pages 2.17-2.19)								
8.19	8.12	Building Alignment		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
8.20	8.12	Building Orientation		X				
8.21	8.12	Mass & Scale		X				
8.22	8.13	Building Form		X				
8.23	8.13	Roof Form		X				
8.24	8.14	Materials		X				
8.25	8.14	Materials		X				
8.26	8.14	Materials		X				

WEST MANITOU SUBDISTRICT – Pages 8.14-8.15 (See also pages 2.57-2.59 and Chapters 3, 4, 5, 6, 8, 9, 10 and/or 11 as applicable)

Chapter 9: Guidelines for SECONDARY Structures

9.1	9.1	Secondary Structures		X				
9.2	9.1	Secondary Structures		X				
9.3	9.1	Garages		X				
9.4	9.3	Carports Shade Structures		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 10: Guidelines for SITE IMPROVEMENTS for Residential and Commercial Properties								
10.1	10.2	Stone Retaining Walls, Bridges & Stairs	X		X			
10.2	10.2	Stone Retaining Walls, Bridges & Stairs	X		X			
10.3	10.3	Stone Retaining Walls, Bridges & Stairs	X		X			
n/a	10.3	Site Drainage		X				
10.4	10.4	Automobile Access & Parking	X			X	Lot width does not allow for a side entry garage	Paneled door to be painted to match color scheme. Sidewalk grade to remain driveway material to be asphalt.
10.5	10.5	Automobile Access & Parking		X				
10.6	10.5	Mechanical Equipment & Service Areas	X		X			
n/a	10.6	Fencing		X				
10.7	10.8	Streetscape		X				
n/a	10.9	Vegetation		X				
10.8	10.10	Lighting	X		X			
10.9	10.11	Lighting		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
10.10	10.11	Security		X				
10.11	10.12	Integral Color: Roofing, Natural Stone, Grout, Concrete	X		X			
n/a	10.12	Painting and Surface Treatments		X	X			
n/a	10.13	Historic District Color Palette		X	X			
Chapter 11: Guidelines for Building RELOCATION								
11.1	11.1	Building Relocation		X				
11.2	11.1	Building Relocation		X				
11.3	11.1	Building Relocation		X				
APPENDIX A: Secretary of the Interior: Standards for Treatment of Historic Properties								
APPENDIX B: Technical Maintenance and Preservation Information								
APPENDIX C: Tax Credits and Other Incentives for Historic Preservation								
APPENDIX D: Glossary of Terms								

SITE INFO:

ADDRESS:

944 MIDLAND AVENUE

LEGAL:

LOT 3, PEAR RING SUB,
IN THE CITY OF MANITOU SPRINGS,
EL PASO COUNTY, COLORADO.

SITE DATA:

LOT SIZE = 4,904 SQFT
BUILDING FOOTPRINT =
HOUSE = 1,094 SQFT
GARAGE = 208 SQFT
PORCH = 24 SQFT
DECK = 176 SQFT
TOTAL = 1,502 SQFT
LOT COVERAGE = 30.6%
ZONING = GR
TAX SCHEDULE #: 74053-11-017
BUILDING HEIGHT = SEE ELEVATIONS

SITE NOTES:

- 1) Topographic information is to be supplied by others. See below for info.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- 5) Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- 6) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- 7) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- 8) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- 9) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

SITE LEGEND:

- PROPERTY LINES & CORNERS
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED BOULDER RETAINING WALL
 - NO ROCK OUT CROPPING EXIST AT SITE
- ⊙ = NATURAL GRADE
○ = FINISH GRADE

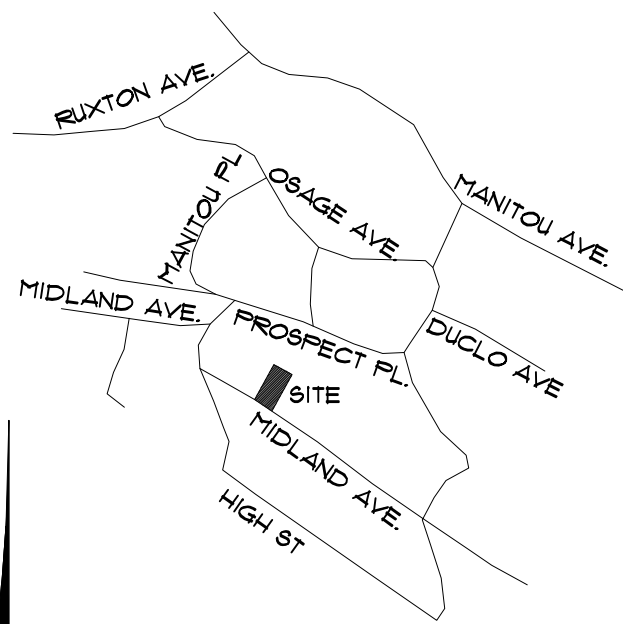
SITE TERMS:

ABBREVIATIONS:

- BOW= BOTTOM OF RETAINING WALL
- (E)= EXISTING TO REMAIN
- LL= LOWER LEVEL
- ML= MAIN LEVEL
- (N)= NEW CONSTRUCTION
- (R)= REMOVE
- R.O.W.= RIGHT OF WAY
- SB= SETBACK
- SQ. FT. OR SF= SQUARE FEET
- TOF= TOP OF FOUNDATION
- TOW= TOW OF RETAINING WALL
- UL= UPPER LEVEL
- WO= WALKOUT

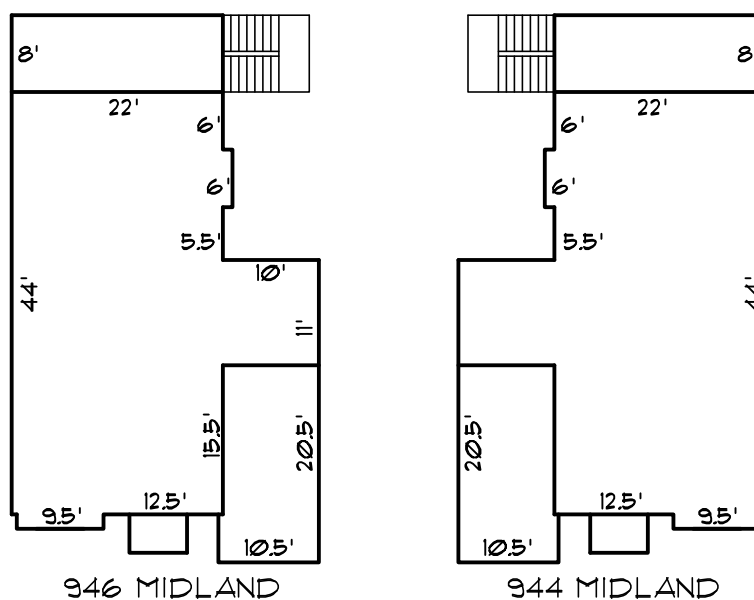
TOPO INFO:

LWA LAND SURVEYING, INC.
953 E. FILLMORE STREET
COLORADO SPRINGS, CO 80901
PHONE: (719) 636-5179



VICINITY MAP

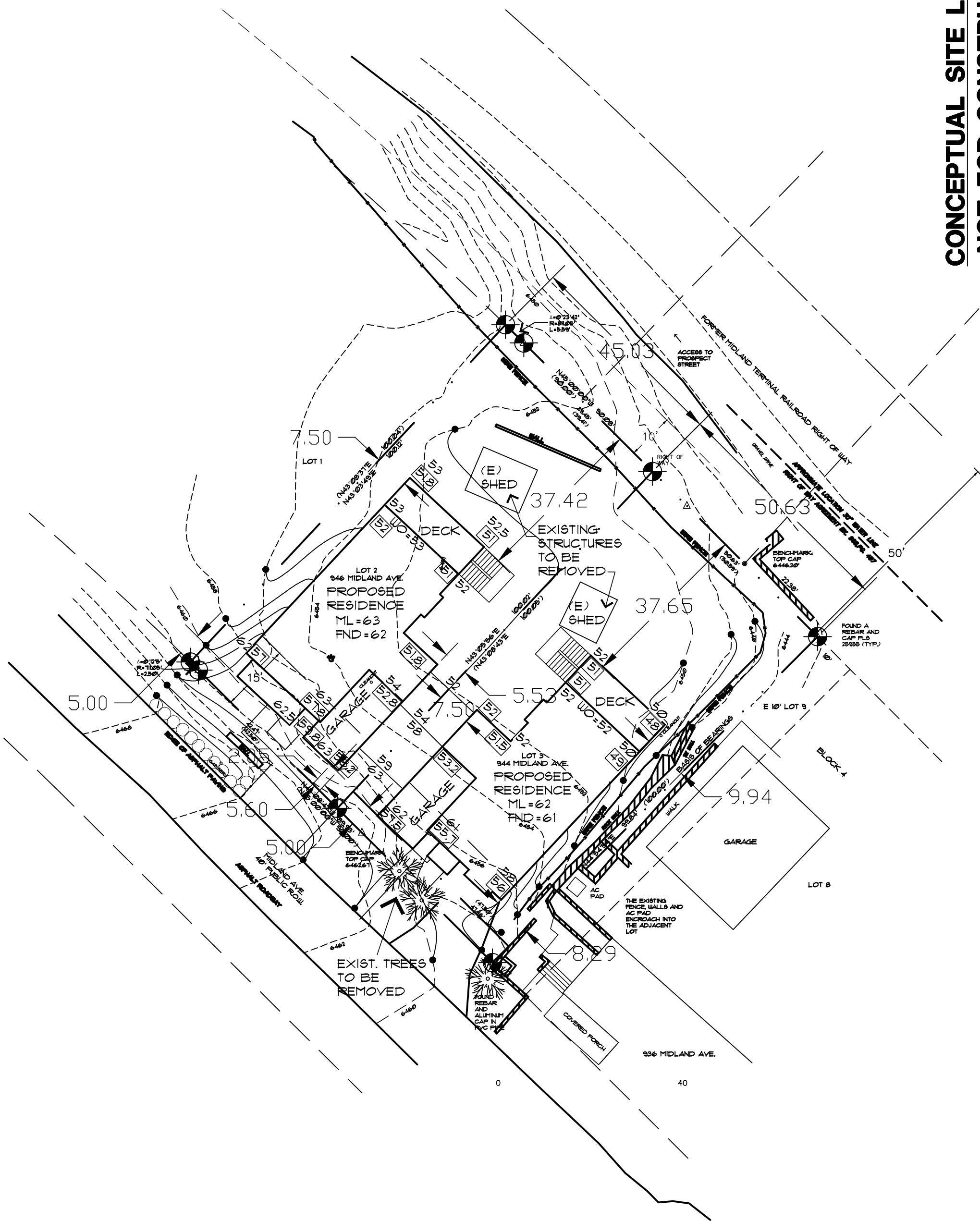
NO SCALE



HOUSE FOOTPRINT

NO SCALE

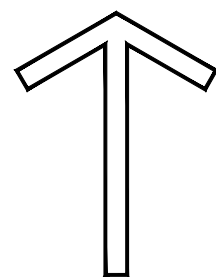
**CONCEPTUAL SITE LAYOUT
NOT FOR CONSTRUCTION**



SITE PLAN



SCALE: 1" = 20'



NORTH

CONTRACTOR

TBD

THE

**944 & 946
MIDLAND AVE**

COMPUTER FILE #23-2337

DRAWN BY: MDW

CHECKED BY: LGA
PLOT 02/13/26 2:54 PM

SITE PLAN
VICINITY MAP
SITE NOTES

Sheet #
SP1
OF 1 Sheets

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MAIN LEVEL	1094 SF
GARAGE	208 SF
DECK	176 SF
PORCH	24 SF
LOWER LEVEL FINISHED	968 SF
LL UNFIN.	110 SF
PATIO	176 SF

GENERAL LOWER LEVEL NOTES:

- UNLESS NOTED OTHERWISE ALL CONCRETE FOUNDATION WALL HEIGHTS THIS LEVEL TO BE A 9'-4" POUR w/INTERIOR WALL HEIGHTS TO BE 9'-0"± FIELD VERIFY.
 - PROVIDE 'LOW RESISTANCE' RETURN AIR PATH FOR ALL CLOSED ROOMS - USE T-GRILLS OR UNDER-CUT DOORS PER CODE.
 - ALL NON-BEARING WALL, STAIRS AND LANDINGS MUST FLOAT.
 - MAINTAIN MINIMUM CLEAR SPACE PER THE MANUFACTURER IN FRONT OF THE CONTROL SIDE OF FURNACE & WATER HEATER. WATER HEATER MUST BE PLACED SO THE VENT IS ADJACENT & CLOSEST TO THE VENT STACK. PROVIDE COMBUSTION AIR PATH TO ALL GAS FIRED APPLIANCES PER CODE.
- 48" MAX HIGH RETAINING WALLS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY WITH SITE PLAN AND ACTUAL SITE CONDITIONS PRIOR TO BACKFILLING. IN ADDITION, VERIFY w/CONTRACTOR ACTUAL RETAINING WALL CONSTRUCTION.

SPECIFIC ELECTRICAL NOTES / SYMBOLS

- (F) EXHAUST FAN (VENT TO EXTERIOR) FANS VENTED THROUGH UNCONDITIONED SPACE MAX 25'-0" & MIN R-6 INSUL
 - (SMOKE) HARDWIRED & INTERLOCK SMOKE ALARM DETECTOR w/BATTERY BACK-UP
 - (CO) CARBON MONOXIDE DETECTOR
- NOTES:
ALL PLACEMENT OF LIGHTING, OUTLETS, TV, PHONES, SECURITY, COMPUTER, STEREO/VIDEO WIRING, INTERCOM OR ANY OTHER ELECTRICAL FIXTURES SHALL BE VERIFIED PRIOR TO CONSTRUCTION w/CONTRACTOR. ELECTRICAL SHALL BE WIRED PER THE NATIONAL ELECTRICAL CODE AND LOCAL CODES. SEE SPECIFICATIONS DIVISION 260000 BASIC ELECTRICAL REQUIREMENTS.

ASSEMBLY NOTES:

- (A) ROOF:
 - (B) FASCIA/SOFFIT:
 - (C) EXTERIOR WALL:
 - (D) EXTERIOR WALL BALLOON FRAME:
 - (E) FRAMED FLOOR SYSTEM:
 - (F) EXTERIOR DECK SYSTEM:
 - (G) RAILING SYSTEM:
 - (H) STAIRS:
 - (I) BASEMENT FOUNDATION WALL:
 - (J) SLAB ON GRADE:
 - (K) PERIMETER DRAIN SYSTEM:
- ALL ASSEMBLIES AND GENERAL NOTES REFER TO SHEET 'CS1' AND SPECIFICATIONS SHEET 'SS1'

SPECIFIC LOWER LEVEL NOTES:

- METAL WINDOW WELL AS GRADE REQUIRES. PROVIDE 36" MIN CLEAR SQUARE EGRESS WELL w/ LADDER PER IRC 2021 R310.4 (9 SQ' MIN CLR)
- TOP OF WINDOW WELL SHALL BE 36" MIN BELOW BOTTOM OF FLOOR/DECK OVERHANG ABOVE. AT DECK PROVIDE MAX 36" EGRESS PATH FROM UNDER DECK TO YARD OR COURT PER IRC 2021 R310.2.4
- PROVIDE MECHANICAL VENTILATION PER IRC 2021 SECTION R303.1.1 AND ARTIFICIAL LIGHT PER SECTION R303.1.3
- PROVIDE FIRE PROTECTION OF FLOORS PER 2021 IRC R302.13 @ ENTIRE CEILING
- 2x4 FURRED WALL WITH MINIMUM INSULATION PER INTERNATIONAL ENERGY CONSERVATION CODE CERTIFICATE, AS REQUIRED

NOTE:
FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET 'CS1' FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

REVISIONS

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office@LGAstudios.com
www.lgastudios.com

CONTRACTOR
TBD

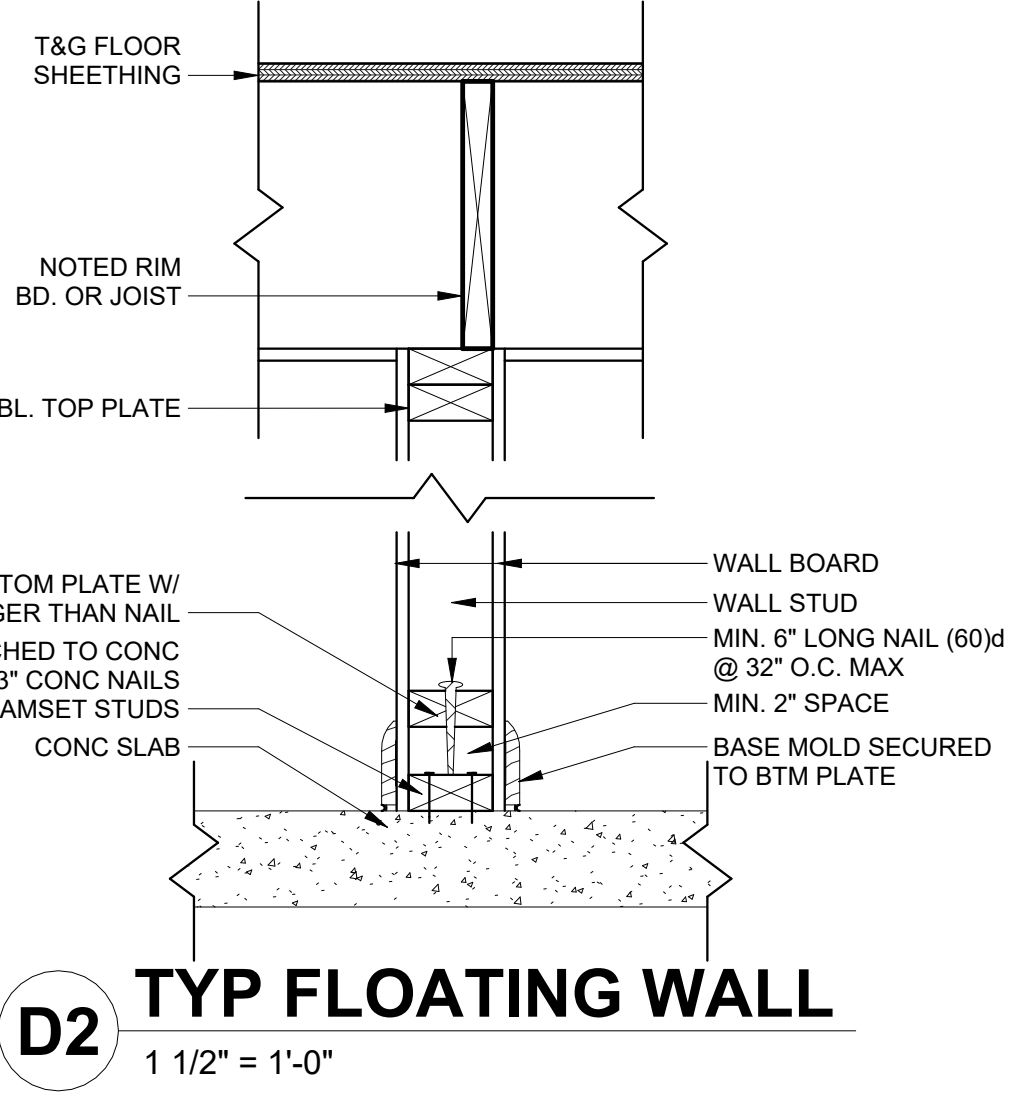
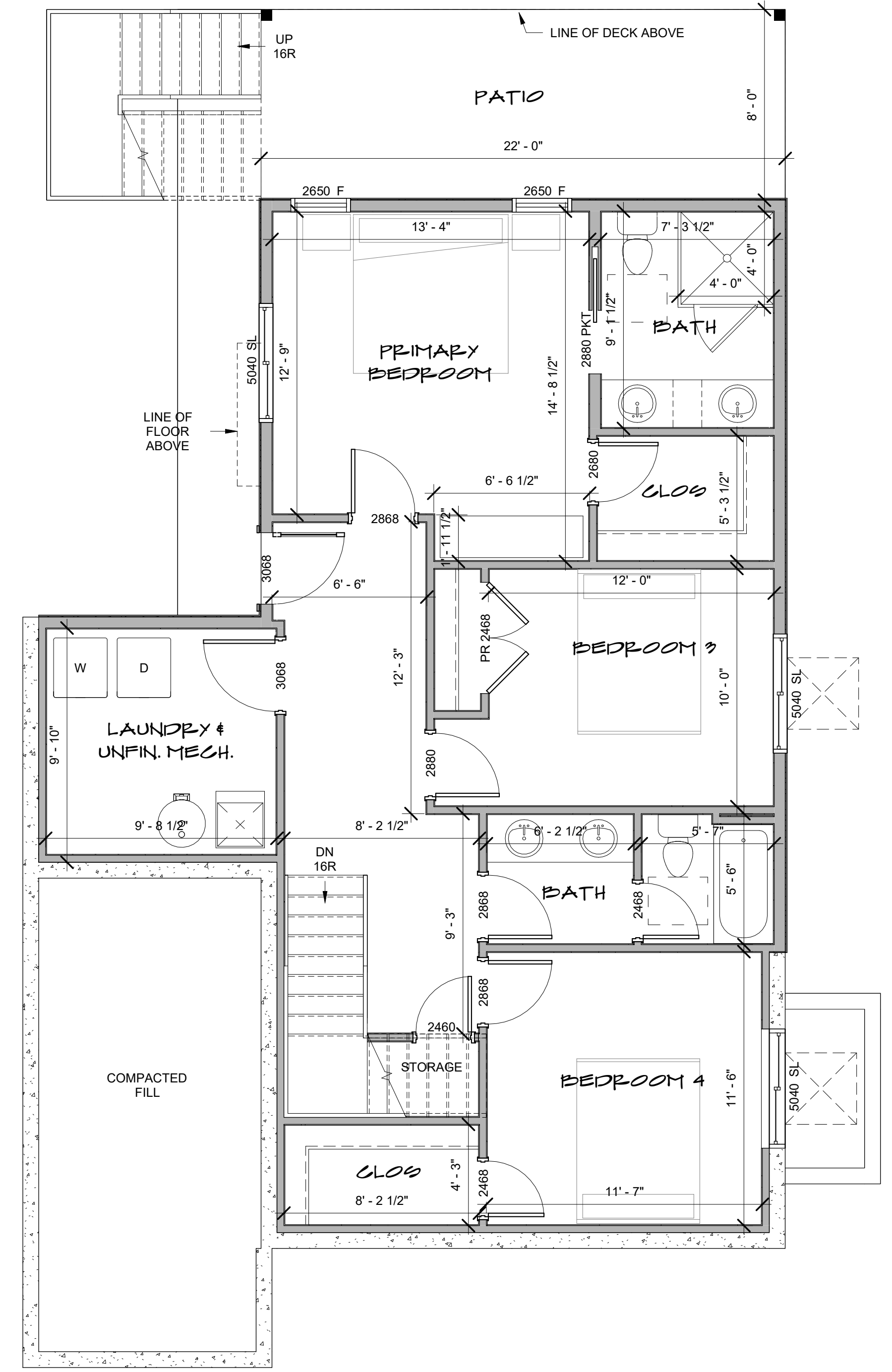
944 MIDLAND AVE
PROJECT NUMBER: 23-2337

DRAWN BY: MDW
CHECKED: LGA

PLOT: 2/13/2026

LOWER LEVEL FLOOR PLAN AND DETAILS

Sheet #
A2
OF 10 SHEETS



CONCEPTUAL REVIEW NOT FOR CONSTRUCTION

LOWER LEVEL FLOOR PLAN SCALE: 1/4" = 1' - 0"

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MAIN LEVEL	1094 SF
GARAGE	208 SF
DECK	176 SF
PORCH	24 SF
LOWER LEVEL FINISHED	968 SF
LL UNFIN.	110 SF
PATIO	176 SF

GENERAL MAIN LEVEL NOTES:

- UNLESS NOTED OTHERWISE ALL WALL HEIGHTS THIS LEVEL TO BE 9'-1 1/8".
- PROVIDE 'LOW RESISTANCE' RETURN AIR PATH FOR ALL CLOSED ROOMS - USE T-GRILLS OR UNDER-CUT DOORS PER CODE.

SPECIFIC ELECTRICAL NOTES / SYMBOLS

- (F) EXHAUST FAN (VENT TO EXTERIOR) FANS VENTED THROUGH UNCONDITIONED SPACE MAX 25'-0" & MIN R-6 INSUL
- (SMOKE) HARDWIRED & INTERLOCK SMOKE ALARM DETECTOR w/BATTERY BACK-UP
- (CO) CARBON MONOXIDE DETECTOR

NOTES:
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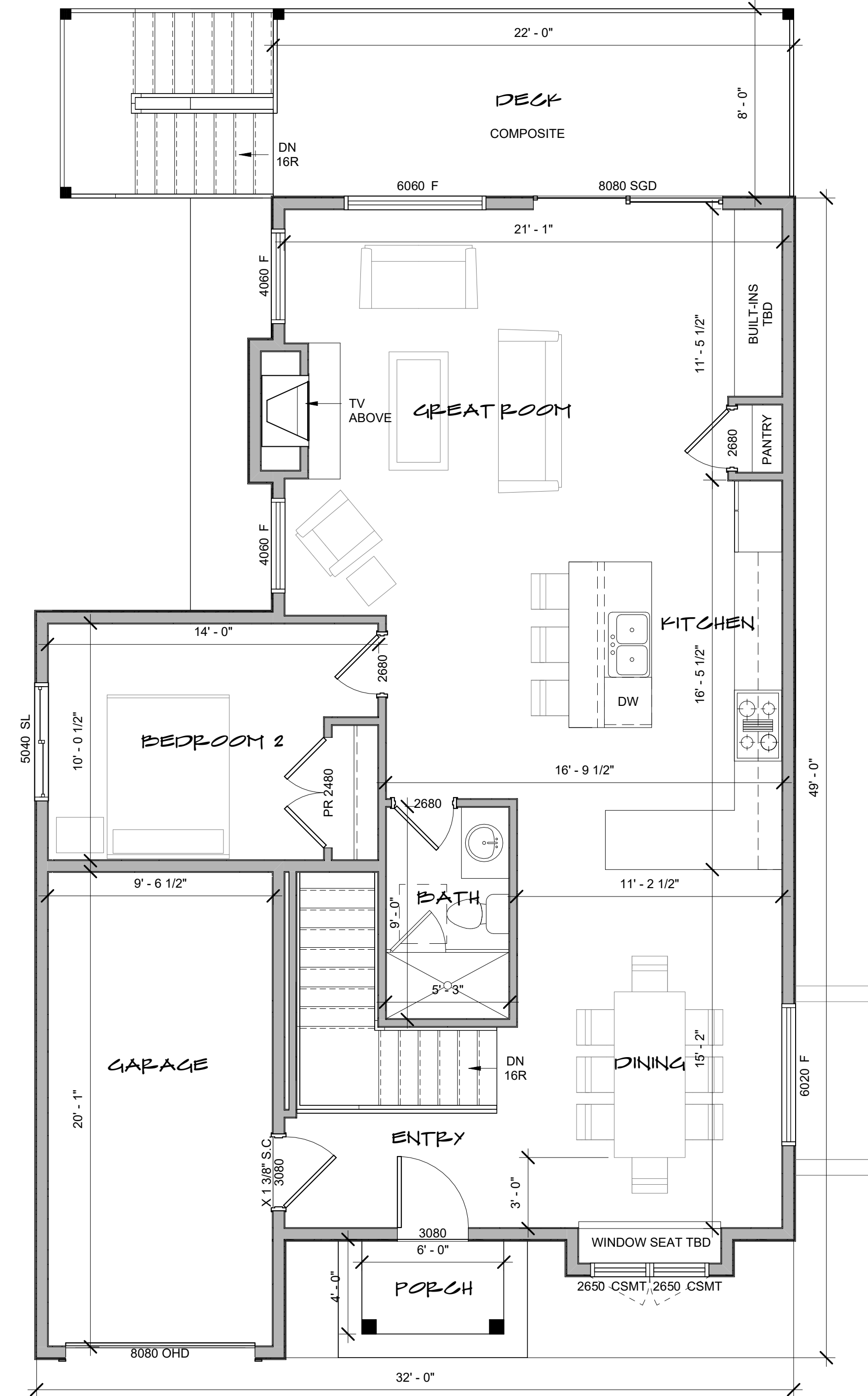
ASSEMBLY NOTES:

- (A) ROOF:
 - (B) FASCIA/SOFFIT:
 - (C) EXTERIOR WALL:
 - (D) EXTERIOR WALL BALLOON FRAME:
 - (E) FRAMED FLOOR SYSTEM:
 - (F) EXTERIOR DECK SYSTEM:
 - (G) RAILING SYSTEM:
 - (H) STAIRS:
 - (I) BASEMENT FOUNDATION WALL
 - (J) SLAB ON GRADE:
 - (K) PERIMETER DRAIN SYSTEM:
- ALL ASSEMBLIES AND GENERAL NOTES REFER TO SHEET CS1 AND SPECIFICATIONS SHEET 'S1'

SPECIFIC MAIN LEVEL NOTES:

55 NOT USED

CONCEPTUAL REVIEW NOT FOR CONSTRUCTION



REVISIONS



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office@LGAstudios.com
www.lgastudios.com

CONTRACTOR
TBD

944 MIDLAND AVE
PROJECT NUMBER: 23-2337

DRAWN BY: MDW
CHECKED: LGA

PLOT: 2/13/2026

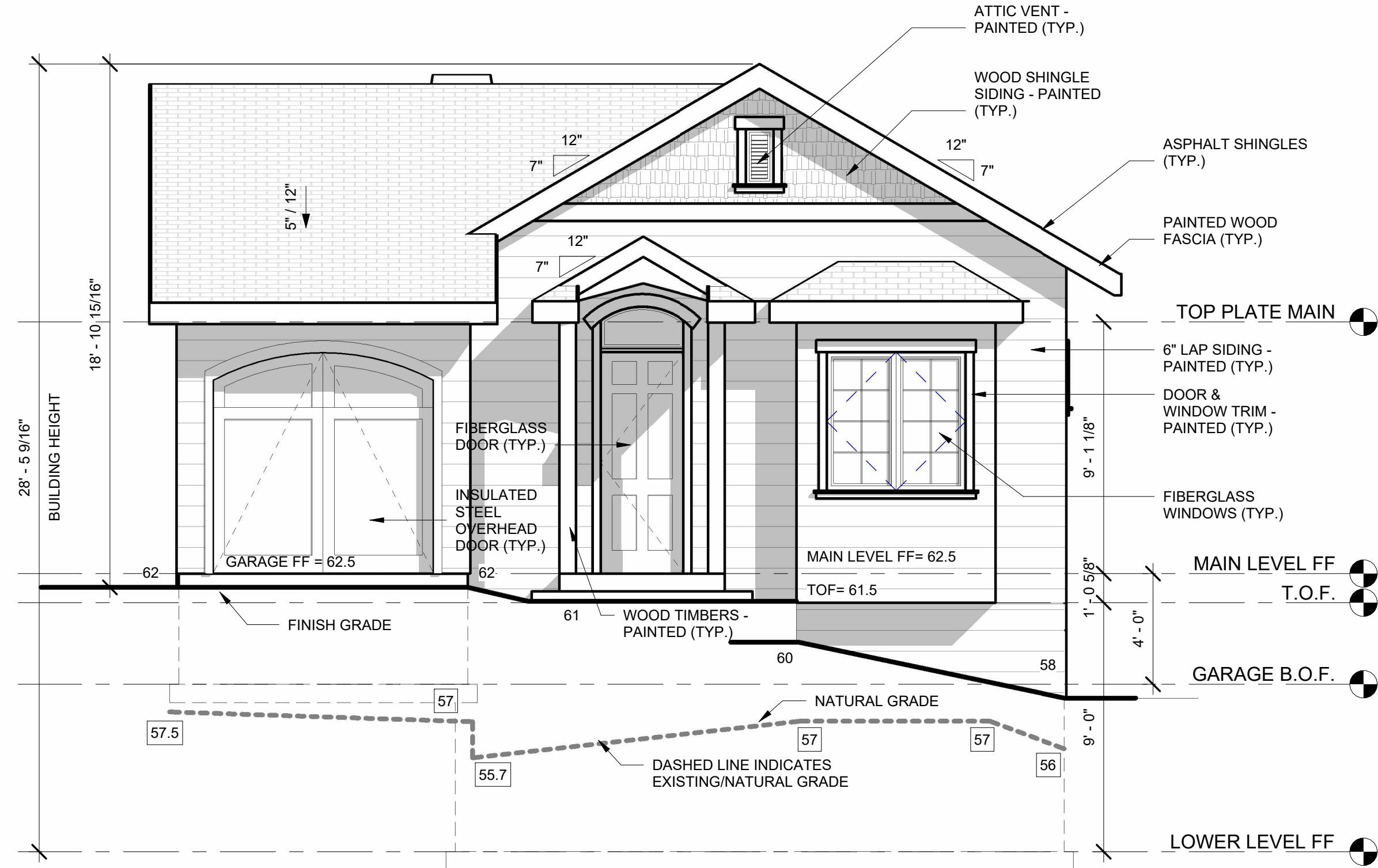
MAIN LEVEL FLOOR PLAN, DETAILS

Sheet #
A3
OF 10 SHEETS

MAIN LEVEL FLOOR PLAN SCALE: 1/4" = 1' - 0"

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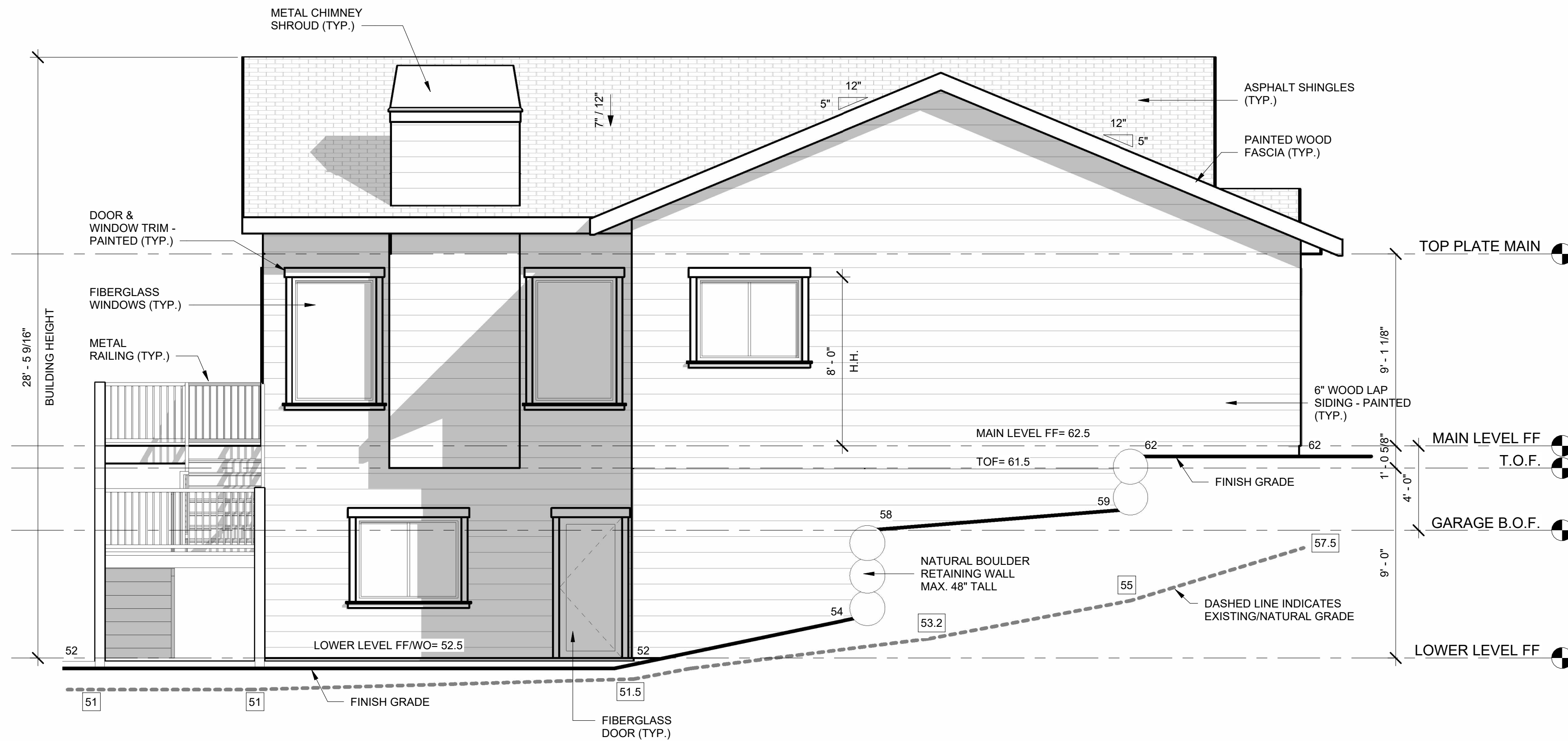
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FRONT ELEVATION

SCALE: 1/4" = 1' - 0"



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LEFT ELEVATION

SCALE: 1/4" = 1' - 0"

FRONT AND LEFT ELEVATIONS

SCALE: 1/4" = 1' - 0"

GENERAL ELEVATION NOTES:

1. PROVIDE 6" MIN. GUTTER AT ALL OVERHANGS AND DOWN SPOUTS AT ALL CORNERS OR AT ALL 30' OF GUTTER RUNS. FIELD LOCATE ALL DOWN SPOUTS SUCH THAT THEY SHALL DRAIN 700sf OF ROOF SURFACE PER 2"x4" DOWN SPOUT. ALL DOWN SPOUTS SHALL HAVE TIPOUTS THAT ALLOW FOR DRAINAGE PAST BACK FILL AREAS-APPROX 7'-0" FROM VERTICAL WALL TO PROVIDE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS.
2. ROOF VENTILATION SHALL COMPLY WITH 2021 IRC R806.2. - ____ SQ. FT. OF VENTILATING AREA.
3. NOTES SHALL APPLY TO ALL ELEVATION CONDITIONS OF LIKE OR SIMILAR CONDITIONS.
4. ANY BOULDER RETAINAGE WALL SHOWN SHALL BE LESS THAN 48" IN HEIGHT w/60" MIN APART IF MORE THAN (1) WALL OR SHALL BE DESIGNED BY SOILS ENGINEER. ANY RETAINING WALLS ARE SHOWN FOR REFERENCE. FIELD VERIFY WITH SITE PLAN AND ACTUAL SITE CONDITIONS PRIOR TO BACK FILL. IN ADDITION, VERIFY WITH CONTRACTOR ACTUAL RETAINING WALL CONSTRUCTION.
5. ICE AND SNOW SHIELD REQUIRED ABOVE 7,000 FEET ABOVE SEA LEVEL.

ASSEMBLY NOTES:

A	ROOF:
B	FASCIA/SOFFIT:
C	EXTERIOR WALL:
D	EXTERIOR WALL BALLOON FRAME:
E	FRAMED FLOOR SYSTEM:
F	EXTERIOR DECK SYSTEM:
G	RAILING SYSTEM:
H	STAIRS:
I	BASEMENT FOUNDATION WALL:
J	SLAB ON GRADE:
K	PERIMETER DRAIN SYSTEM:

ALL ASSEMBLIES AND GENERAL NOTES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS SHEET SST

SPECIFIC ELEVATION NOTES:

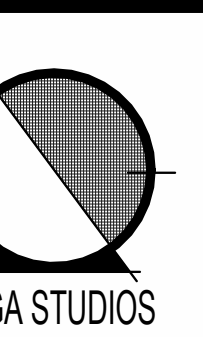
- 80 NOT USED
- 81 NOT USED
- 82 NOT USED
- 83 DIVIDED LIGHTS AS SHOWN. FIELD VERIFY W/CONTRACTOR PRIOR TO ORDERING AND INSTALLATION
- 84 FALSE STONE VENEER FIELD VERIFY ACTUAL STONE LOOK W/OWNER PRIOR TO ORDERING AND INSTALLATION
- 85 WINDOW AND DOOR TRIM
- 86 DOOR STYLE IS REPRESENTATIONAL ONLY. F.V. STYLE, MATERIAL & AVAILABILITY W/ MFG PRIOR TO ORDERING
- 87 FALSE DECO GABLE END TRUSS. SCREW INTO GABLE END TRUSS WEBS OR BLOCKING BETWEEN WEBS.
- 88 VERTICAL SIDING MATERIAL TBD PRIOR TO ORDERING & INSTALLING. F.V. W/ CONTRACTOR
- 89 HORIZONTAL SIDING MATERIAL TBD PRIOR TO ORDERING & INSTALLING. F.V. W/ CONTRACTOR

NOTE:
FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET "CS1" FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

ELEVATION NOTE SYMBOLS:

—	= FINISH GRADE LINE
- - -	= EXISTING GRADE LINE
01	= EXISTING GRADE ELEVATION
01	= FINISH GRADE ELEVATION
TOW=07	= TOP OF FOUNDATION WALL ELEVATION
MO=08	= MAIN LEVEL FINISH FLOOR ELEVATION

REVISIONS



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Phone: (719) 635-0880
office@LGAstudios.com
www.lgastudios.com

CONTRACTOR
TBD

944 MIDLAND AVE

PROJECT NUMBER: 23-2337

DRAWN BY: MDW

CHECKED: LGA

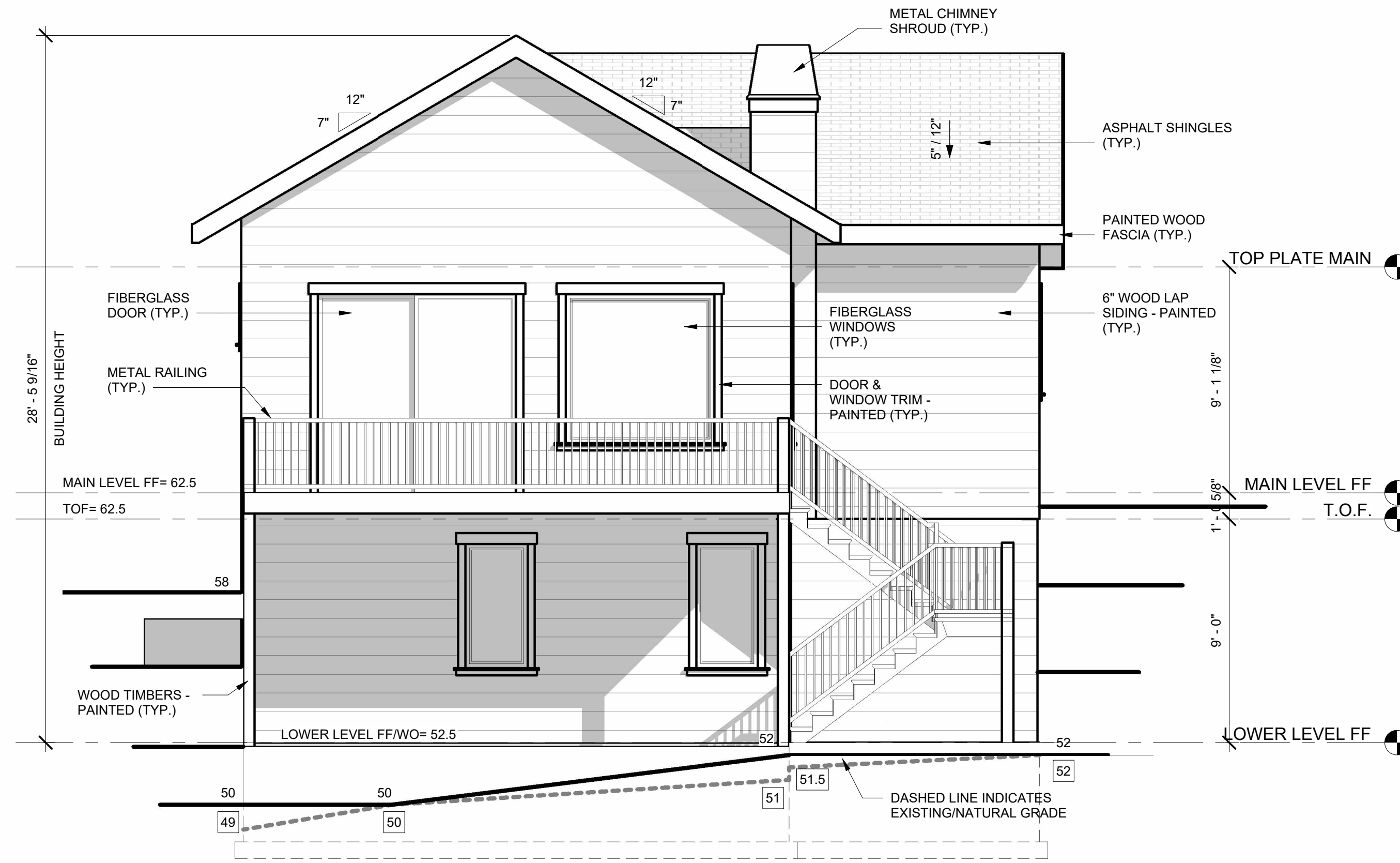
PLOT: 2/13/2026

ELEVATIONS

Sheet #

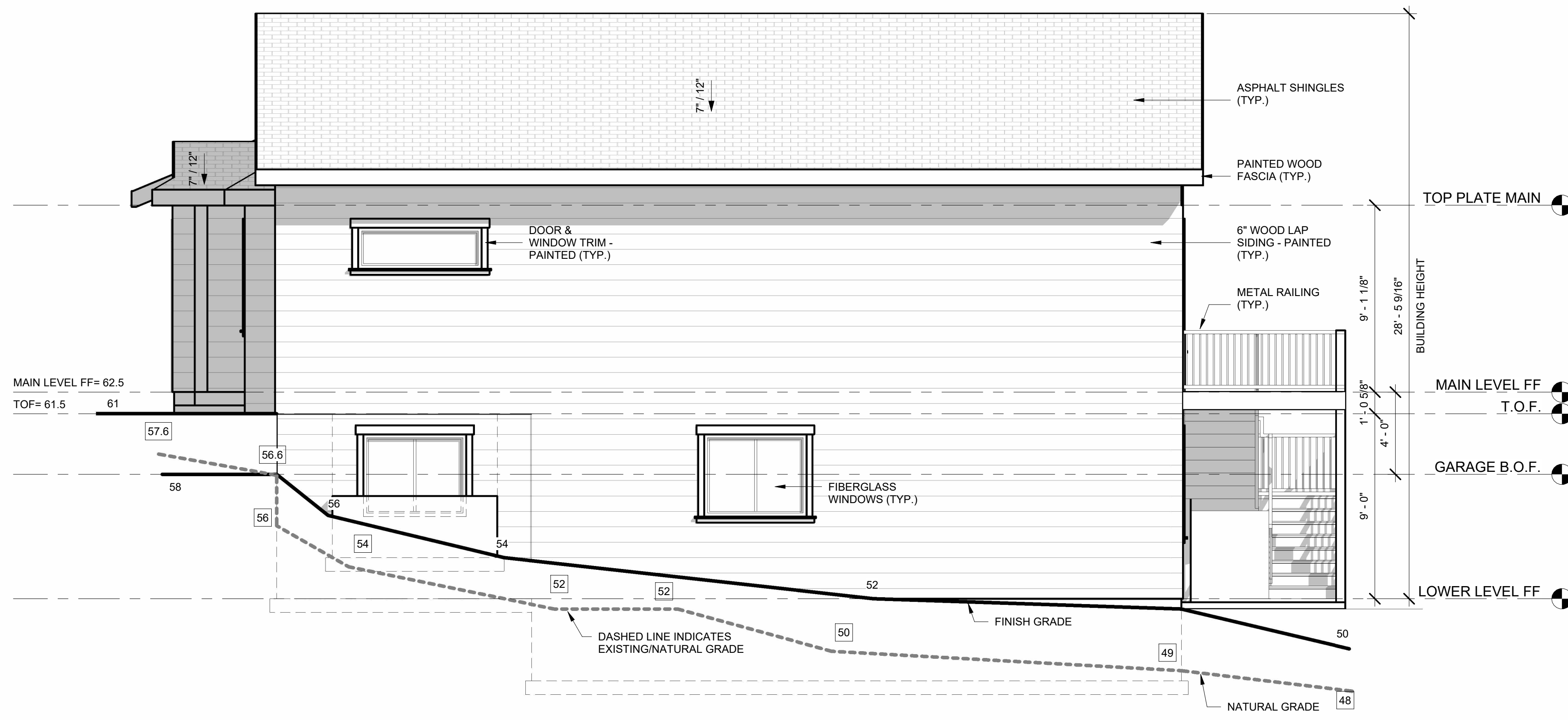
A6

OF 10 SHEETS



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REAR ELEVATION SCALE: 1/4" = 1' - 0"



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RIGHT ELEVATION SCALE: 1/4" = 1' - 0"

REAR AND RIGHT ELEVATIONS SCALE: 1/4" = 1' - 0"

GENERAL ELEVATION NOTES:

1. PROVIDE 6" MIN. GUTTER AT ALL OVERHANGS AND DOWN SPOUTS AT ALL CORNERS OR AT ALL 30' OF GUTTER RUNS. FIELD LOCATE ALL DOWN SPOUTS SUCH THAT THEY SHALL DRAIN 700sf OF ROOF SURFACE PER 2"x4" DOWN SPOUT. ALL DOWN SPOUTS SHALL HAVE TIPOUTS THAT ALLOW FOR DRAINAGE PAST BACK FILL AREAS-APPROX 7'-0" FROM VERTICAL WALL TO PROVIDE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS.
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3. NOTES SHALL APPLY TO ALL ELEVATION CONDITIONS OF LIKE OR SIMILAR CONDITIONS.
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5. ICE AND SNOW SHIELD REQUIRED ABOVE 7,000 FEET ABOVE SEA LEVEL.

ASSEMBLY NOTES:

A	ROOF:
B	FASCIA/OFFFIT:
C	EXTERIOR WALL:
D	EXTERIOR WALL BALLOON FRAME:
E	FRAMED FLOOR SYSTEM:
F	EXTERIOR DECK SYSTEM:
G	RAILING SYSTEM:
H	STAIRS:
I	BASEMENT FOUNDATION WALL:
J	SLAB ON GRADE:
K	PERIMETER DRAIN SYSTEM:

ALL ASSEMBLIES AND GENERAL CONDITIONS SHALL BE AS SPECIFIED IN SHEET S01

SPECIFIC ELEVATION NOTES:

- 80 NOT USED
- 81 NOT USED
- 82 NOT USED
- 83 DIVIDED LIGHTS AS SHOWN. FIELD VERIFY W/CONTRACTOR PRIOR TO ORDERING AND INSTALLATION
- 84 FALSE STONE VENEER FIELD VERIFY ACTUAL STONE LOOK W/OWNER PRIOR TO ORDERING AND INSTALLATION
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NOTE:
FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET "CS1" FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

ELEVATION NOTE SYMBOLS:

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MO=08	= MAIN LEVEL FINISH FLOOR ELEVATION

REVISIONS

LGA STUDIOS

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Colorado Springs, CO. 80903
Phone: (719) 635-0880
office@lga studios.com
www.lgastudios.com

CONTRACTOR
TBD

944 MIDLAND AVE
PROJECT NUMBER: 23-2337

DRAWN BY: MDW
CHECKED: LGA

PLOT: 2/13/2026
ELEVATIONS

Sheet #
A7

OF 10 SHEETS



Title: MCAC 2605 - 946 Midland Avenue (New Residential)
From: Chelsea Royston
To: Historic Preservation Commission
Address of Proposal: 946 Midland Avenue
Applicant: LGA Studios

March 4, 2026

Proposal:

LGA Studios, applicant, on behalf of Summit Ministries, property owner, requests a Material Change of Appearance Certification for the development of a new single household detached dwelling. The applicant also requests relief of the height limitation to allow up to an additional five feet to accommodate the steep roof pitch and side setback relief to allow a 5 foot side setback where 7.5 feet is required.

Zone District:

General Residential

Historic Subdistrict:

High Road

Background and Existing Conditions:

The current owner is unaffiliated with the previous applications heard by the Historic Preservation Commission (HPC) on this site, as recently as 2014.

The property is a part of the High Road Historic Subdistrict and new construction is subject to review by the HPC. The Historic District Design Guidelines state that in the High Road subdistrict (and others)

“The topography tends to be steeper, hence building siting may be irregular and buildings are fit to the varied topography. Some buildings are set immediately against the roadbed or sidewalks and many have a strong relationship to the street or the view. One of the most critical considerations for this area is to respect the natural topography and fit new construction into the topography, rather than using modern methods and equipment to alter it.”

The applicant is seeking a MCAC to construct a single household detached dwelling. The proposed two-story structure will have a 1,546 square foot footprint, which includes a deck and an attached single-car garage. Due to the configuration of the lot, which backs to what was previously Midland Railway Right-of-Way, the proposed garage access and driveway face Midland Avenue. The topography of the site slopes away from Midland Avenue which impacts how the height of the structure is calculated. The 2023 Land Use and Development Code describes height calculation under [Section 18.02.1.4.C Building Height](#). Subsection 2.a states "Within Historic Districts, the maximum *building height* for the Zone District may be exceeded



subject to the Historic District Design Guidelines or approval of a Material Change of Appearance Certification which incorporates steep roof pitches." and the General Residential Zone District Dimensional Standards identify the maximum height that the Historic Preservation Commission can approve is thirty feet (30'), which is five feet more than the zone district permits without MCAC approval. Given the topography of the site, the rear facade of the structure is proposed to be approximately 30 feet, should the MCAC be approved.

The Land Use and Development Code and the Historic Design Guidelines do not assign a numerical definition to the term "steep roof pitch." Instead, it links the allowance for additional height within Historic Districts to roof forms that are evaluated under the Historic District Design Guidelines. The Guidelines assess roof form in relation to architectural character, scale, and neighborhood context rather than a fixed pitch ration. As a result, "steep" is interpreted qualitatively and in context.

In the absence of context of a fixed pitch ratio, staff reviewed roof slopes of surrounding residential structures along this block of Midland Avenue to establish a contextual baseline. The proposed roof pitch was compared to a range of existing pitches visible from the public right-of-way. Within this context, the proposed pitch meets or exceeds the upper range of roof slopes present on the block. Accordingly, "steep" in this instance is not defined in isolation, but relative to the established architectural pattern on the immediate streetscape. The proposed roof form reflects a pitch that is at least as pronounced as those historically present in the area and therefore can reasonably be consisted steep in relation to its surroundings.

There is an existing shed on the site that is proposed to be removed, the shed is not historic and was placed on the site between 2011 and 2015.

Public Involvement:

The application was noticed in accordance with Section 17.04.100 of the Manitou Springs Municipal Code. No public comment has been received as of the publication of this report.

Findings and Review Criteria:

The application is reviewed under Chapter 5 of the Historic District Design Guidelines: Guidelines for New Residential Construction.

5.1 New buildings shall match the alignment of adjacent existing structures.

The structure is proposed to have a reduced front setback and if the MCAC is approved, the applicant will seek a variance to reduce the front yard setback to five feet where fifteen feet is required to the garage. Staff proposes a condition of approval for the MCAC related to this item.

5.2 The relationship of the front entrance to the street shall be similar to other structures within the neighborhood.



The front door is perpendicular to the street and is clearly defined by a covered front entrance.

5.3 New buildings shall be similar in height to adjacent structures.

The structure is proposed to have a height of approximately 20' 6" on the front façade adjacent to Midland Avenue. Due to site topography and the way height is measured, the rear façade is proposed to be approximately 30 feet. Maximum height in the General Residential Zone District is 25 feet, except as provided for in the second footnote to the dimensional standards table which states that HPC can permit building height up to 30 feet to allow for steep roofs. The term "steep roof" is not defined in the Historic Preservation Code or the Historic District Design Guidelines. The roof is proposed to have a 7/12 pitch. If the HPC does not approve of the additional height, the applicants have indicated that they may seek a variance from the City Planning Commission, or may modify the pitch of the roof to bring the height into compliance. Staff proposes a condition of approval for the MCAC related to this item.

5.4 The mass and scale of a new building shall be similar to existing historic structures located in the historic subdistrict.

The proposed structure is comparable in size and scale to existing historic structures in the subdistrict and along Midland Avenue. Due to the topography of the area, houses on the south side of Midland Avenue appear taller than the houses on the north side of the street. Setbacks also vary in the area and can impact how building massing is perceived. The site is on the north side of the street and the proposed structure is two-story. Should the variance for the reduced front setback be approved by CPC, the structure may appear larger and taller than others nearby, however, staff does not find it to be incompatible.

5.5 Cascading of multi-family residential developments is prohibited. The design of individual units shall not be repeated.

Not applicable

5.6 New buildings should employ materials and finishes that complement existing historic resources contained in the subdistrict.

The proposed materials include:

- Wood Board & Batten siding
- Fiberglass sliding windows (the front window will have decorative muntins)
- Asphalt shingle roofing except for metal accent roofing on front patio cover

Please see the application narrative for the complete list of proposed materials.

5.7 Integrate roof forms that are similar to those forms seen on historic structures within the historic subdistrict where the new construction is proposed.

The proposed structure is cross-gabled and the roofline minimizes the appearance of the garage



so that the front entry is more prominent.

5.8 Roof materials shall appear similar in scale and texture to those materials used on historic structures.

The proposed roofing material is primarily asphalt shingle with metal accent roofing on front patio cover. Metal roofing is not compatible with adjacent properties and staff proposes a condition of approval for the MCAC related to this item.

5.9 Locate porches on the front façade of a new structure to maintain the historic orientation of the front entrance of a building toward the street.

The 78 square foot covered front porch is on the front facade of the structure, facing Midland Avenue.

Staff Recommendation:

Should the HPC find it appropriate to approve the MCAC, staff recommends the following conditions:

1. Should the Planning Commission modify or deny the request for a reduced front yard setback, the final plans may be modified to comply with setback standards without further consideration by the HPC, subject to staff review.
2. The final plans shall replace metal accent roofing with asphalt shingle roofing.

Motion Language Options:

MCAC 2605 – Material Change of Appearance Certification

Approve the Material Change of Appearance Certification at 946 Midland Avenue, based upon the findings that the request meets the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with staff's conditions as outlined.

Approve the Material Change of Appearance Certification at 946 Midland Avenue, based upon the findings that the request meeting the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with an alteration to staff's conditions as follows...

Deny the Material Change of Appearance Certification at 946 Midland Avenue, based upon the findings that the request does not meet the review criteria for granting a Material Change of



Appearance Certification, as set forth in City Code Section 17.04.050.B.5.

Postpone the Material Change of Appearance Certification at 946 Midland Avenue to April 1, 2026 for further consideration.

February 13, 2026

Property: 944 & 946 Midland Ave

Owner: Summit Ministries
941 Osage Ave
Manitou Springs, CO 80829
(866) 786-6483
Jeff.wood@summit.org

Contractor: TBD

Architectural Designer: LGA Studios/EV Studio
201 E Las Animas Ste 113
Colorado Springs, CO 80903
(719) 635-0880
michellew@lgastudios.com



944 & 946 Midland Avenue are currently undeveloped with small existing shed structures intended to be removed. According to the El Paso County Assessor, the neighboring houses were built between 1914 and 1997, with 935 Midland built in 1997, 936 Midland built in 1914, 937 Midland built in 1956, 945 Midland built in 1946, and 950 Midland built in 1924.

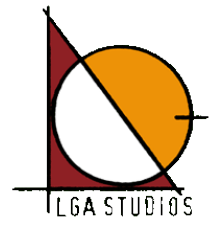
Summit Ministries purchased these lots with the intention to provide affordable housing for staff with families. The design intent of this project is to create two comfortable and efficient homes that also fit well within the historical architectural context of the neighborhood. The design was created based on the simple forms and detailing of the craftsman and folk victorian style including a covered front porch and rear deck for some outdoor living while using simple clean lines and exterior materials that fit within the neighborhood. The visual impact will be minimal. The homes as designed will stay within the building height limitations pending MCAC approval of the 30' building height. These undeveloped lots slope substantially from the street to the majority of a level site. In an effort to keep build costs reasonable and to allow a nice rear yard, the owner is seeking a variance to allow the homes to be placed as close to the front of property and street as reasonable. A front yard setback of 5 feet is being requested for both 944 and 946 Midland Avenue to reduce the amount of fill dirt needed and to provide building alignment with adjacent homes along Midland Ave. Additionally, Lot 3 (946 Midland Ave.) is narrower than Lot 2 (944 Midland Ave.) and because of that we are requesting a variance to allow the side setback to be less than 7'-6", but no less than 5'-0". This would allow us to use a similar house footprint for both lots that would provide adequate space for a single car garage and reasonable entry/dining space.

Within the historic guidelines there is not a formal list of characterization features for the architecture of the High Road subdistrict. However, as we evaluated the surrounding homes, we did observe that the majority of them have steeper roofs and gables. These new homes that have been designed to also have these elements to compliment the appearance of the existing homes in the neighborhood. The roof pitch was raised to 7:12 to be considered a steeper pitch and still remain within the building height limitations if MCAC approves the 30' height.

The owner is planning on having all improvements made by summer of 2027.

Respectfully,
Michelle Williams

Photos of 944 & 946 Midland Ave:



Photos of other Midland Ave homes:



935 Midland Ave



936 Midland Ave



937 Midland Ave



945 Midland Ave

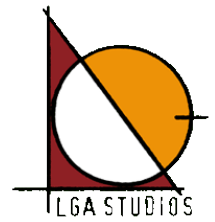


950 Midland Ave



901 Midland Ave





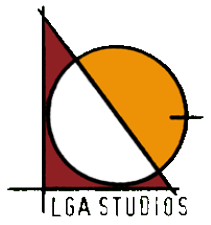
944 Midland Ave. Exterior material and color selections:

- **Siding:** 6" Wood lap siding – painted
- **Trim:** Wood – painted
- **Fascia/trim:** Wood – Painted
- **Shingle Siding:** Half-cove wood shingles – painted
- **Roof:** Asphalt shingles – GAF Timberline
- **Windows:** Fiberglass Windows
- **Doors:** Fiberglass Doors
- **Front Door:** Fiberglass paneled door
- **Garage Door:** Overhead Door – paneled with lites – Painted
- **Timbers:** Wood timbers – painted
- **Railings:** Metal – Painted
- **Exposed foundation:** Concrete – Painted
- **Retaining walls:** Broadmoor boulders (or similar)
- **Driveway:** Asphalt paving
- **Porch:** 4" concrete – Broom finish
- **Patios:** 4" concrete – Broom finish

946 Midland Ave. Exterior material and color selections:

- **Siding:** Wood Board & Batten siding – painted
- **Trim:** Wood – Painted
- **Fascia/trim:** Wood – Painted
- **Shingle Siding:** Half-cove wood shingles – painted
- **Roof:** Asphalt shingles – GAF Timberline
- **Windows:** Fiberglass Windows
- **Doors:** Fiberglass Doors
- **Front Door:** Fiberglass paneled door
- **Garage Door:** Overhead Door – paneled with lites – Painted
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- **Porch:** 4" concrete – Broom finish
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944 Midland Ave
Proposed Materials:



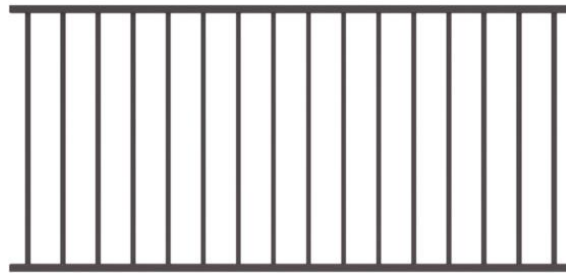
Lap siding



Shingle style



Roof



Railing



Windows



Sliding Glass Door

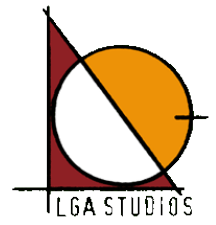


Front Door Style

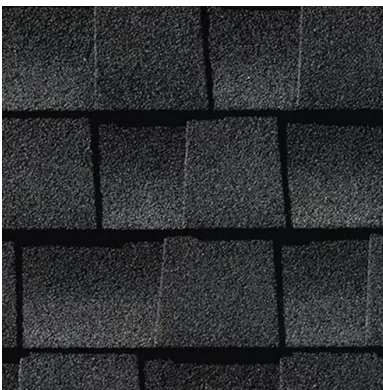


Rear Door Style

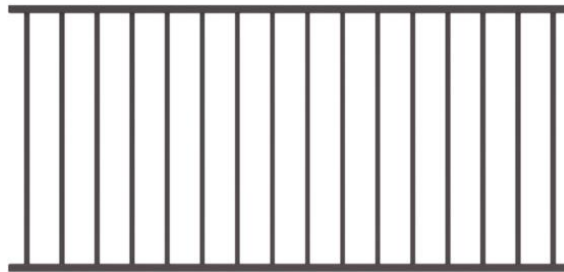
**946 Midland Ave
Proposed Materials:**



Board & Batten siding



Roof



Railing



Windows



Sliding Glass Door



Front Door



Garage Door Style



HISTORIC PRESERVATION CODE CHAPTER 17.04.050 MATERIAL CHANGE OF APPEARANCE CERTIFICATION (MCAC) EXTERIOR REMODEL / NEW CONSTRUCTION SUBMITTAL INSTRUCTIONS and CHECKLIST

This checklist is not designed to be a substitute for the Historic Preservation Regulations. Applicants are expected to review the details of the Regulations; copies can be purchased in the Planning office, or accessed online at: www.manitouspringsgov.com

A pre-application conference shall be scheduled with Planning Staff a minimum of 14 working days prior to application submittal in order for the Applicant to become acquainted with the submittal requirements and the Historic Design Guidelines. The following information needs to be provided at the pre-submittal meeting:

- 1) ***Conceptual site layout***
- 2) ***Conceptual building exterior elevations including exterior materials.***

By **4:30 p.m. on the published submittal date** the following information, as specified in the Manitou Springs Historic Preservation Regulations, shall be submitted electronically to planningdept@manitouspringsco.gov

- 1. A completed **Development Review Application** form with nonrefundable application fee.
- 2. A **letter of explanation** containing the following information:
 - Property address
 - Name, address, phone number, email of owner
 - Name, address, phone number, email of developer or contractor (if other than the owner)
 - Name, address, phone number, email of architect or designer (if commissioned)
 - Description of any existing improvements on the property
 - A statement describing the scope of the project, the design intentions, and a comment on the project's visual impact on its surroundings
 - Detailed description of the proposal
 - Description of the proposed type of all exterior materials
- 3. **Photographs** of the existing property and its relationship to the surrounding area.
- 4. Site Plan per Planning Commission requirements (see Chapter 18.72.030 Site plan requirements)
 - Existing and proposed floor plan layouts
 - Elevation drawings and details
- 5. Completed **Checklist for Applicability**.
- NA 6. Applications for properties in the Downtown Zone shall submit elevations and samples of the proposed exterior color(s)
- NA 7. Applications for properties in the Downtown Zone may also be required to submit additional information or documentation such as a photo simulation, massing model, streetscape elevation, streetscape or building perspective and extended site plan incorporating the existing Resources surrounding the proposed construction, which demonstrates its overall compatibility in relation to siting, scale, height and massing
- NA 8. Other information as requested by the Planning staff and/or the Historic Preservation Commission

CHECKLIST FOR APPLICABILITY
City of Manitou Springs Historic District Design Guidelines

Project Name and/or Address Summit Ministries - 944 & 946 Midland Ave **Date** February 13, 2026

STEP 1: Identify an approach for your project (see page 1.7 of the Historic Design Guidelines)

STEP 2: Complete the following Checklist

- **Is the Guideline applicable? If yes, is your project in compliance with the Guideline? If your project is not in compliance, please indicate why not and describe your alternative strategy for fulfilling the intent of the Guideline.**

Photographs and supplemental information are encouraged. Please use a separate piece of paper if you need additional space.

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 1: Introduction (Includes Philosophy, How to Use the Design Guidelines and the Submittal Process)								
Chapter 2: Historic Context (Includes information about the Historic Subdistricts on pages 2.7-2.60 and Architectural Styles on pages 2.61-2.72)								
Chapter 3: Guidelines for SUSTAINABLE Building Strategies								
3.1	3.6	Solar Panels and Photovoltaic Cells		X				
3.2	3.6	Satellite Dish Antennas		X				
Chapter 4: Guidelines for Preservation, Alterations and Additions to CONTRIBUTING RESIDENTIAL Structures								
4.1	4.1	Architectural Character		X				
4.2	4.2	Building Alignment		X				
4.3	4.2	Building Orientation		X				
4.4	4.2	Building Height		X				
4.5	4.4	Mass & Scale		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.6	4.4	Roof Form		X				
4.7	4.5	Roof Materials		X				
4.8	4.6	Chimneys		X				
4.9	4.6	Dormers		X				
4.10	4.7	Skylights		X				
4.11	4.7	Porches		X				
4.12	4.8	Porch Material		X				
4.13	4.9	Windows		X				
4.14	4.10	Doors		X				
4.15	4.11	Architectural Details		X				
4.16	4.12	Foundation Ornamentation & Details		X				
4.17	4.12	Foundation Ornamentation & Details		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.18	4.13	Materials		X				
4.19	4.13	Materials		X				
Chapter 5: Guidelines for NEW RESIDENTIAL Construction								
5.1	5.2	Building Alignment	X		X		front setback not compliant with written code, but front of building would align with existing adjacent house if 5' setback is approved	requesting variance to allow 5'-0" front setback. Requesting 5'-0" side setback for Lot 4 (946 Midland)
5.2	5.3	Building Orientation	X		X			
5.3	5.3	Building Height	X			X	Building height in front is average between adjacent structures but is too tall in rear due to new height calculation requirements.	Requesting a variance for rear height so that new house will be harmonious with the neighboring houses
5.4	5.4	Mass & Scale	X		X			
5.5	5.4	Mass & Scale		X				
5.6	5.5	Building Materials	X		X			
5.7	5.5	Roof Form	X		X			
5.8	5.6	Roof Materials	X		X			
5.9	5.6	Porches	X		X			

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 6: Guidelines for Additions and Alterations to NON-CONTRIBUTING Structures								
6.1	6.1	Building Orientation		X				
6.2	6.2	Mass & Scale		X				
6.3	6.2	Building Materials		X				
6.4	6.2	Roof Form		X				
6.5	6.3	Architectural Details		X				
Chapter 7: Guidelines for NEW Construction in the COMMERCIAL CORE (see also pages 2.53-2.55 and Chapter 10)								
7.1	7.3	Franchise Architecture		X				
7.2	7.3	Building Alignment		X				
7.3	7.4	Building Orientation		X				
7.4	7.4	Mass & Scale		X				
7.5	7.5	Building Form		X				
7.6	7.5	Roof Form		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
7.7	7.6	Storefronts		X				
7.8	7.7	Storefronts		X				
7.9	7.7	Storefronts		X				
7.10	7.8	Architectural Details		X				
7.11	7.9	Architectural Details		X				
7.12	7.10	Architectural Details		X				
7.13	7.11	Materials		X				
7.14	7.11	Materials		X				
7.15	7.11	Materials		X				
7.16	7.12	Awnings		X				
7.17	7.13	Nonconforming Commercial Buildings		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 8: Guidelines for New Construction and Additions in Selected SUBDISTRICTS								
8.1	8.2	Architectural Details of Historic Structures		X				
8.2	8.3	Architectural Details of Historic Structures		X				
8.3	8.4	Architectural Details of Historic Structures		X				
8.4	8.5	Franchise Architecture		X				
8.5	8.5	Nonconforming Commercial Buildings		X				
LOG CABIN SUBDISTRICT (see also pages 2.33-2.35, 10.6-10.7, and 10.9-10.10)								
8.6	8.7	Building Form		X				
8.7	8.7	Primary Entrances and Porches		X				
8.8	8.7	Garages		X				
8.9	8.7	Garages		X				
8.10	8.8	Building Materials		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
EL COLORADO LODGE SUBDISTRICT (See also pages 2.21-2.23)								
8.11	8.8	Building Alignment		X				
8.12	8.9	Building Orientation		X				
8.13	8.9	Mass & Scale		X				
8.14	8.9	Building Form		X				
8.15	8.10	Roof Form		X				
8.16	8.10	Materials		X				
8.17	8.10	Materials		X				
8.18	8.10	Materials		X				
VILLAS SUBDISTRICT – Page 8.11 (See also pages 2.49-2.51 and Chapters 3, 4, 5, 6, 9, 10 and/or 11 as applicable)								
CLIFF DWELLINGS SUBDISTRICT (See also pages 2.17-2.19)								
8.19	8.12	Building Alignment		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
8.20	8.12	Building Orientation		X				
8.21	8.12	Mass & Scale		X				
8.22	8.13	Building Form		X				
8.23	8.13	Roof Form		X				
8.24	8.14	Materials		X				
8.25	8.14	Materials		X				
8.26	8.14	Materials		X				

WEST MANITOU SUBDISTRICT – Pages 8.14-8.15 (See also pages 2.57-2.59 and Chapters 3, 4, 5, 6, 8, 9, 10 and/or 11 as applicable)

Chapter 9: Guidelines for SECONDARY Structures

9.1	9.1	Secondary Structures		X				
9.2	9.1	Secondary Structures		X				
9.3	9.1	Garages		X				
9.4	9.3	Carports Shade Structures		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 10: Guidelines for SITE IMPROVEMENTS for Residential and Commercial Properties								
10.1	10.2	Stone Retaining Walls, Bridges & Stairs	X		X			
10.2	10.2	Stone Retaining Walls, Bridges & Stairs	X		X			
10.3	10.3	Stone Retaining Walls, Bridges & Stairs	X		X			
n/a	10.3	Site Drainage		X				
10.4	10.4	Automobile Access & Parking	X			X	Lot width does not allow for a side entry garage	Paneled door to be painted to match color scheme. Sidewalk grade to remain driveway material to be asphalt.
10.5	10.5	Automobile Access & Parking		X				
10.6	10.5	Mechanical Equipment & Service Areas	X		X			
n/a	10.6	Fencing		X				
10.7	10.8	Streetscape		X				
n/a	10.9	Vegetation		X				
10.8	10.10	Lighting	X		X			
10.9	10.11	Lighting		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
10.10	10.11	Security		X				
10.11	10.12	Integral Color: Roofing, Natural Stone, Grout, Concrete	X		X			
n/a	10.12	Painting and Surface Treatments		X	X			
n/a	10.13	Historic District Color Palette		X	X			
Chapter 11: Guidelines for Building RELOCATION								
11.1	11.1	Building Relocation		X				
11.2	11.1	Building Relocation		X				
11.3	11.1	Building Relocation		X				
APPENDIX A: Secretary of the Interior: Standards for Treatment of Historic Properties								
APPENDIX B: Technical Maintenance and Preservation Information								
APPENDIX C: Tax Credits and Other Incentives for Historic Preservation								
APPENDIX D: Glossary of Terms								

SITE INFO:

ADDRESS:

944 MIDLAND AVENUE

LEGAL:

LOT 3, PEAR RING SUB,
IN THE CITY OF MANITOU SPRINGS,
EL PASO COUNTY, COLORADO.

SITE DATA:

LOT SIZE = 4,904 SQFT
BUILDING FOOTPRINT =
HOUSE = 1,094 SQFT
GARAGE = 208 SQFT
PORCH = 24 SQFT
DECK = 176 SQFT
TOTAL = 1,502 SQFT
LOT COVERAGE = 30.6%
ZONING = GR
TAX SCHEDULE #: 74053-11-017
BUILDING HEIGHT = SEE ELEVATIONS

SITE NOTES:

- 1) Topographic information is to be supplied by others. See below for info.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- 5) Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- 6) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- 7) Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- 8) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- 9) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

SITE LEGEND:

- PROPERTY LINES & CORNERS
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED BOULDER RETAINING WALL
 - NO ROCK OUT CROPPING EXIST AT SITE
- ⊙ = NATURAL GRADE
○ = FINISH GRADE

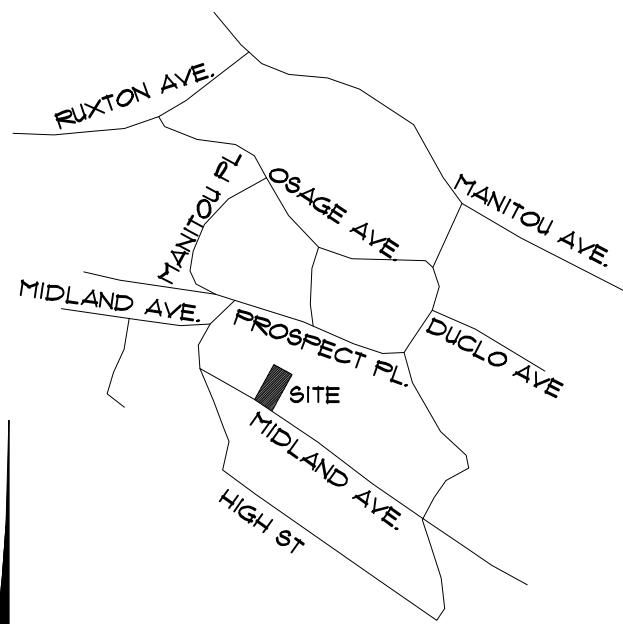
SITE TERMS:

ABBREVIATIONS:

- BOW= BOTTOM OF RETAINING WALL
- (E)= EXISTING TO REMAIN
- LL= LOWER LEVEL
- ML= MAIN LEVEL
- (N)= NEW CONSTRUCTION
- (R)= REMOVE
- R.O.W.= RIGHT OF WAY
- SB= SETBACK
- SQ. FT. OR SF= SQUARE FEET
- TOF= TOP OF FOUNDATION
- TOW= TOW OF RETAINING WALL
- UL= UPPER LEVEL
- WO= WALKOUT

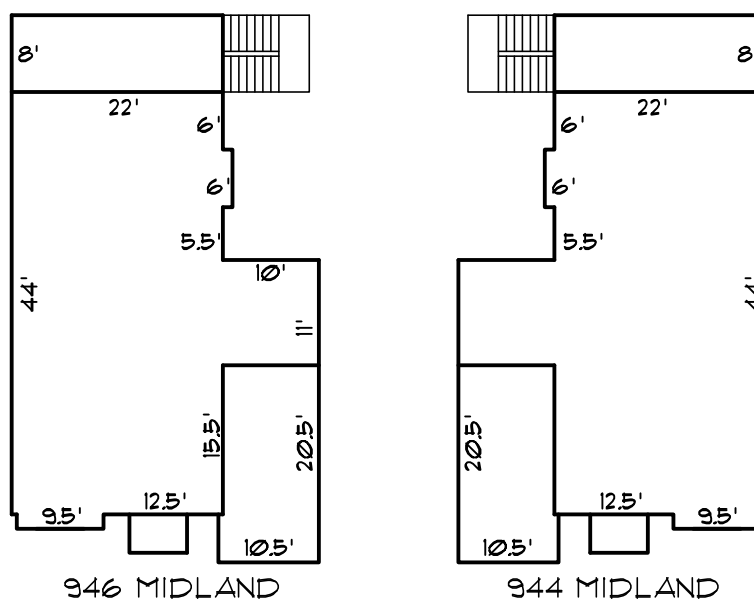
TOPO INFO:

LWA LAND SURVEYING, INC.
953 E. FILLMORE STREET
COLORADO SPRINGS, CO 80901
PHONE: (719) 636-5179



VICINITY MAP

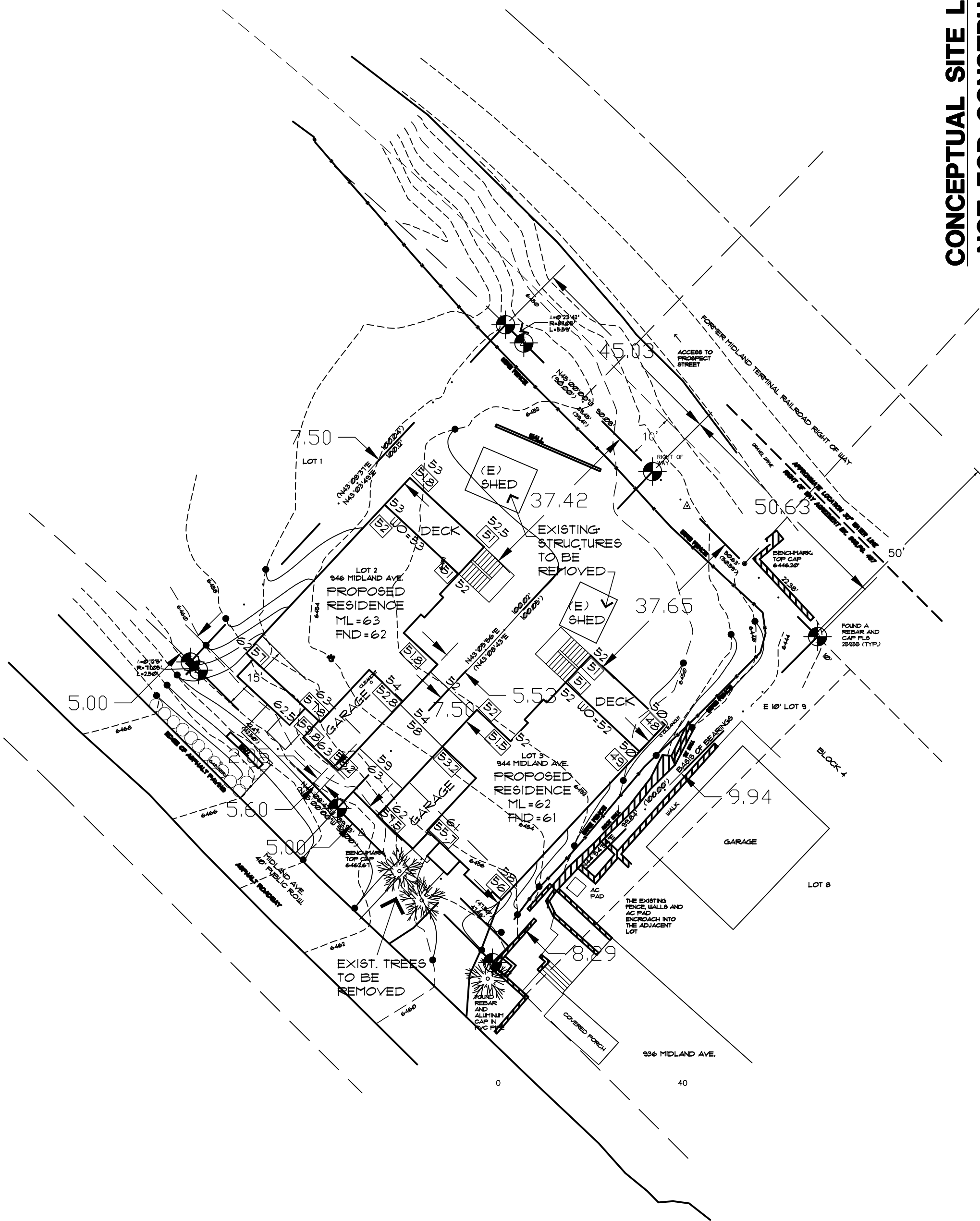
NO SCALE



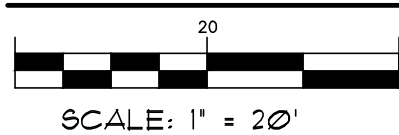
HOUSE FOOTPRINT

NO SCALE

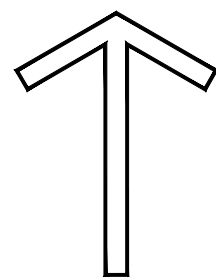
**CONCEPTUAL SITE LAYOUT
NOT FOR CONSTRUCTION**



SITE PLAN



SCALE: 1" = 20'



NORTH

CONTRACTOR

TBD

THE

**944 & 946
MIDLAND AVE**

COMPUTER FILE #23-2337

DRAWN BY: MDW

CHECKED BY: LGA
PLOT 02/13/26 2:54 PM

SITE PLAN
VICINITY MAP
SITE NOTES

Sheet #
SP1
OF 1 Sheets

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MAIN LEVEL	1084 SF
GARAGE	208 SF
DECK	176 SF
COV PORCH	78 SF
LOWER LEVEL FINISHED	968 SF
LL UNFIN.	110 SF
PATIO	176 SF

GENERAL LOWER LEVEL NOTES:

- UNLESS NOTED OTHERWISE ALL CONCRETE FOUNDATION WALL HEIGHTS THIS LEVEL TO BE A 9'-4" POUR w/INTERIOR WALL HEIGHTS TO BE 9'-0"± FIELD VERIFY.
 - PROVIDE 'LOW RESISTANCE' RETURN AIR PATH FOR ALL CLOSED ROOMS - USE T-GRILLS OR UNDER-CUT DOORS PER CODE.
 - ALL NON-BEARING WALL, STAIRS AND LANDINGS MUST FLOAT.
 - MAINTAIN MINIMUM CLEAR SPACE PER THE MANUFACTURER IN FRONT OF THE CONTROL SIDE OF FURNACE & WATER HEATER. WATER HEATER MUST BE PLACED SO THE VENT IS ADJACENT & CLOSEST TO THE VENT STACK. PROVIDE COMBUSTION AIR PATH TO ALL GAS FIRED APPLIANCES PER CODE.
- 48" MAX HIGH RETAINING WALLS ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY WITH SITE PLAN AND ACTUAL SITE CONDITIONS PRIOR TO BACKFILLING. IN ADDITION, VERIFY w/CONTRACTOR ACTUAL RETAINING WALL CONSTRUCTION.

SPECIFIC ELECTRICAL NOTES / SYMBOLS

- (F) EXHAUST FAN (VENT TO EXTERIOR) FANS VENTED THROUGH UNCONDITIONED SPACE MAX 25'-0" & MIN R-6 INSUL
 - (SMOKE) HARDWIRED & INTERLOCK SMOKE ALARM DETECTOR w/BATTERY BACK-UP
 - (CO) CARBON MONOXIDE DETECTOR
- NOTES:
ALL PLACEMENT OF LIGHTING, OUTLETS, TV, PHONES, SECURITY, COMPUTER, STEREO/VIDEO WIRING, INTERCOM OR ANY OTHER ELECTRICAL FIXTURES SHALL BE VERIFIED PRIOR TO CONSTRUCTION w/CONTRACTOR. ELECTRICAL SHALL BE WIRED PER THE NATIONAL ELECTRICAL CODE AND LOCAL CODES. SEE SPECIFICATIONS DIVISION 260000 BASIC ELECTRICAL REQUIREMENTS.

ASSEMBLY NOTES:

- (A) ROOF:
 - (B) FASCIA/SOFFIT:
 - (C) EXTERIOR WALL:
 - (D) EXTERIOR WALL BALLOON FRAME:
 - (E) FRAMED FLOOR SYSTEM:
 - (F) EXTERIOR DECK SYSTEM:
 - (G) RAILING SYSTEM:
 - (H) STAIRS:
 - (I) BASEMENT FOUNDATION WALL:
 - (J) SLAB ON GRADE:
 - (K) PERIMETER DRAIN SYSTEM:
- ALL ASSEMBLIES AND GENERAL NOTES REFER TO SHEET "CS1 AND SPECIFICATIONS SHEET SS1"

SPECIFIC LOWER LEVEL NOTES:

- METAL WINDOW WELL AS GRADE REQUIRES. PROVIDE 36" MIN CLEAR SQUARE EGRESS WELL w/ LADDER PER IRC 2021 R310.4 (9 SQ' MIN CLR)
- TOP OF WINDOW WELL SHALL BE 36" MIN BELOW BOTTOM OF FLOOR/DECK OVERHANG ABOVE. AT DECK PROVIDE MAX 36" EGRESS PATH FROM UNDER DECK TO YARD OR COURT PER IRC 2021 R310.2.4
- PROVIDE MECHANICAL VENTILATION PER IRC 2021 SECTION R303.1.1 AND ARTIFICIAL LIGHT PER SECTION R303.1.3
- PROVIDE FIRE PROTECTION OF FLOORS PER 2021 IRC R302.13 @ ENTIRE CEILING
- 2x4 FURRED WALL WITH MINIMUM INSULATION PER INTERNATIONAL ENERGY CONSERVATION CODE CERTIFICATE, AS REQUIRED

NOTE:
FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET "CS1" FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

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CONTRACTOR
TBD

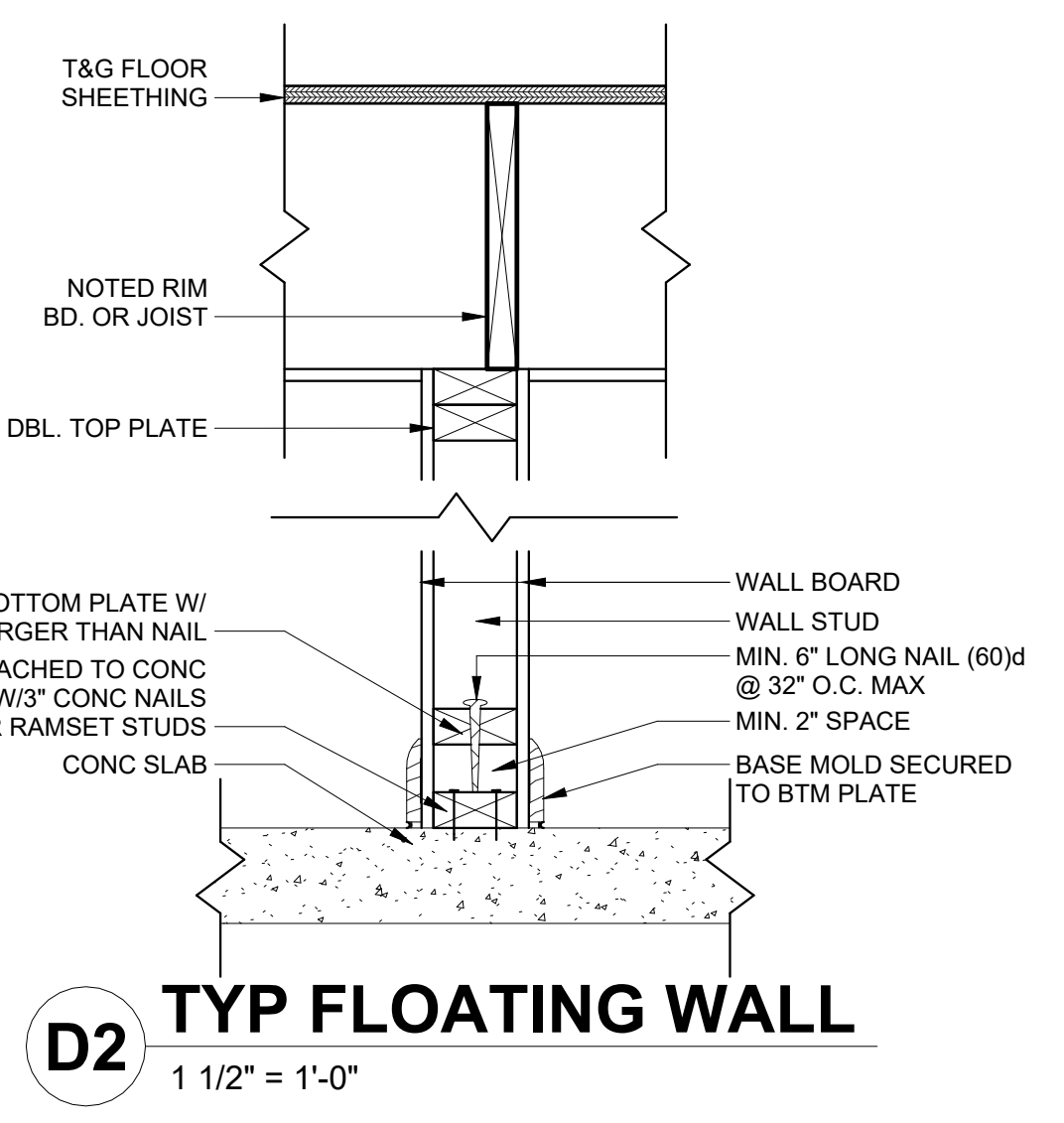
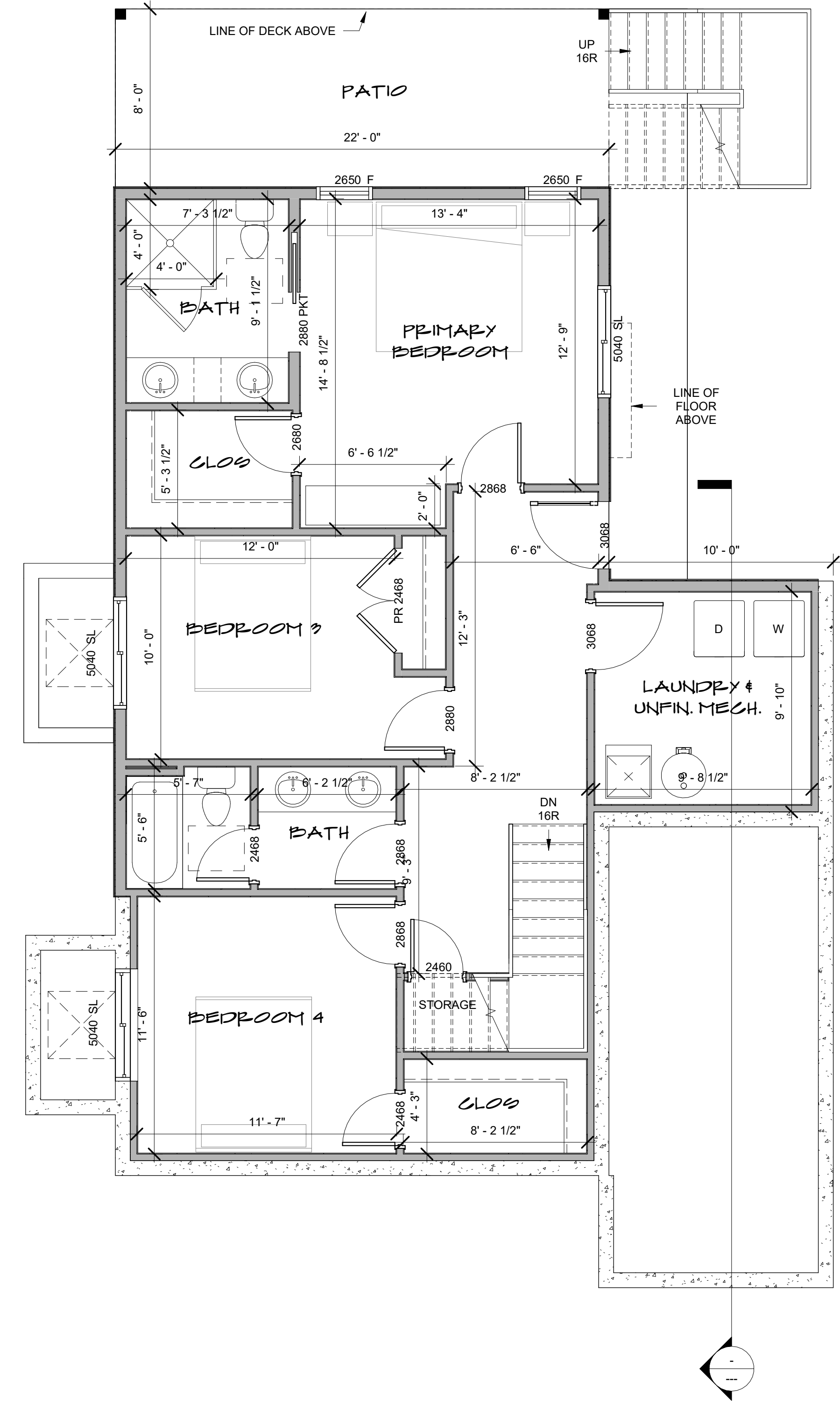
946 MIDLAND AVE
PROJECT NUMBER: 23-2414

DRAWN BY: MDW
CHECKED: LGA

PLOT: 2/13/2026

LOWER LEVEL FLOOR PLAN AND DETAILS

Sheet #
A2
OF 10 SHEETS



CONCEPTUAL REVIEW NOT FOR CONSTRUCTION

LOWER LEVEL FLOOR PLAN SCALE: 1/4" = 1' - 0"

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MAIN LEVEL	1084 SF
GARAGE	208 SF
DECK	176 SF
COV PORCH	78 SF
LOWER LEVEL FINISHED	968 SF
LL UNFIN.	110 SF
PATIO	176 SF

GENERAL MAIN LEVEL NOTES:

- UNLESS NOTED OTHERWISE ALL WALL HEIGHTS THIS LEVEL TO BE 9'-1 1/8".
- PROVIDE 'LOW RESISTANCE' RETURN AIR PATH FOR ALL CLOSED ROOMS - USE T-GRILLS OR UNDER-CUT DOORS PER CODE.

SPECIFIC ELECTRICAL NOTES / SYMBOLS

- (F) EXHAUST FAN (VENT TO EXTERIOR) FANS VENTED THROUGH UNCONDITIONED SPACE MAX 25'-0" & MIN R-6 INSUL
- (SMOKE) HARDWIRED & INTERLOCK SMOKE ALARM DETECTOR w/BATTERY BACK-UP
- (CO) CARBON MONOXIDE DETECTOR

NOTES:
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ASSEMBLY NOTES:

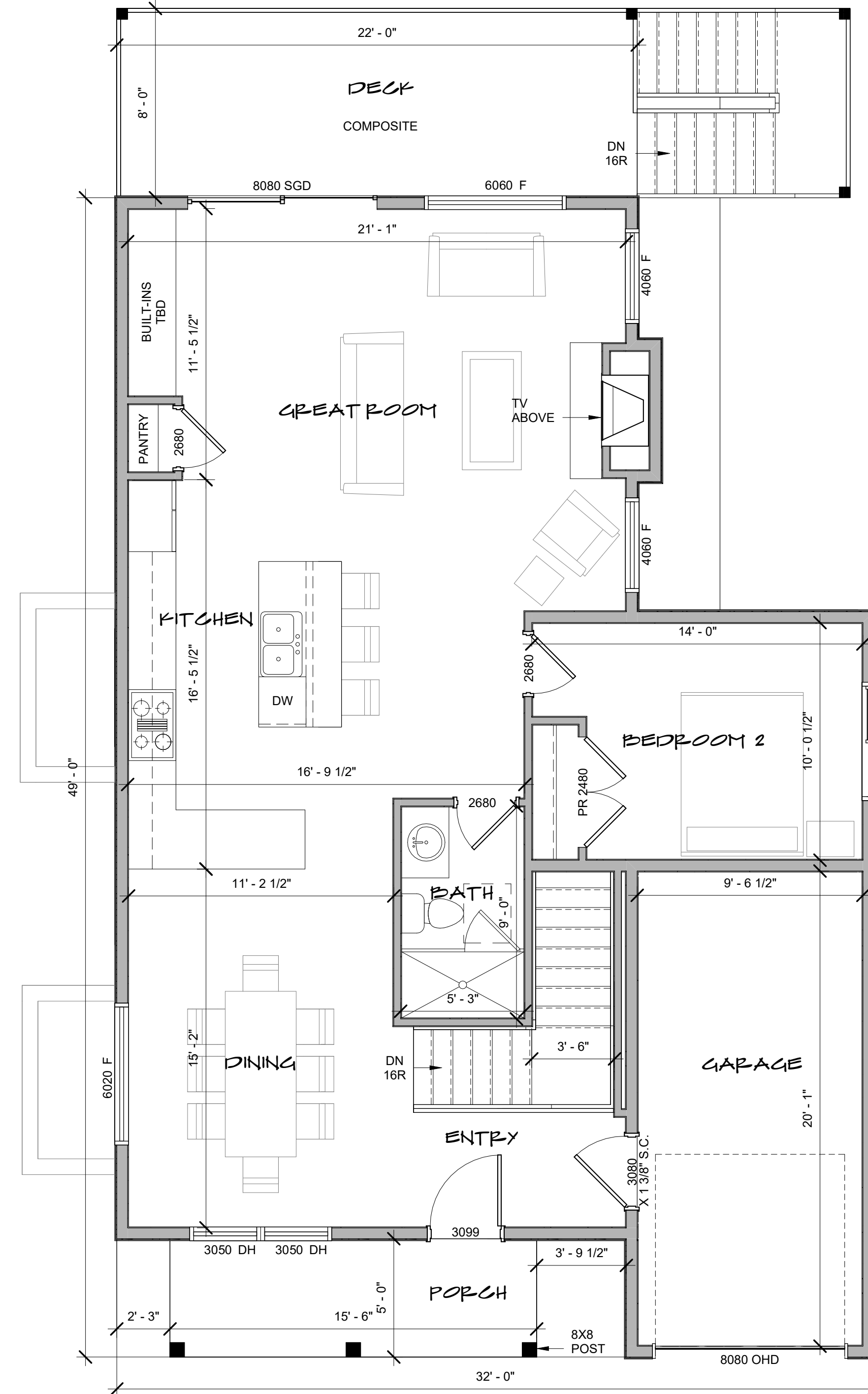
- | | | |
|-----|------------------------------|--|
| (A) | ROOF: | |
| (B) | FASCIA/SOFFIT: | |
| (C) | EXTERIOR WALL: | |
| (D) | EXTERIOR WALL BALLOON FRAME: | |
| (E) | FRAMED FLOOR SYSTEM: | |
| (F) | EXTERIOR DECK SYSTEM: | |
| (G) | RAILING SYSTEM: | |
| (H) | STAIRS: | |
| (I) | BASEMENT FOUNDATION WALL: | |
| (J) | SLAB ON GRADE: | |
| (K) | PERIMETER DRAIN SYSTEM: | |
- ALL ASSEMBLIES AND GENERAL NOTES REFER TO SHEET "CS1" AND SPECIFICATIONS SHEET "S1"

SPECIFIC MAIN LEVEL NOTES:

55 NOT USED

CONCEPTUAL REVIEW NOT FOR CONSTRUCTION

NOTE:
FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET "CS1" FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.



REVISIONS



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946 MIDLAND AVE
PROJECT NUMBER: 23-2414

DRAWN BY: MDW
CHECKED: LGA

PLOT: 2/13/2026

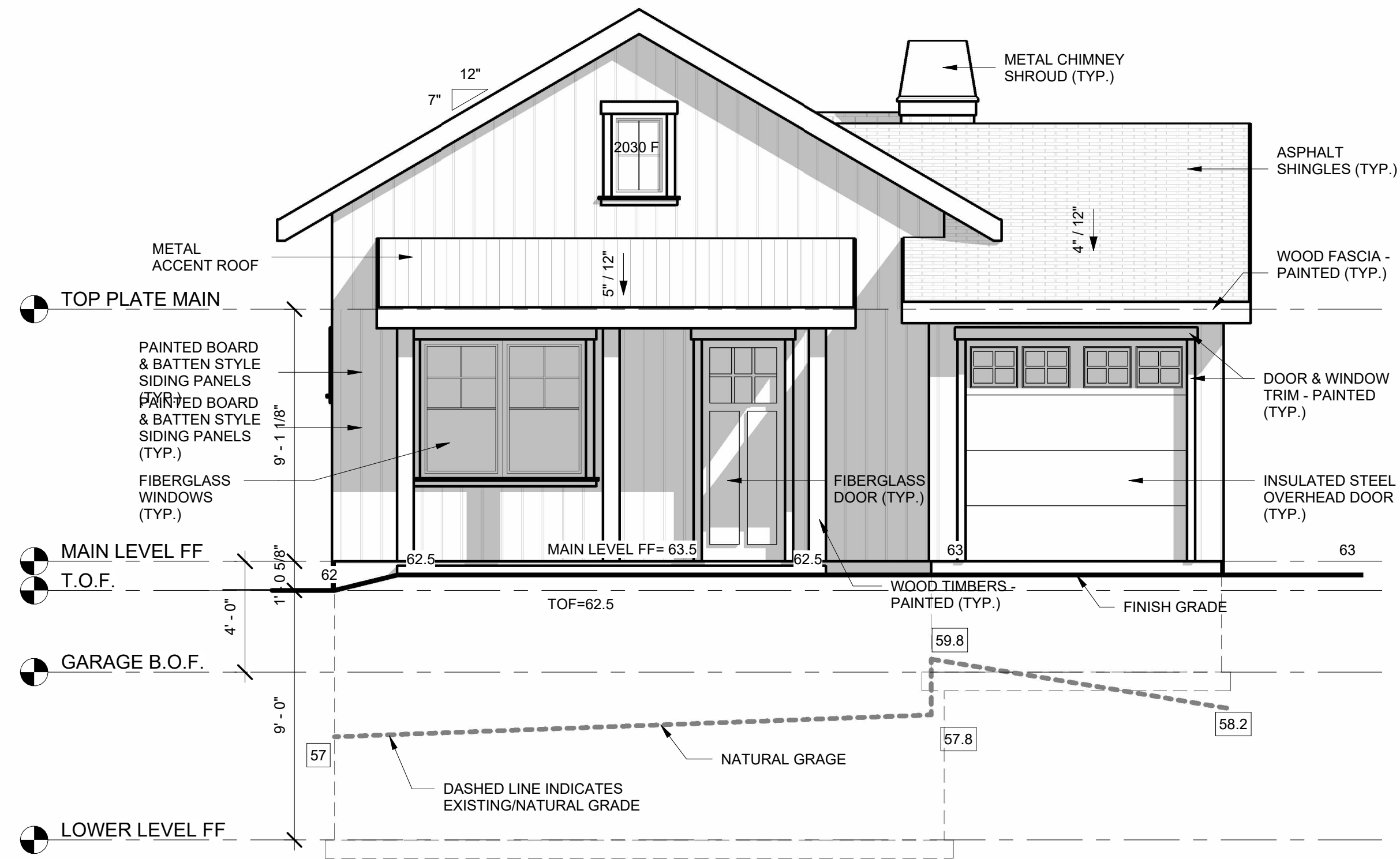
MAIN LEVEL FLOOR PLAN, DETAILS

Sheet #
A3
OF 10 SHEETS

MAIN LEVEL FLOOR PLAN SCALE: 1/4" = 1' - 0"

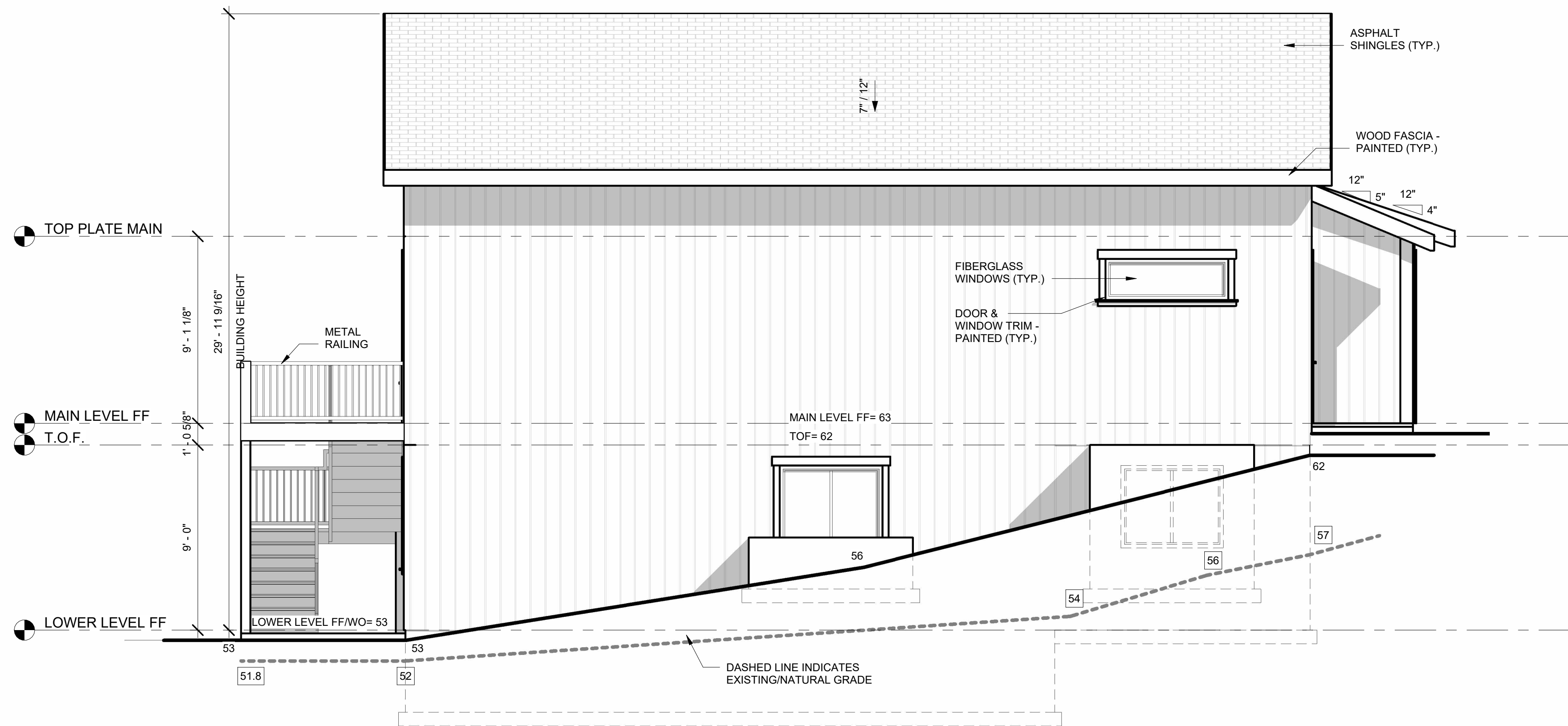
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FRONT ELEVATION SCALE: 1/4" = 1' - 0"



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LEFT ELEVATION SCALE: 1/4" = 1' - 0"

FRONT AND LEFT ELEVATIONS SCALE: 1/4" = 1' - 0"

GENERAL ELEVATION NOTES:

1. PROVIDE 6" MIN. GUTTER AT ALL OVERHANGS AND DOWN SPOUTS AT ALL CORNERS OR AT ALL 30' OF GUTTER RUNS. FIELD LOCATE ALL DOWN SPOUTS SUCH THAT THEY SHALL DRAIN 700sf OF ROOF SURFACE PER 2"x4" DOWN SPOUT. ALL DOWN SPOUTS SHALL HAVE TIPOUTS THAT ALLOW FOR DRAINAGE PAST BACK FILL AREAS-APPROX 7'-0" FROM VERTICAL WALL TO PROVIDE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS.
2. ROOF VENTILATION SHALL COMPLY WITH 2021 IRC R806.2. - ____ SQ. FT. OF VENTILATING AREA.
3. NOTES SHALL APPLY TO ALL ELEVATION CONDITIONS OF LIKE OR SIMILAR CONDITIONS.
4. ANY BOULDER RETAINAGE WALL SHOWN SHALL BE LESS THAN 48" IN HEIGHT w/60" MIN APART IF MORE THAN (1) WALL OR SHALL BE DESIGNED BY SOILS ENGINEER. ANY RETAINING WALLS ARE SHOWN FOR REFERENCE. FIELD VERIFY WITH SITE PLAN AND ACTUAL SITE CONDITIONS PRIOR TO BACK FILL. IN ADDITION, VERIFY WITH CONTRACTOR ACTUAL RETAINING WALL CONSTRUCTION.
5. ICE AND SNOW SHIELD REQUIRED ABOVE 7,000 FEET ABOVE SEA LEVEL.

ASSEMBLY NOTES:

A	ROOF:
B	FASCIA/SOFFIT:
C	EXTERIOR WALL:
D	EXTERIOR WALL BALLOON FRAME:
E	FRAMED FLOOR SYSTEM:
F	EXTERIOR DECK SYSTEM:
G	RAILING SYSTEM:
H	STAIRS:
I	BASEMENT FOUNDATION WALL:
J	SLAB ON GRADE:
K	PERIMETER DRAIN SYSTEM:

ALL ASSEMBLIES AND GENERAL SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS SHEET SST

SPECIFIC ELEVATION NOTES:

- 80 NOT USED
- 81 NOT USED
- 82 NOT USED
- 83 DIVIDED LIGHTS AS SHOWN. FIELD VERIFY W/CONTRACTOR PRIOR TO ORDERING AND INSTALLATION
- 84 FALSE STONE VENEER FIELD VERIFY ACTUAL STONE LOOK W/OWNER PRIOR TO ORDERING AND INSTALLATION
- 85 WINDOW AND DOOR TRIM
- 86 DOOR STYLE IS REPRESENTATIONAL ONLY. F.V. STYLE, MATERIAL & AVAILABILITY W/ MFG PRIOR TO ORDERING
- 87 FALSE DECO GABLE END TRUSS. SCREW INTO GABLE END TRUSS WEBS OR BLOCKING BETWEEN WEBS.
- 88 VERTICAL SIDING MATERIAL TBD PRIOR TO ORDERING & INSTALLING. F.V. W/ CONTRACTOR
- 89 HORIZONTAL SIDING MATERIAL TBD PRIOR TO ORDERING & INSTALLING. F.V. W/ CONTRACTOR

NOTE:
FOR OTHER APPLICABLE KEYNOTES SEE GENERAL NOTE SHEET "CS1" FOR KEYNOTES AND CORRESPONDING ASSEMBLY NOTES.

ELEVATION NOTE SYMBOLS:

—	= FINISH GRADE LINE
- - -	= EXISTING GRADE LINE
01	= EXISTING GRADE ELEVATION
01	= FINISH GRADE ELEVATION
TOW=07	= TOP OF FOUNDATION WALL ELEVATION
MO=08	= MAIN LEVEL FINISH FLOOR ELEVATION

REVISIONS



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Phone: (719) 635-0880
office@lga studios.com
www.lgastudios.com

CONTRACTOR
TBD

946 MIDLAND AVE

PROJECT NUMBER: 23-2414

DRAWN BY: MDW

CHECKED: LGA

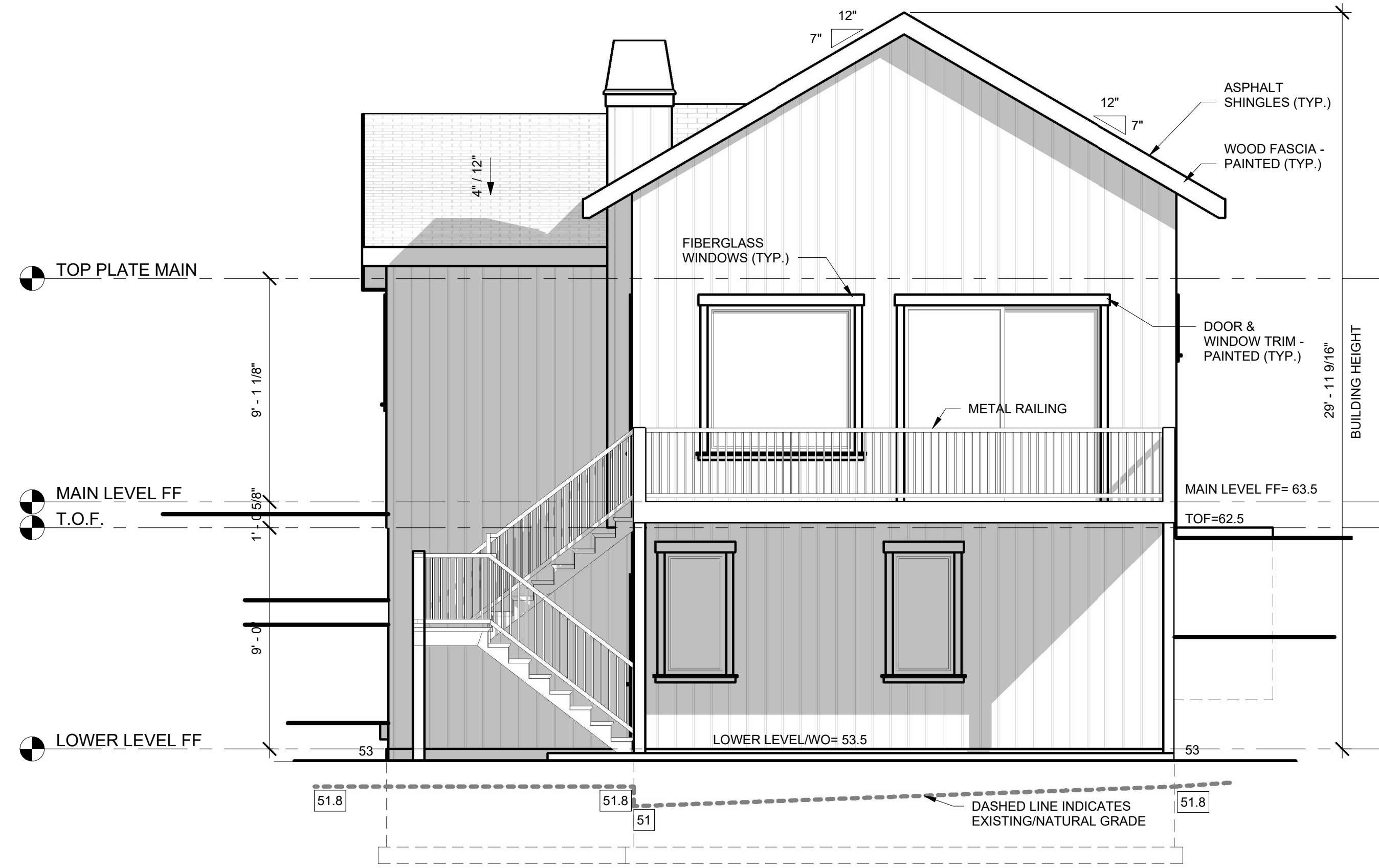
PLOT: 2/13/2026

ELEVATIONS

Sheet #

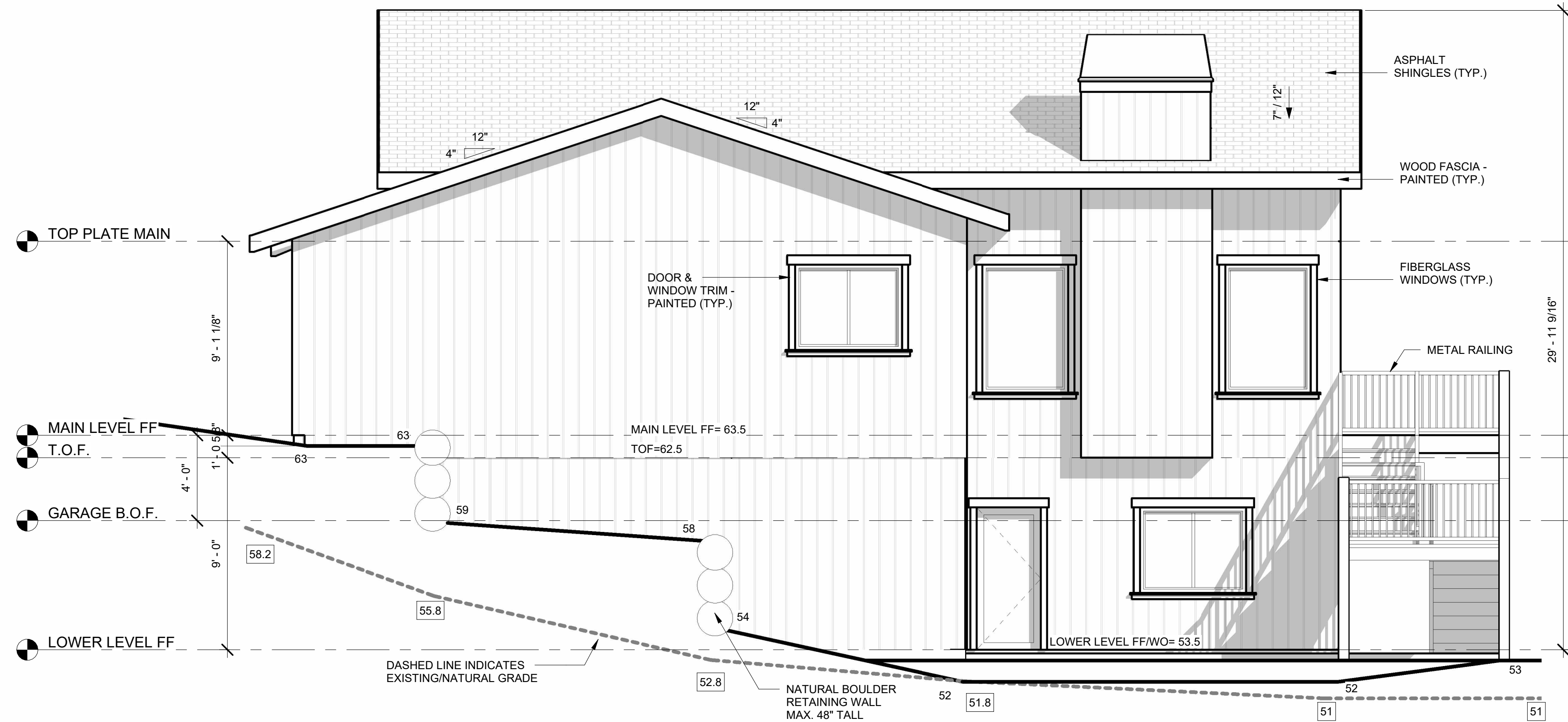
A6

OF 10 SHEETS



REAR ELEVATION

SCALE: 1/4" = 1' - 0"



RIGHT ELEVATION

SCALE: 1/4" = 1' - 0"

REAR AND RIGHT ELEVATIONS

SCALE: 1/4" = 1' - 0"

GENERAL ELEVATION NOTES:

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I	BASEMENT FOUNDATION WALL:
J	SLAB ON GRADE:
K	PERIMETER DRAIN SYSTEM:

ALL ASSEMBLIES AND GENERAL FINISHES SHALL COMPLY WITH THE SPECIFICATIONS SHEET SST

SPECIFIC ELEVATION NOTES:

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946 MIDLAND AVE
PROJECT NUMBER: 23-2414

DRAWN BY: MDW
CHECKED: LGA

PLOT: 2/13/2026

ELEVATIONS

Sheet #
A7
OF 10 SHEETS

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Title: MCAC 2603 - 210 Iron Road (Exterior Alterations)
From: Zach Davison - Planner
To: Historic Preservation Commission
Address of Proposal: 210 Iron Road
Applicant: Karl Honsalek

March 4, 2026

Proposal:

Karl Honsalek, applicant, on behalf of Bob McAtee, property owner, requests a Material Change of Appearance Certification to allow for the removal of an existing unpermitted and unapproved patio enclosure located at the front entrance of the residence, situated directly above the garage. In its place, the applicant requests approval to construct a new professionally built enclosure. Additionally, the request includes the construction of a permanent awning over the garage doors, situated directly below the outermost portion of the proposed enclosure.

This subject property is considered a NONCONTRIBUTING resource to the Minnehaha-Pilot Knob Historic Sub-District.

Zone District:

General Residential (GR)

Historic Subdistrict:

Minnehaha-Pilot Knob

Background and Existing Conditions:

The subject property, originally constructed in 1919, consists of an 847-square-foot residence and a 480-square-foot garage. Over an extended period, the site has experienced significant degradation due to stormwater runoff and snow accumulation, which resulted in foundation instability, structural damage, and restricted accessibility. In an initial attempt to mitigate the deterioration of the deck floor and garage roof, the homeowners previously installed an unapproved and unpermitted enclosure. To rectify these existing conditions and bring the property into full regulatory compliance, the homeowners now request approval for the complete removal of the unapproved structure and the professional reconstruction of a permitted enclosure and addition in its place, alongside the installation of a new garage awning.

The proposed enclosure will measure approximately 24 feet along the front façade and extend 9 feet, 6 inches from the front façade to the main massing of the home. To ensure architectural cohesion, the addition will be clad in hardboard lap siding with fascia and trim designed to match the primary 1919 structure. The design incorporates seven new vinyl windows, including five (4' x 4' approx. and 2' x 4') on the front façade in two distinct sizes and two matching windows (2'



x 4') on the east façade. Furthermore, the project includes the construction of a new landing and stairway, which will serve as the primary point of ingress and egress for the residence. The roof for this addition will feature a low-sloped design topped with asphalt shingles to match the existing home's roofing material.

To further protect the property from damage, a new awning will be affixed to the front garage façade directly above the garage doors. This structure will stand approximately 9 feet tall and 20 feet wide, extending 4 feet from the garage face. The awning will be supported by three wood beams anchored to concrete piers, providing a permanent solution to prevent further erosion of the frontage. The awning's roof will also utilize asphalt shingles to match the aesthetic of the proposed enclosure and primary structure.

Public Involvement:

The application was noticed in accordance with Section 17.04.100 of the Manitou Springs Municipal Code. No public comment has been received as of the publication of this report.

Findings and Review Criteria:

The following guidelines are applicable to this project:

Chapter 6: Guidelines for Additions and Alterations to Non-Contributing Structures

6.1 For additions and/or alterations to the primary building façade, orient the primary building entrance to the street.

The proposed enclosure/addition maintains the primary building's established orientation toward the street. The primary building entrance continues to be situated on the front façade; although it is accessed via a side-facing stairway and landing, its visual and functional focus remains directed toward the street, preserving the home's street-front presence.

6.2. Larger additions shall be divided into smaller components that are similar in scale to the original structure.

Not Applicable.

6.3 Materials shall appear similar in scale and finish to those seen on historic resources.

The proposed enclosure will utilize materials that match the main massing of the building. This includes hardboard lap siding, fascia, and trim that mirror the texture and scale of the existing structure.

6.4 Use roof forms that are similar to those roof forms exhibited on other structures in the neighborhood.

The proposed enclosure and awning will feature low-profile roof forms. While this differs from the pitch of the main roof form, the choice is contextually appropriate for the neighborhood. Flat



and low-slope roof forms are observable on multiple neighboring structures and secondary additions throughout the immediate area.

6.5 Use building components that are similar in shape and size to those seen on historic resources.

The proposed enclosure will be similar in shape and size to those seen on historic resources in the surrounding area.

Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to approve the Material Change of Appearance Certification, staff do not recommend any conditions.

Motion Language Options:

Approve the Material Change of Appearance Certification at 210 Iron Road, based upon the findings that the request meets the review criteria for granting a Material Change of Appearance Certification as set forth in City Code Section 17.04.050.B.5.

Approve the Material Change of Appearance Certification at 210 Iron Road, based upon the findings that the request meeting the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with conditions as follows...

Deny the Material Change of Appearance Certification at 210 Iron Road, based upon the findings that the request does not meet the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5.

Postpone the Material Change of Appearance Certification at 210 Iron Road, to April 1, 2026, for further consideration.

Manitou Variance Questionnaire – Formal Statement of Hardship and Justification

1. Long-Term Flooding and Resulting Hardship

For the past thirty-six (36) years of occupancy at this residence, we have experienced persistent and recurring flooding of our garage. The garage floor is constructed below the existing street grade, which has made it particularly vulnerable to water intrusion during periods of heavy rainfall and seasonal snowmelt. Despite repeated efforts to manage this condition, water continues to enter the garage, resulting in significant and ongoing hardship.

This flooding has caused the destruction of personal property stored within the garage, much of which was irreplaceable or intended for long-term future use. In addition to the loss of personal belongings, repeated water intrusion has contributed to observable deterioration of the garage foundation and structural components, raising concerns about the long-term integrity of the structure.

Many years ago, representatives of the City of Manitou indicated that a plan would be developed to redirect stormwater flow down the street and away from our property, toward the established drainage system located west of our home. Unfortunately, this plan was never implemented. As part of the current mitigation effort, we are requesting that the City finally construct a curb or berm along the roadway to prevent stormwater from flowing directly from the street into our garage.

2. Necessity of the Patio Cover for Water Mitigation

The proposed patio cover located in front of the garage represents the minimum size and scope necessary to meaningfully reduce the volume of rain and snow that falls onto the sloped ground immediately adjacent to the garage. Without this cover, precipitation continues to collect and flow downward toward the garage entrance, exacerbating the flooding problem.

The patio cover is therefore not a matter of convenience, but a necessary component of a comprehensive strategy to mitigate water ingress and protect the garage and foundation from further damage.

3. Patio Enclosure as Replacement and Neighborhood Compatibility

The proposed patio enclosure is intended to replace an existing deck that is currently located on the property. Rather than introducing a new or out-of-character structure, this project involves the removal of an existing feature and its replacement with an enclosed space that serves a similar footprint and purpose.

The patio enclosure will provide additional usable space while remaining consistent with the architectural character of the neighborhood. Numerous properties along our street already include covered porches or similar structures that are actively used by residents. The proposed enclosure is essentially an enclosed porch and aligns with the established pattern of development and amenities within the immediate vicinity.

4. Absence of Self-Imposed Hardship

The need for this variance is not the result of actions taken by the current or any previous owners

of the property. The hardship is not self-imposed. Rather, it is largely attributable to more than 110 years of municipal street maintenance and repeated paving projects that have gradually increased the elevation of the roadway.

As a result of these cumulative actions, the grade of the street has risen significantly relative to the garage floor, increasing the likelihood and severity of stormwater flowing from the street onto our property. This condition was not created by the homeowner and is beyond our ability to correct without City involvement and approval.

5. Accessibility and Health Considerations for Senior Occupants

The home is currently occupied by four (4) senior adults, all of whom experience varying degrees of mobility impairment. Access to outdoor space is limited by stairs and uneven terrain, which can present safety risks.

The addition of the patio enclosure would provide all occupants with safe, convenient access to a bright and airy environment that allows exposure to fresh air and sunlight without the need to navigate stairs or uneven outdoor surfaces. This improvement directly supports the health, safety, and quality of life of the residents.

6. Preservation of the Existing Structure

The prolonged history of flooding has already had a detrimental effect on the garage structure and surrounding foundation. Continued exposure to water threatens further degradation and could ultimately result in substantial structural failure if left unaddressed.

Approval of the requested variance will allow us to implement necessary protective measures to preserve the garage and prevent additional damage. The intent of this request is not expansion for profit or aesthetic excess, but the preservation of an existing structure and the mitigation of a long-standing and well-documented problem.

Comfort Restorations LLC

1029 Ford St

Colorado Springs, CO 80915

719-439-0611

Restoring Comfort to Your Home and Business



To the City of Manitou Springs,

Comfort Restorations respectfully submits this statement in support of a request for a variance and/or easement, as required, for the construction of a patio cover and patio enclosure at the residence located at 210 Iron Road, Manitou Springs, Colorado 80829. Comfort Restorations has been selected as the general contractor for this project and will be overseeing all aspects of design and construction.

The subject property is located within the Historic District of the City of Manitou Springs. We fully understand and acknowledge that construction within the Historic District requires strict adherence to established guidelines intended to preserve the architectural integrity, historical character, and cultural significance of the surrounding area. These guidelines include, but are not limited to, appropriate scaling, compatible roof forms, historically sensitive architectural details, and the use of approved building materials.

Comfort Restorations is committed to complying with all Historic District requirements and will work diligently to ensure that the proposed patio cover and enclosure are designed and constructed in a manner that is consistent with the character of the neighborhood. Our goal is to maintain and respect the historic fabric of the City of Manitou Springs while providing a thoughtful, well-integrated improvement to the property.

This request is being made on behalf of the homeowners, who have resided at this property for over thirty years and are long-time residents of the City of Manitou Springs. Over the course of their ownership, the home has experienced ongoing issues related to water intrusion, foundation deterioration, and limited accessibility. These challenges have been compounded by mobility impairments affecting the senior residents of the home, significantly restricting their ability to safely and comfortably utilize certain areas of the property.

The proposed patio cover and enclosure are intended to address these long-standing concerns by creating a safe, accessible, and functional outdoor living space that can be used without navigating stairs or compromising the residents' living conditions. This improvement will allow the homeowners to enjoy the outdoor environment while remaining protected from weather-related hazards and further structural damage. Most importantly, it will enhance accessibility and quality of life for the senior occupants, allowing them to fully utilize their home in a manner that supports their mobility needs.

Comfort Restorations recognizes the importance of preserving the Historic District within the City of Manitou Springs and takes this responsibility seriously. As the assigned general contractor, we are committed to maintaining appropriate architectural details, historically compatible building materials, and approved roof forms throughout the project to ensure full compliance with all applicable historic preservation standards.

Additionally, we have received further information and requests from the homeowners that we respectfully ask the City to take into consideration as part of this variance and/or easement request. These considerations are submitted in good faith and reflect the homeowners' desire to remain in their long-term residence while making necessary, sensitive improvements that do not detract from the historic character of the area.

We appreciate the City of Manitou Springs' time, consideration, and dedication to preserving the unique historical character of the community. Comfort Restorations looks forward to working collaboratively with the City and all relevant departments to ensure this project meets all regulatory and preservation requirements while addressing the essential accessibility and safety needs of the homeowners. – Respectfully Submitted



210-



210





























love
never
fails

210



love
never
fails

JULY

LOVE

PEACE

















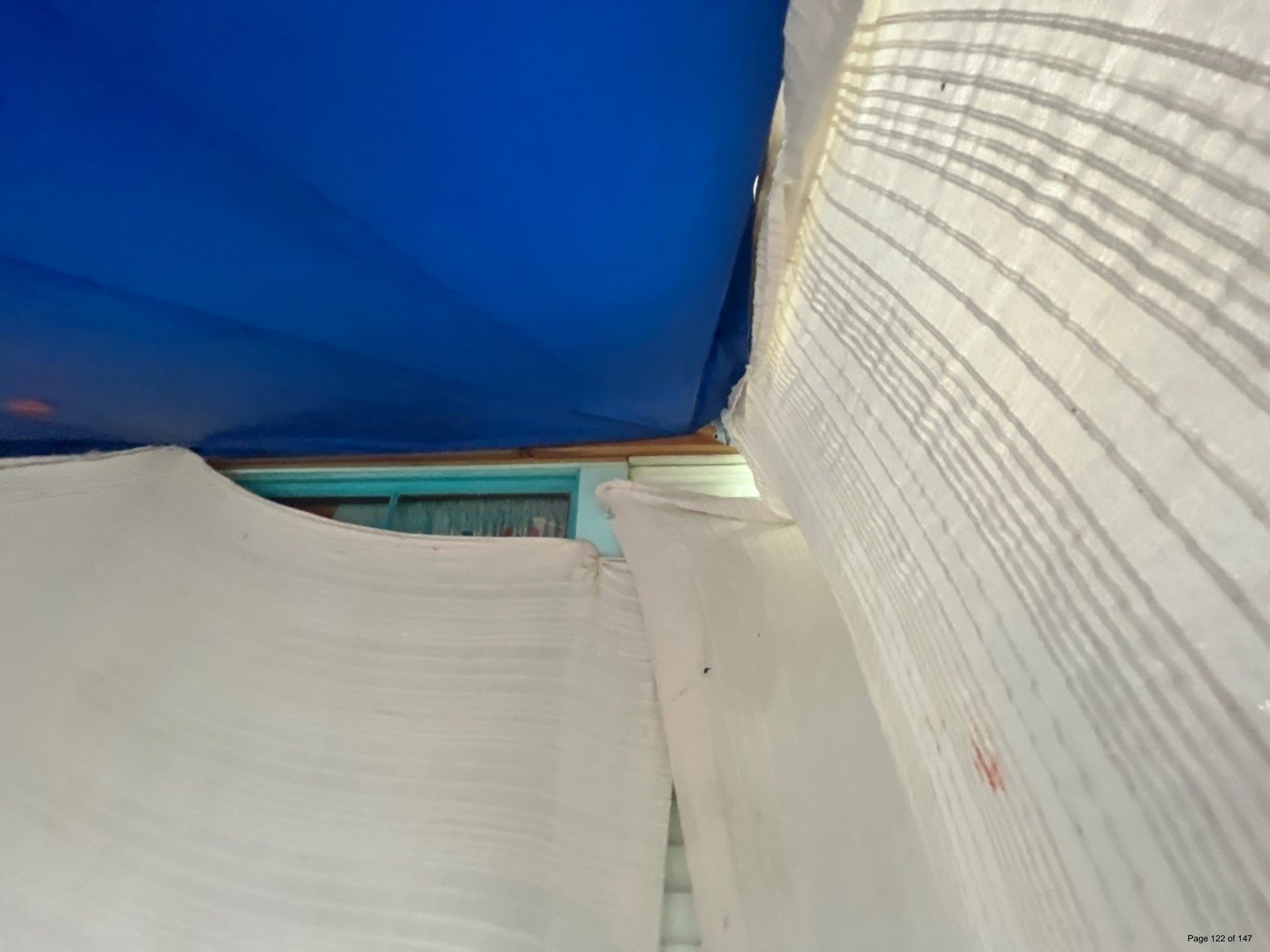


BOSCH
Professional GLM 50 C
22'
8" 21/32













210

Stone
Nook
falls



Rolf Nader Falls

210

ROCKY MOUNTAIN WAY





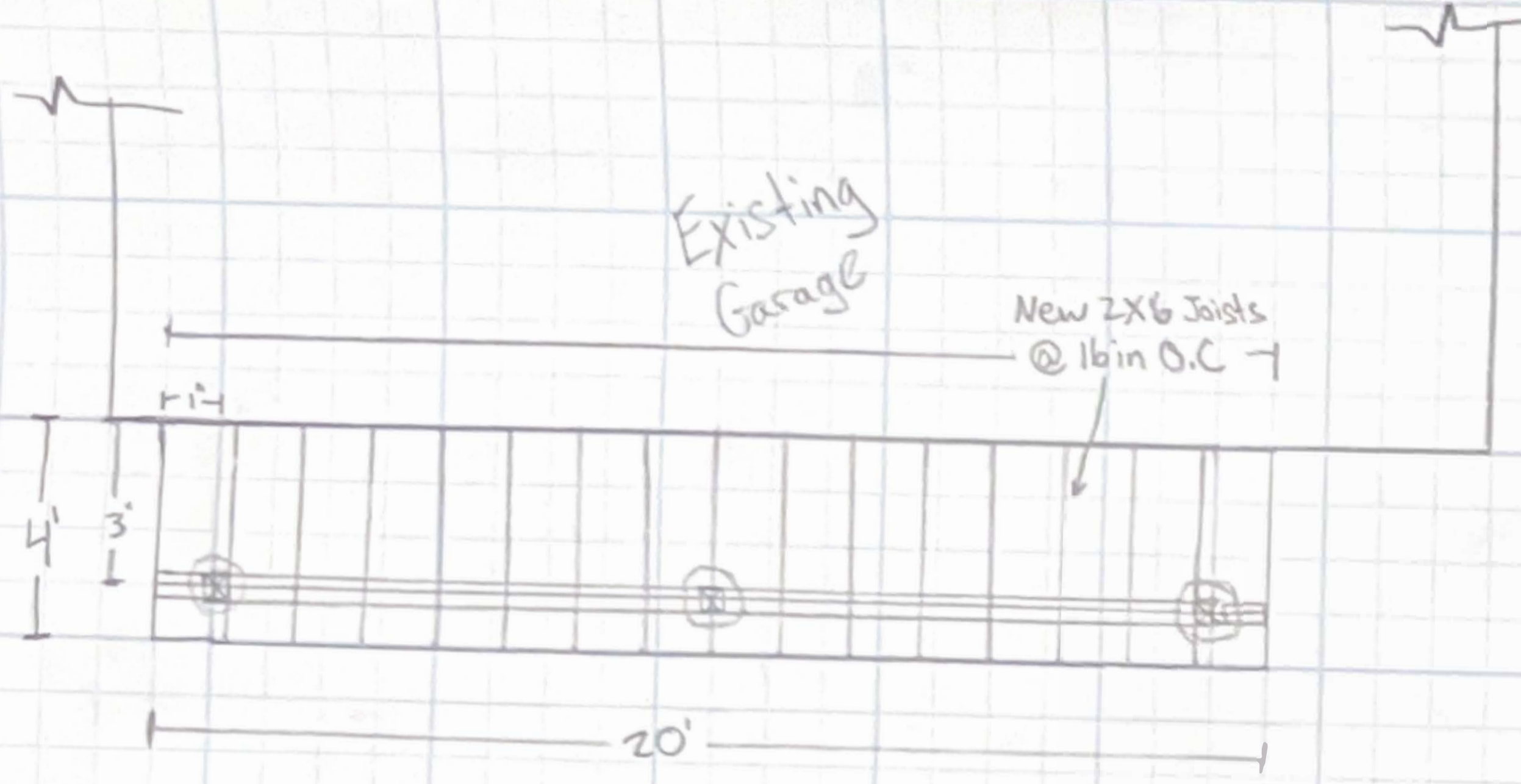


The facing on Fiberglas will burn. Do not leave exposed. The facing must be installed in contact with a ceiling, wall, or floor finish material. Protect facing from any open flame or heat source.
Stated R-value refers to insulation only at stated thickness

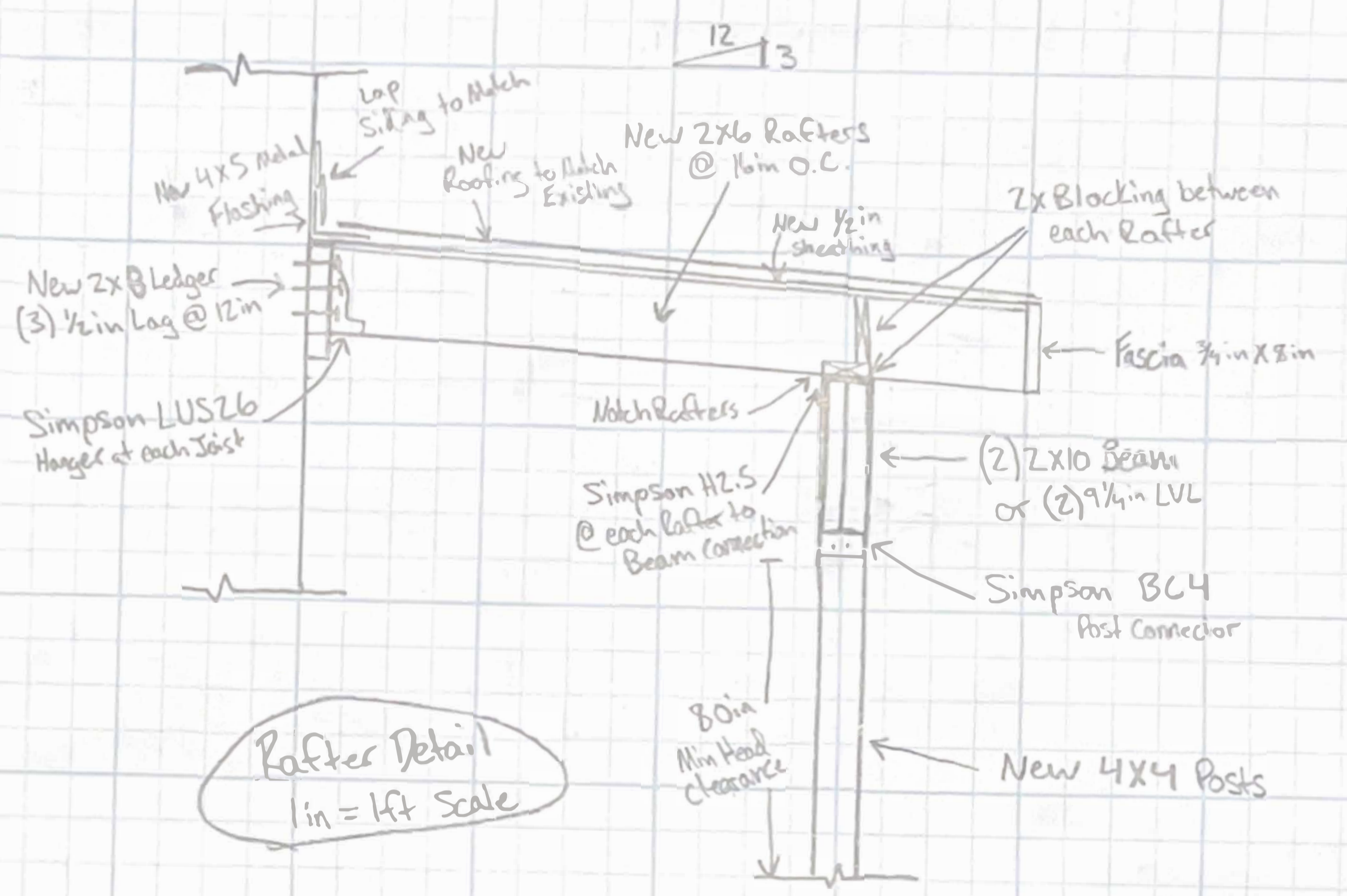
R-19 **6 1/4"**

Owens-Corning
Fiberglas

Insulation
Apply this side toward being sealed

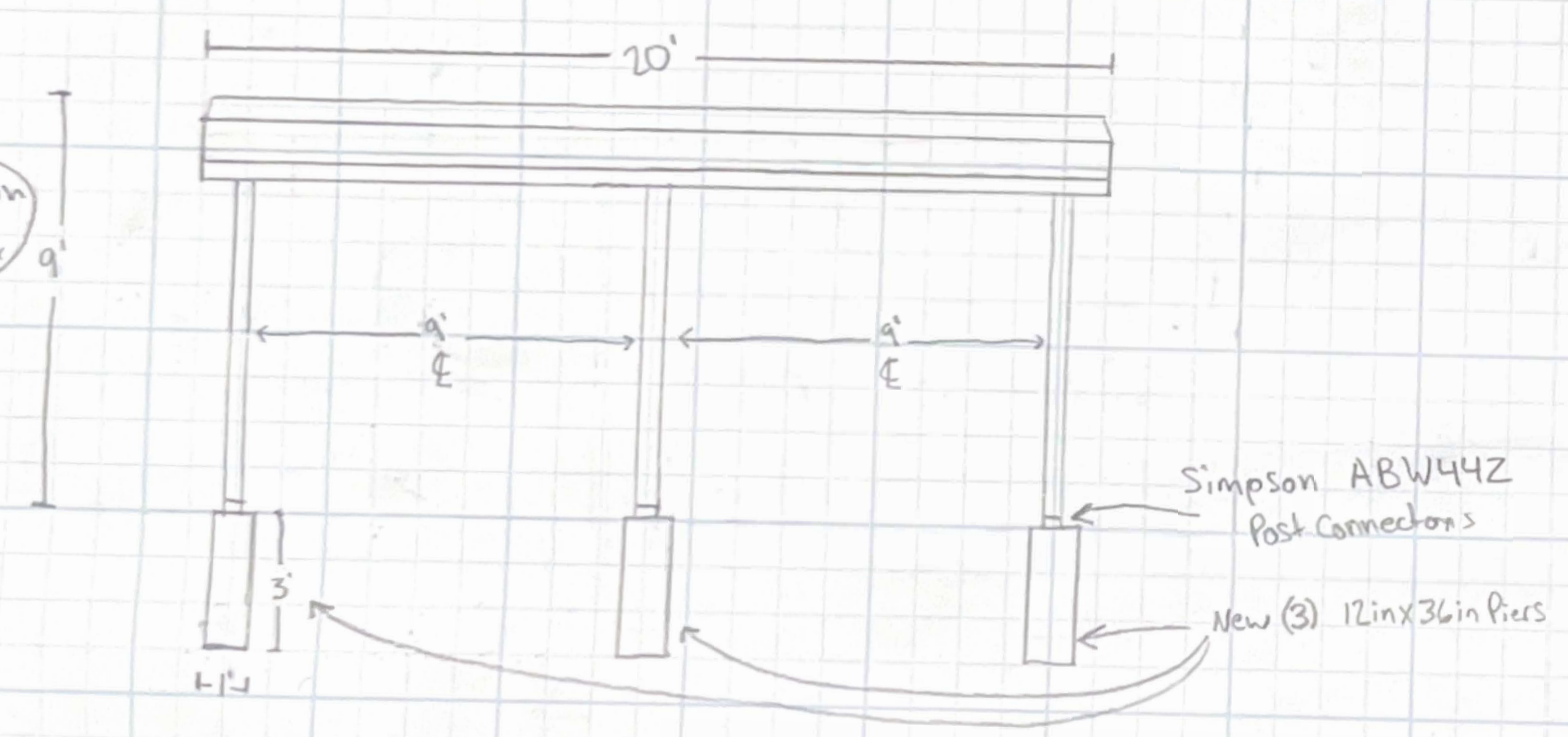


Roofing Framing Plan
Scale 1/4in = 1ft



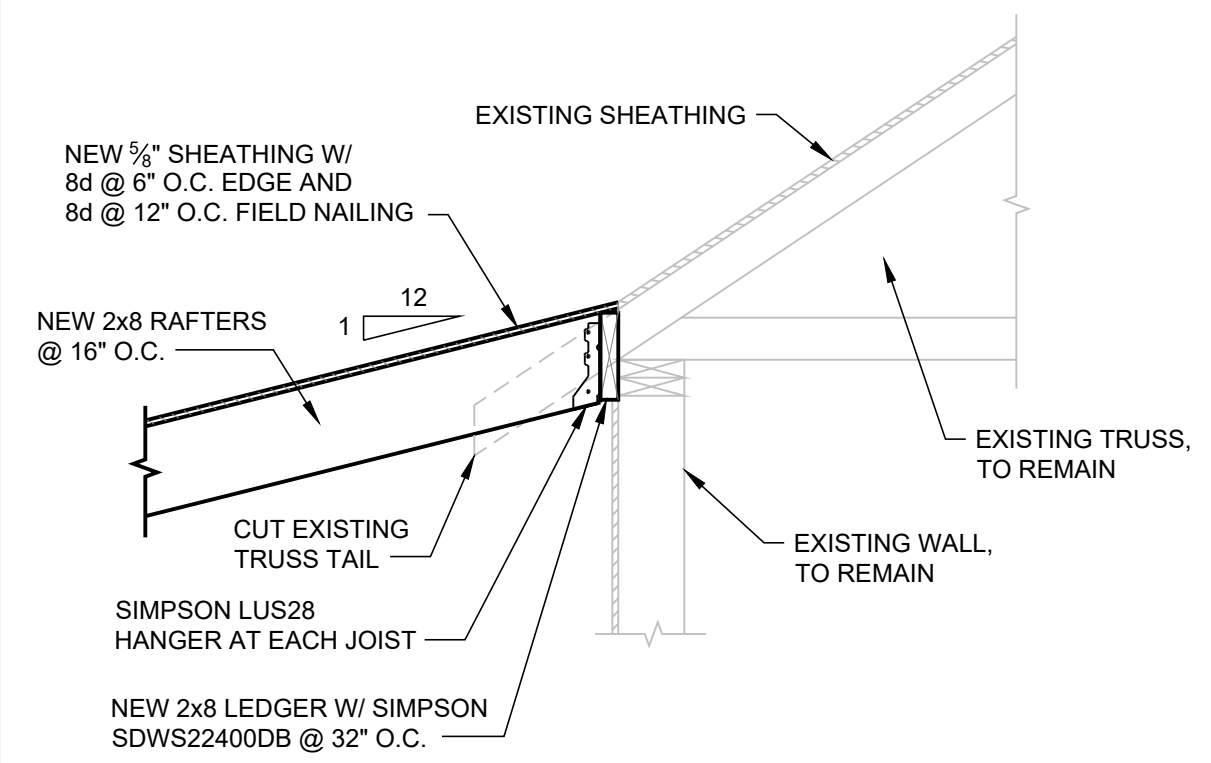
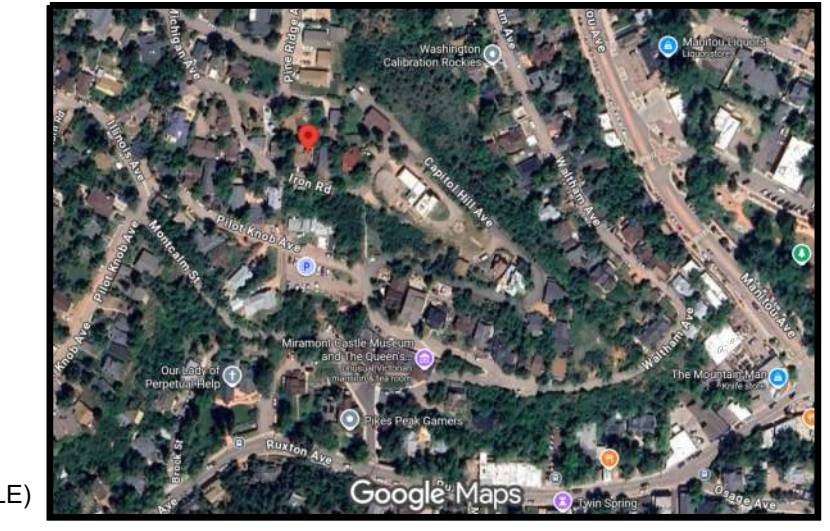
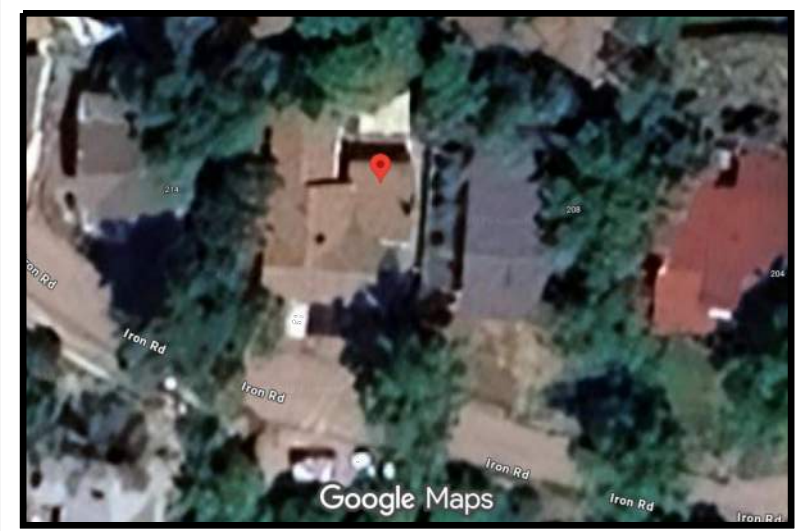
Rafter Detail
1in = 1ft Scale

Front Elevation
Scale 1/4in = 1ft

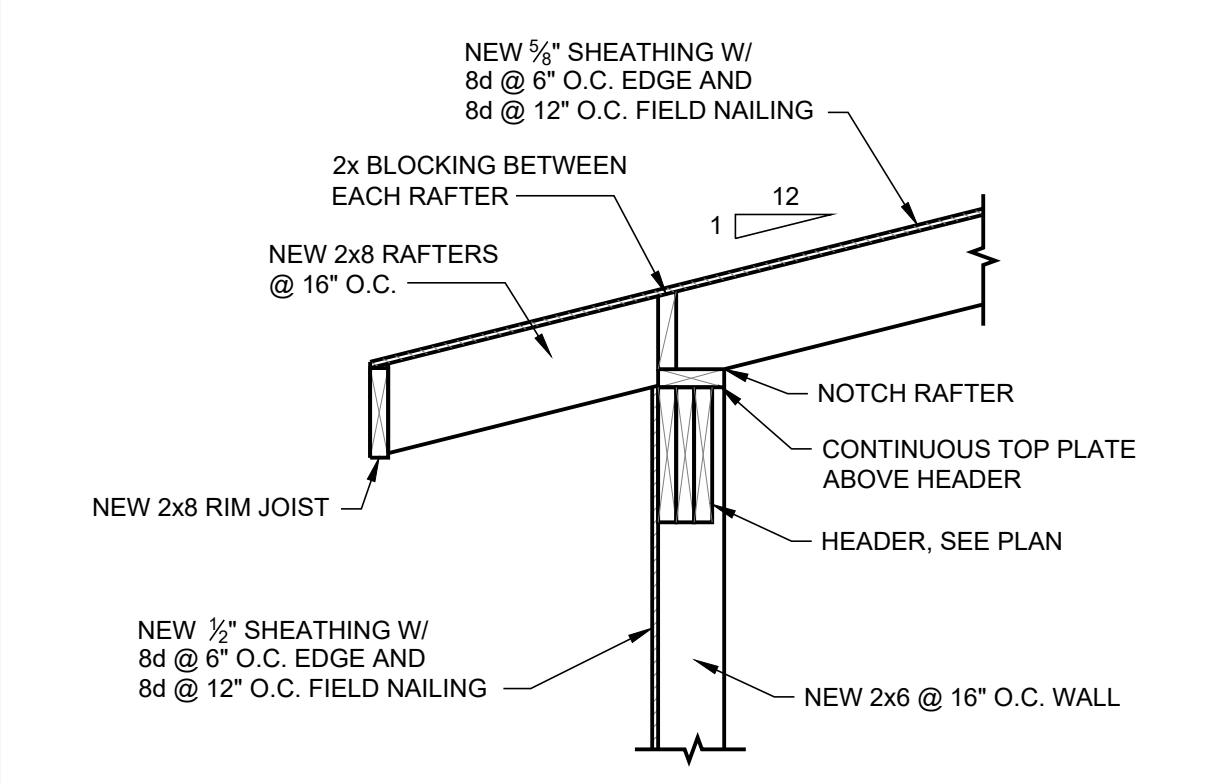


Patio Cover
210 Iron Road
Manitou Springs, CO 80829

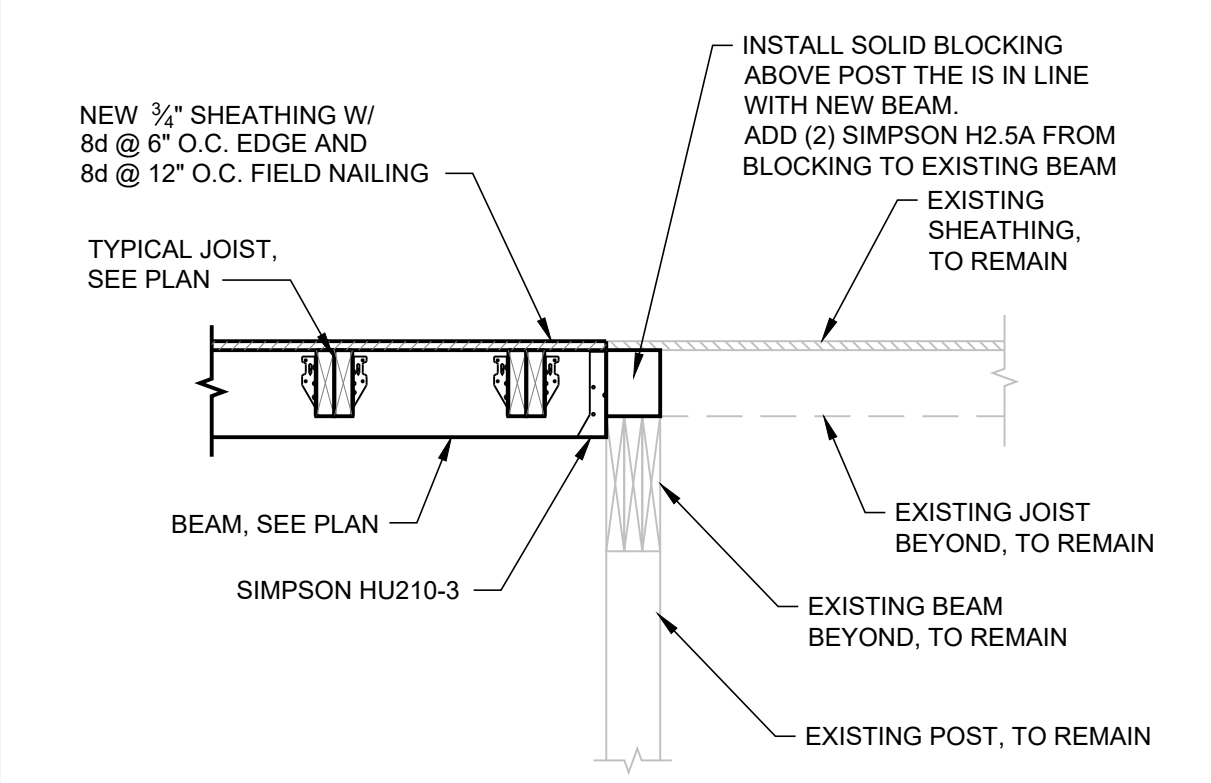
- GENERAL NOTES**
1. CODES AND STANDARDS:
 2. INTERNATIONAL RESIDENTIAL CODE 2023 PIKES PEAK REGIONAL BUILDING CODE AMENDMENTS
 3. WIND LOADS
 - A. RISK CATEGORY = II
 - B. BASIC ULTIMATE WIND SPEED, $V_{ult} = 130$ mph
 - C. EXPOSURE CATEGORY = C
 4. GRAVITY LOADS
 - A. ROOF DEAD LOAD = 15 PSF
 - B. LIVE LOAD = 40 PSF
 - C. GROUND SNOW LOAD = 57 PSF
 - D. ROOF SNOW LOAD = 40 PSF
 5. ENGINEER: REFERENCES ON THE STRUCTURAL DRAWINGS TO 'ENGINEER' MEAN THE STRUCTURAL ENGINEER OF RECORD.
 6. EXISTING STRUCTURES:
 - A. CONTRACT DOCUMENTS HAVE BEEN PREPARED USING INFORMATION REGARDING THE EXISTING STRUCTURE PROVIDED BY THE HOMEOWNER.
 - B. DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL CONDITIONS NOT PER THE CONTRACT DOCUMENTS.
 - a. EXAMPLES INCLUDE:
 - SIZES OR DIMENSIONS OTHER THAN THOSE SHOWN
 - DAMAGE OR DETERIORATION TO MATERIALS AND COMPONENTS
 - CONDITIONS OF INSTABILITY OR LACK OF SUPPORT
 - ITEMS NOTED AS EXISTING ON THE DRAWINGS BUT NOT FOUND IN THE FIELD
 7. USE OF DRAWINGS:
 - A. DO NOT SCALE DRAWINGS.
 - B. DETAILS NOTED TYPICAL APPLY TO ALL SIMILAR CONDITIONS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ELSEWHERE ON THE PROJECT.
 8. TEMPORARY CONDITIONS:
 - A. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
 - B. CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD.
 9. SUBSTITUTIONS:
 - A. SUBSTITUTIONS: ENGINEER'S APPROVAL SHALL BE SECURED FOR ALL SUBSTITUTIONS
 - B. NONCONFORMANCE: NOTIFY ENGINEER OF CONDITIONS NOT CONSTRUCTED PER THE CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH CORRECTIVE WORK. SUBMIT PROPOSED REPAIR TO THE ENGINEER FOR ACCEPTANCE. CONTRACTOR SHALL COMPENSATE THE MERTENS GROUP, LLC FOR DESIGNING THE REPAIR.
 10. OSHA STANDARDS:
 - A. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. NOTHING SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONSTRUED AS ELIMINATING THE NEED FOR THE CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS.
 - B. WHERE THE STRUCTURAL DRAWINGS APPEAR TO CONFLICT WITH OSHA REQUIREMENTS, THE STRUCTURAL DRAWINGS REPRESENT FINAL CONDITIONS ONLY. THE CONTRACTOR SHALL ADD ALL ERECTION FRAMING NECESSARY TO COMPLY WITH OSHA.
 11. FRAMING CONNECTORS
 - A. DESIGNATIONS ARE THOSE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, SAN LEANDRO, CALIFORNIA. OTHER MANUFACTURER'S PRODUCTS MAY BE USED IF APPROVED BY THE ENGINEER. FURNISH NAILS AND/OR BOLTS OF DIAMETER, LENGTH, AND NUMBER SPECIFIED BY THE MANUFACTURER FOR EACH CONNECTOR.
 12. FRAMING LUMBER:
 - A. HEM-FIR #2
 - B. DRY (19% MAXIMUM MOISTURE CONTENT AT THE TIME OF INSTALLATION)
 13. FABRICATED LUMBER:
 - A. FABRICATED LUMBER DESIGNATIONS ARE THOSE MANUFACTURED BY WEYERHAEUSER, BOISE, IDAHO
 - B. FABRICATED LUMBER IS DESIGNATED ON THE DRAWINGS AS MICROLAM (LVL)
 14. SHEATHING:
 - A. WOOD STRUCTURAL PANELS SHALL BE APA RATED SHEATHING CONFORMING TO U.S. DEPARTMENT OF COMMERCE STANDARD PS 2-10
 - B. ALL WOOD PANELS SHALL BE EXPOSURE 1
 15. NAILING
 - A. ALL NAILING SHALL BE IN ACCORDANCE WITH THE MINIMUM STANDARDS SHOWN IN 2021 IRC TABLE 602.3(1)
 16. POST INSTALLATION REQUIREMENTS
 - A. ALL POST-INSTALLED ANCHORS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S PRINTED INSTALLATIONS AND INSTRUCTIONS AND PER MANUFACTURER'S ON-SITE TRAINING (IF REQUIRED).
 - B. ALL ADHESIVE ANCHORS AND ADHESIVE ANCHORED REINFORCEMENT DESIGNS ARE FOR INSTALLATION IN THE FOLLOWING CONDITIONS, UNLESS NOTED OTHERWISE. WRITTEN APPROVAL MUST BE RECEIVED FROM ENGINEER PRIOR TO INSTALLATION IN ALTERNATIVE CONDITIONS.
 - a. DRY CONCRETE, UNLESS NOTED OTHERWISE
 - b. CONCRETE TEMPERATURE AT TIME OF INSTALLATION THROUGH CURE TIME MUST BE WITHIN THE TEMPERATURE RANGE SPECIFIED IN MANUFACTURER'S PRINTED INSTALLATION INSTRUCTION FOR ADHESIVE GEL AND CURE TIMES.
 - c. ANCHOR HOLES TO BE HAMMER DRILLED AND CLEANED.
 - d. CONCRETE MUST BE AT LEAST 21 DAYS OLD BEFORE INSTALLATION OF ANCHORS.
 - e. HOLES TO BE CLEANED AND PREPARED IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS AND
 - f. EVALUATION REPORT PRIOR TO ADHESIVE INJECTION.



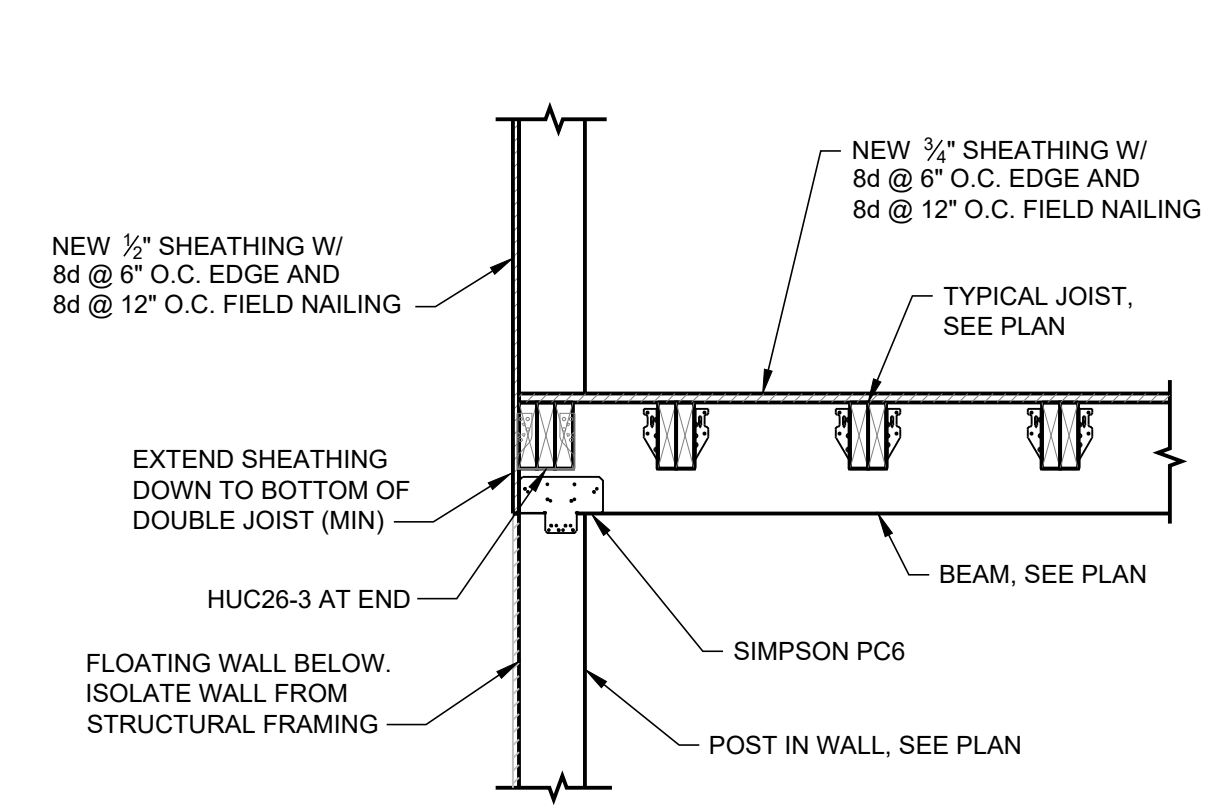
A RAFTER CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



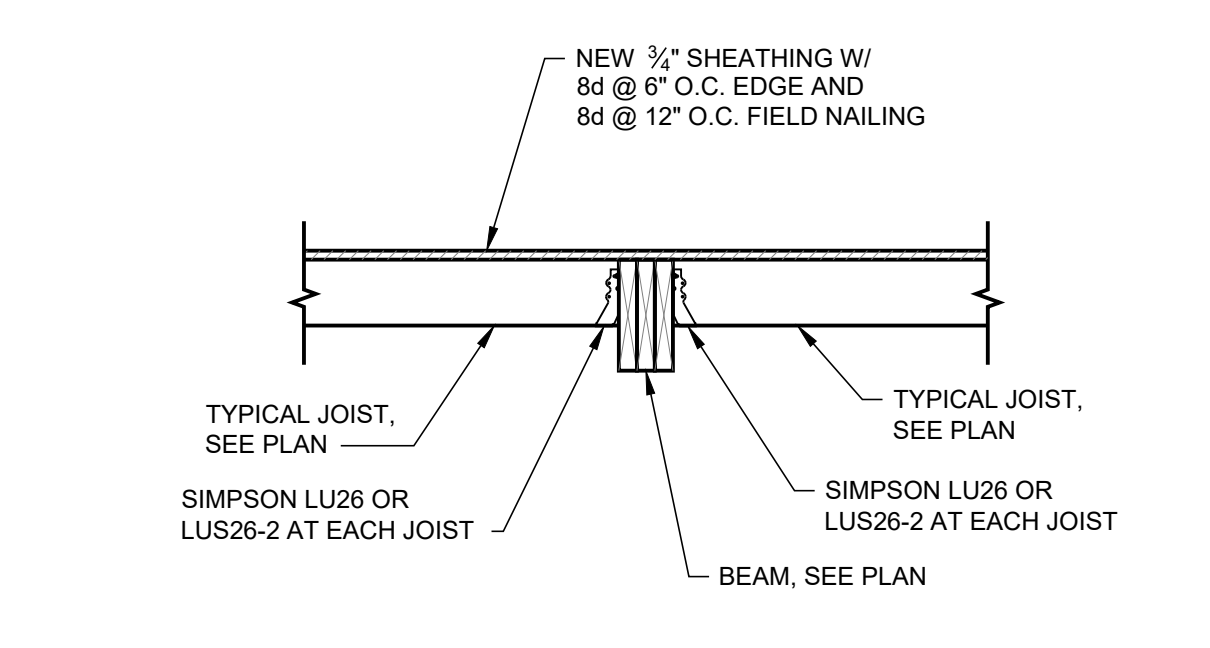
B TYPICAL RAFTER DETAIL
SCALE: 3/4" = 1'-0"



C FRAMING DETAIL
SCALE: 3/4" = 1'-0"

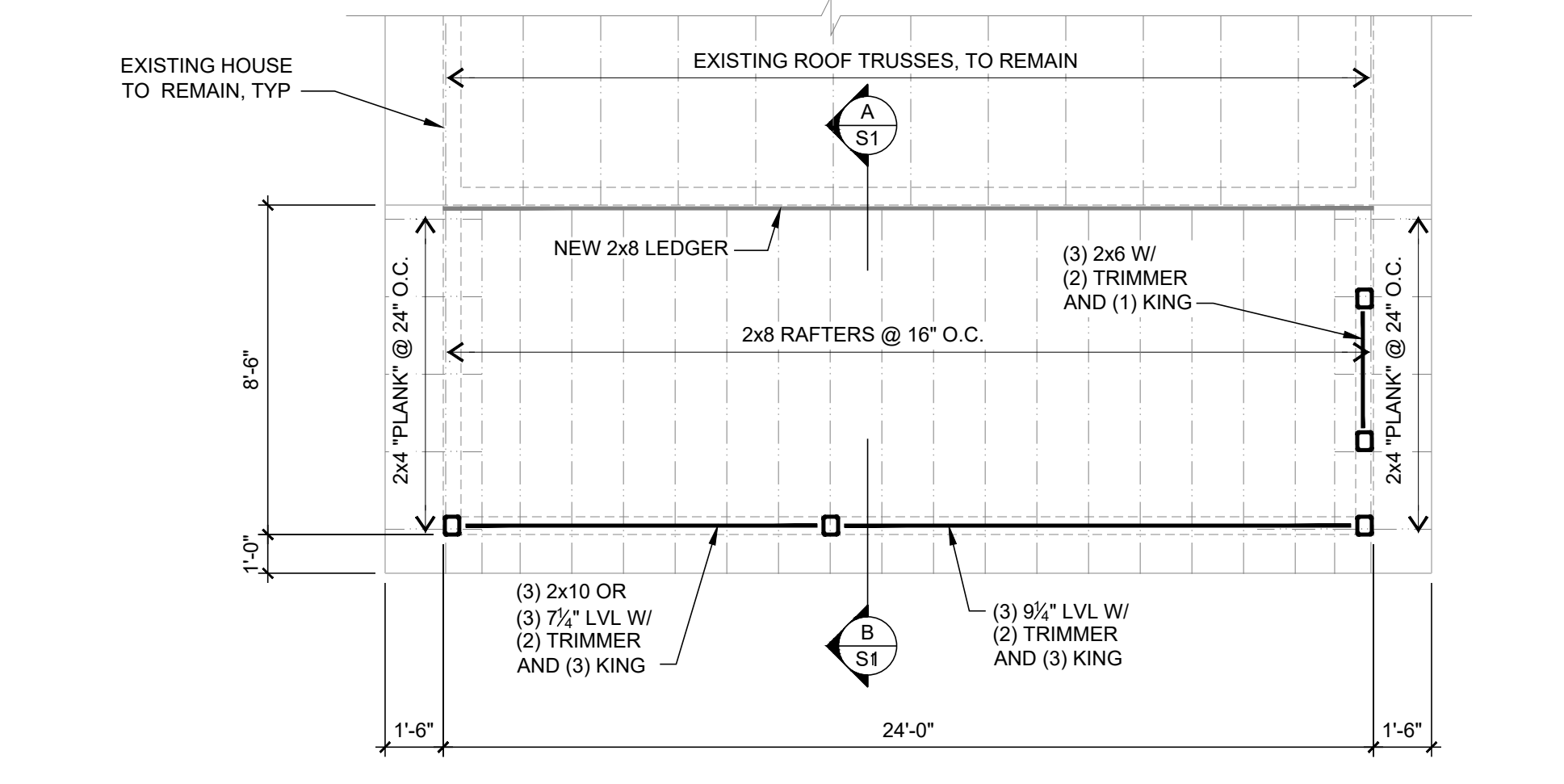


D JOIST TO BEAM CONNECTION DETAIL
SCALE: 3/4" = 1'-0"

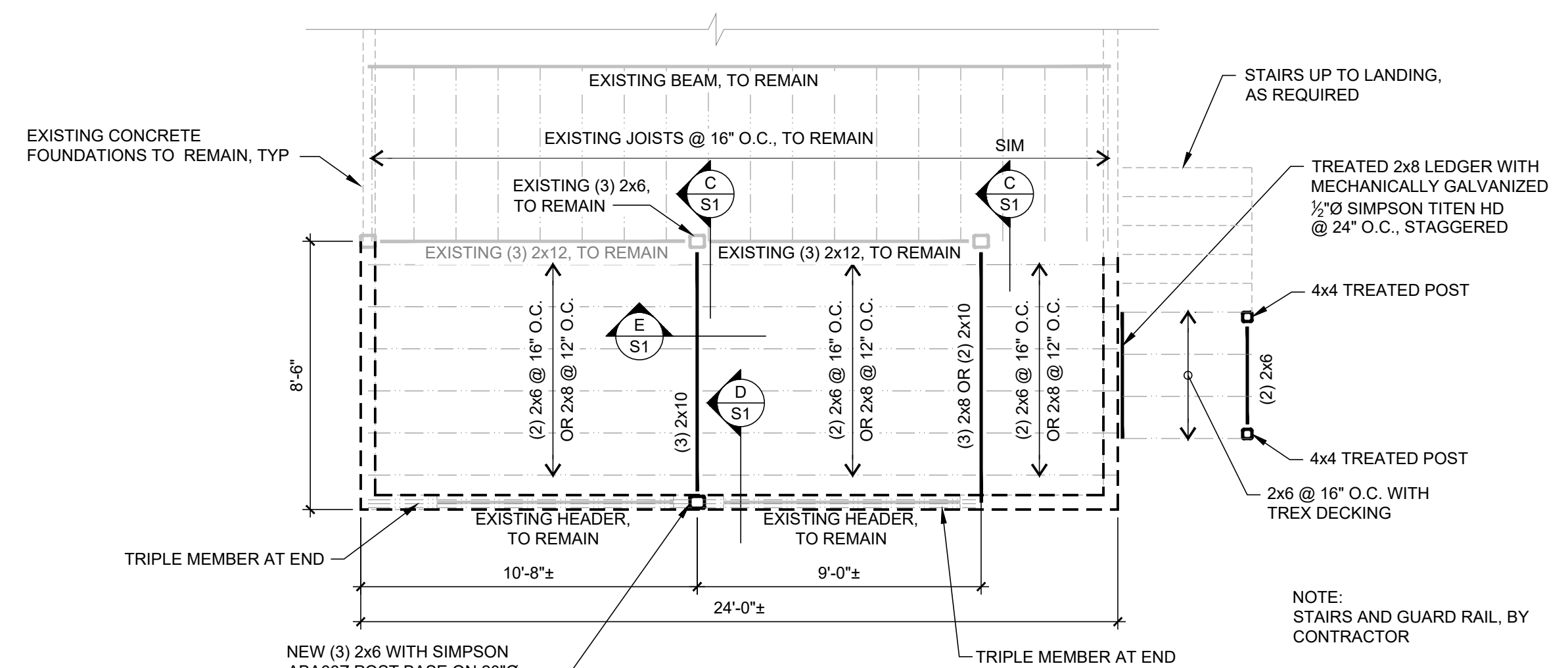


E JOIST TO BEAM CONNECTION DETAIL
SCALE: 3/4" = 1'-0"

SCOPE:
RECONSTRUCT ROOF OVER EXISTING GARAGE WITH NEW ENCLOSED SPACE ABOVE



MODIFIED ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



MODIFIED FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

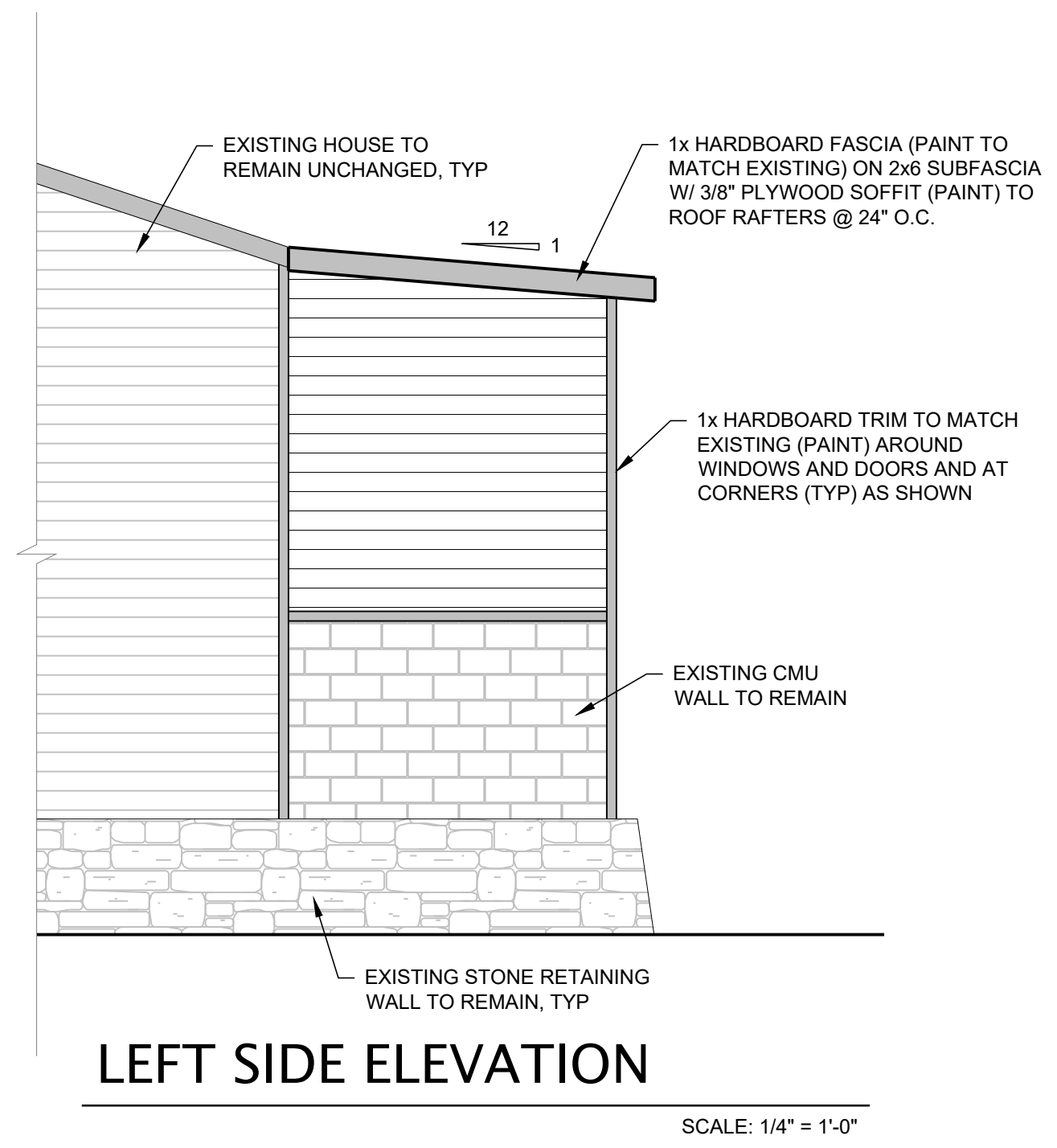
The Mertens Group, LLC
PO Box 3301
Monument, CO 80132
Phone: (719) 505-4287
www.mertensgrp.com



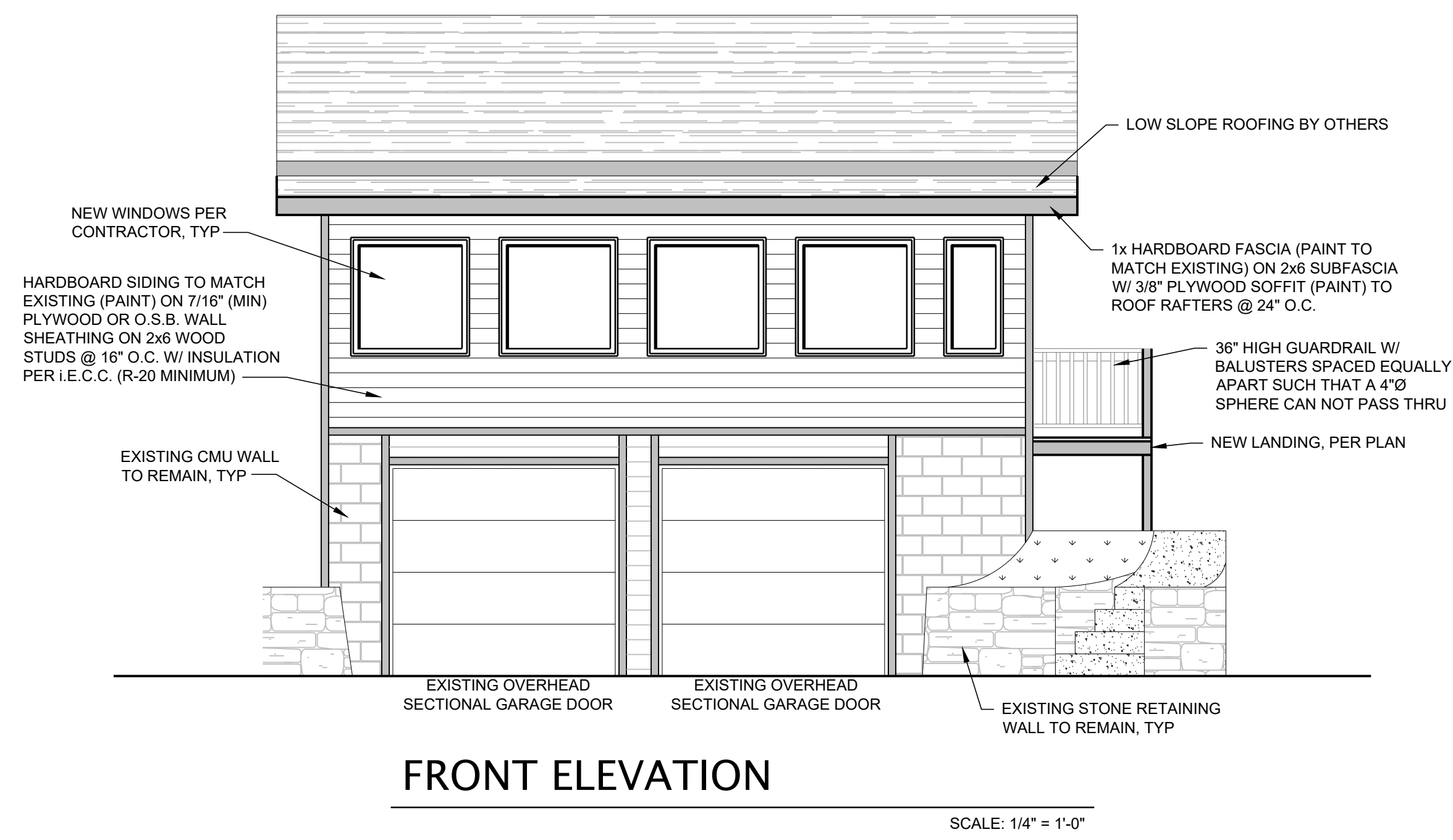
REV	DATE	DESCRIPTION
	11/26/2025	ISSUE FOR CONSTRUCTION

GENERAL NOTES / PLAN VIEW / DETAIL VIEWS
210 IRON ROAD
MANITOU SPRINGS, CO 80829

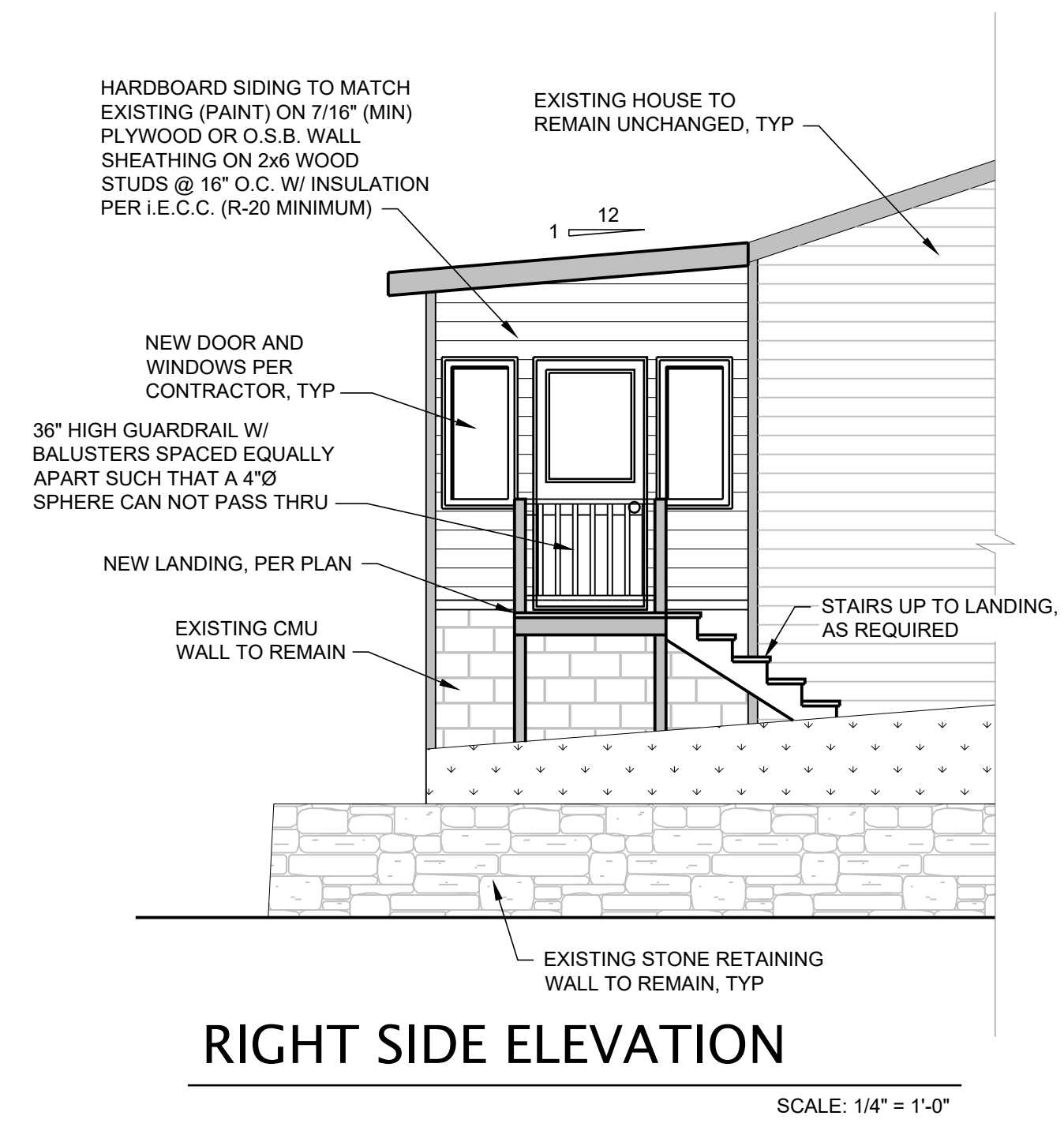
TMG JOB: 25-086	FILE NAME: 210 IRON RD
SCALE: AS INDICATED	DESIGNED BY: KPM
SUBMITTED BY: KPM	DRAWN BY: AB
	REVIEWED BY: KPM



LEFT SIDE ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION



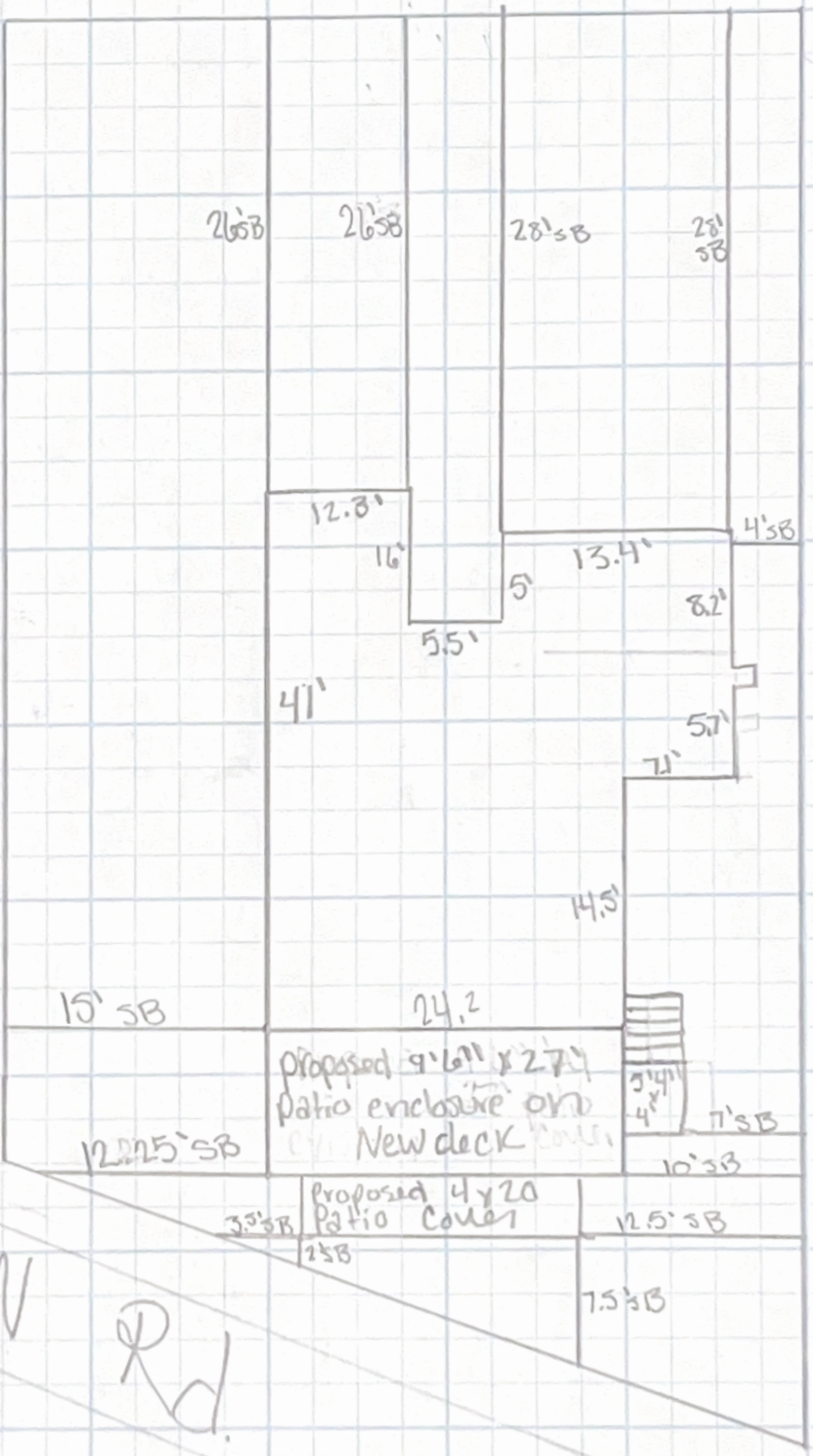
REV	DATE	DESCRIPTION
	11/26/2025	ISSUE FOR CONSTRUCTION

GENERAL NOTES / PLAN VIEW / DETAIL VIEWS

210 IRON ROAD
MANITOU SPRINGS, CO 80829

TMG JOB: 25-086	FILE NAME: 210 IRON RD
SCALE: AS INDICATED	DESIGNED BY: KPM
SUBMITTED BY: KPM	DRAWN BY: AB
	REVIEWED BY: KPM

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Mr Bob McAtee
210 Iron Rd
Manitou Springs CO 80829

CHECKLIST FOR APPLICABILITY
City of Manitou Springs Historic District Design Guidelines

Project Name and/or Address Mc Atee Date 11.11.25

STEP 1: Identify an approach for your project (see page 1.7 of the Historic Design Guidelines)

STEP 2: Complete the following Checklist

- Is the Guideline applicable? If yes, is your project in compliance with the Guideline? If your project is not in compliance, please indicate why not and describe your alternative strategy for fulfilling the intent of the Guideline.

Photographs and supplemental information are encouraged. Please use a separate piece of paper if you need additional space.

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 1: Introduction (Includes Philosophy, How to Use the Design Guidelines and the Submittal Process)								
Chapter 2: Historic Context (Includes information about the Historic Subdistricts on pages 2.7-2.60 and Architectural Styles on pages 2.61-2.72)								
Chapter 3: Guidelines for SUSTAINABLE Building Strategies								
3.1	3.6	Solar Panels and Photovoltaic Cells		X				
3.2	3.6	Satellite Dish Antennas		X				
Chapter 4: Guidelines for Preservation, Alterations and Additions to CONTRIBUTING RESIDENTIAL Structures								
4.1	4.1	Architectural Character		X				
4.2	4.2	Building Alignment		X				
4.3	4.2	Building Orientation		X				
4.4	4.2	Building Height		X				
4.5	4.4	Mass & Scale		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.6	4.4	Roof Form		X			NA	
4.7	4.5	Roof Materials	X		X			
4.8	4.6	Chimneys		X			NA	
4.9	4.6	Dormers		X			NA	
4.10	4.7	Skylights		X			NA	
4.11	4.7	Porches		X			NA	
4.12	4.8	Porch Material		X			NA	
4.13	4.9	Windows	X		X			
4.14	4.10	Doors	X		X			
4.15	4.11	Architectural Details		X			NA	
4.16	4.12	Foundation Ornamentation & Details		X			NA	
4.17	4.12	Foundation Ornamentation & Details		X			NA	

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.18	4.13	Materials		o				
4.19	4.13	Materials		o				
Chapter 5: Guidelines for NEW RESIDENTIAL Construction								
5.1	5.2	Building Alignment						
5.2	5.3	Building Orientation						
5.3	5.3	Building Height						
5.4	5.4	Mass & Scale						
5.5	5.4	Mass & Scale						
5.6	5.5	Building Materials						
5.7	5.5	Roof Form						
5.8	5.6	Roof Materials						
5.9	5.6	Porches						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 6: Guidelines for Additions and Alterations to NON-CONTRIBUTING Structures								
6.1	6.1	Building Orientation						
6.2	6.2	Mass & Scale						
6.3	6.2	Building Materials						
6.4	6.2	Roof Form						
6.5	6.3	Architectural Details						
Chapter 7: Guidelines for NEW Construction in the COMMERCIAL CORE (see also pages 2.53-2.55 and Chapter 10)								
7.1	7.3	Franchise Architecture						
7.2	7.3	Building Alignment						
7.3	7.4	Building Orientation						
7.4	7.4	Mass & Scale						
7.5	7.5	Building Form						
7.6	7.5	Roof Form						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
7.7	7.6	Storefronts						
7.8	7.7	Storefronts						
7.9	7.7	Storefronts						
7.10	7.8	Architectural Details						
7.11	7.9	Architectural Details						
7.12	7.10	Architectural Details						
7.13	7.11	Materials						
7.14	7.11	Materials						
7.15	7.11	Materials						
7.16	7.12	Awnings						
7.17	7.13	Nonconforming Commercial Buildings						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 8: Guidelines for New Construction and Additions in Selected SUBDISTRICTS								
8.1	8.2	Architectural Details of Historic Structures						
8.2	8.3	Architectural Details of Historic Structures						
8.3	8.4	Architectural Details of Historic Structures						
8.4	8.5	Franchise Architecture						
8.5	8.5	Nonconforming Commercial Buildings						
LOG CABIN SUBDISTRICT (see also pages 2.33-2.35, 10.6-10.7, and 10.9-10.10)								
8.6	8.7	Building Form						
8.7	8.7	Primary Entrances and Porches						
8.8	8.7	Garages						
8.9	8.7	Garages						
8.10	8.8	Building Materials						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
EL COLORADO LODGE SUBDISTRICT (See also pages 2.21-2.23)								
8.11	8.8	Building Alignment						
8.12	8.9	Building Orientation						
8.13	8.9	Mass & Scale						
8.14	8.9	Building Form						
8.15	8.10	Roof Form						
8.16	8.10	Materials						
8.17	8.10	Materials						
8.18	8.10	Materials						
VILLAS SUBDISTRICT – Page 8.11 (See also pages 2.49-2.51 and Chapters 3, 4, 5, 6, 9, 10 and/or 11 as applicable)								
CLIFF DWELLINGS SUBDISTRICT (See also pages 2.17-2.19)								
8.19	8.12	Building Alignment						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
8.20	8.12	Building Orientation						
8.21	8.12	Mass & Scale						
8.22	8.13	Building Form						
8.23	8.13	Roof Form						
8.24	8.14	Materials						
8.25	8.14	Materials						
8.26	8.14	Materials						

WEST MANITOU SUBDISTRICT – Pages 8.14-8.15 (See also pages 2.57-2.59 and Chapters 3, 4, 5, 6, 8, 9, 10 and/or 11 as applicable)

Chapter 9: Guidelines for SECONDARY Structures

9.1	9.1	Secondary Structures						
9.2	9.1	Secondary Structures						
9.3	9.1	Garages						
9.4	9.3	Carports Shade Structures						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 10: Guidelines for SITE IMPROVEMENTS for Residential and Commercial Properties								
10.1	10.2	Stone Retaining Walls, Bridges & Stairs						
10.2	10.2	Stone Retaining Walls, Bridges & Stairs						
10.3	10.3	Stone Retaining Walls, Bridges & Stairs						
n/a	10.3	Site Drainage						
10.4	10.4	Automobile Access & Parking						
10.5	10.5	Automobile Access & Parking						
10.6	10.5	Mechanical Equipment & Service Areas						
n/a	10.6	Fencing						
10.7	10.8	Streetscape						
n/a	10.9	Vegetation						
10.8	10.10	Lighting						
10.9	10.11	Lighting						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
10.10	10.11	Security						
10.11	10.12	Integral Color: Roofing, Natural Stone, Grout, Concrete						
n/a	10.12	Painting and Surface Treatments						
n/a	10.13	Historic District Color Palette						
Chapter 11: Guidelines for Building RELOCATION								
11.1	11.1	Building Relocation						
11.2	11.1	Building Relocation						
11.3	11.1	Building Relocation						
APPENDIX A: Secretary of the Interior: Standards for Treatment of Historic Properties								
APPENDIX B: Technical Maintenance and Preservation Information								
APPENDIX C: Tax Credits and Other Incentives for Historic Preservation								
APPENDIX D: Glossary of Terms								



February 12, 2026

Bob McAtee
210 Iron Road
Manitou Springs, CO 80829

RE: Designation of Resources – Triggered by MCAC 2603 (Exterior Alterations) 210 Iron Road

Dear Mr. McAtee,

On February 12, 2026, the Manitou Springs Planning Department reviewed the primary structure located at 210 Iron Road. Based on an evaluation of the property’s physical condition and historical integrity, the structure has been designated as a Noncontributing Resource within the Minnehaha-Pilot Knob Historic Subdistrict. The property determination was made using the evaluation criteria referenced in Section 17.04.041.2 of the Manitou Springs Municipal Code as outlined below:

a. Whether the resource embodies significant historic physical features;

While the structure does exhibit some historical characteristics for the subdistrict, namely wood frame construction and roof gables parallel to the street, much of the front façade has been altered and primary massing has been subject to substantial alteration over the course of its lifetime. A cinderblock-constructed, stucco-clad, double garage is now the most prominent street-facing feature. A new addition to the eastern portion of the property alters the overall roof form; while the main roof massing remains the same, the addition is lower and low profile. These modifications have altered its original size, shape, and character, impacting the overall nature of this structure.

b. Whether the resource adds to the historical associations, historic architectural qualities or archaeological values identified for the city's historic preservation district;

The structure does not contribute to the historical associations, architectural qualities, or archaeological values identified for the Minnehaha-Pilot Knob Historic Subdistrict.

c. Whether the resource was present during the period of significance of the historic district, subdistrict, or the property itself;

While the structure was present during the development of the area, the Manitou Springs Historic Guidelines state that the district consists of a myriad of ages and scales, with much



of the area developed post-1900. There is no distinct or specifically stated period of significance for the Minnehaha-Pilot Knob Historic Subdistrict that would qualify this property as contributing despite its substantial physical alterations.

d. Whether the resource relates to the documented significance of the property upon which it is located; and

The property does not have documented historical significance within the Minnehaha-Pilot Knob Historic Subdistrict. This area features a blend of historic and non-historic residences, and there are no indicators that this specific structure holds unique historical importance to this subdistrict.

e. Whether the resource possesses integrity or can yield important information about the period.

The resource does not possess sufficient integrity to yield important information about the period. Under Section 17.04.030.N of the Title 17, integrity is defined as the survival of a sufficient amount of a resource's character-defining materials and design features which allow an observer to comprehend the resource as a product of its period. The cumulative effect of the garage and eastern additions has compromised the building's integrity of design, materials, and feeling.

Any person may appeal this decision by filing a written notice of appeal with the city clerk no later than ten calendar days after the action from which appeal is taken. Appeal procedures and requirements may be found in Section 17.04.103 of the Manitou Springs Municipal Code.

Sincerely,

Zachary Davison
Planner II

CC: Property Owner, File



Title: Preservation Award Art Contest Update

From:

To: Historic Preservation Commission

Address of Proposal:

Applicant:

March 4, 2026

Proposal:

Preservation Award Art Contest Update

Zone District:

Historic Subdistrict:

Background and Existing Conditions:

Public Involvement:

Findings and Review Criteria:

Staff Recommendation:

Motion Language Options:



Title: Scavenger Hunt
From:
To: Historic Preservation Commission
Address of Proposal:
Applicant:

March 4, 2026

Proposal:

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Zone District:

Historic Subdistrict:

Background and Existing Conditions:

Public Involvement:

Findings and Review Criteria:

Staff Recommendation:

Motion Language Options: