



# MANITOU SPRINGS CITY PLANNING COMMISSION REGULAR MEETING AGENDA

All upcoming CPC meetings are scheduled to be hybrid,  
Zoom (remote) or in-person at Memorial Hall.

In Person: Memorial Hall  
606 Manitou Avenue

Manitou Springs, CO 80829

Remote: A link is provided on the City's Official Website at

<https://www.manitouspringsco.gov/544/All-Boards-and-Commissions>

October 8, 2025

5:30 PM

**A. CALL TO ORDER**

**B. APPROVAL OF MINUTES**

1. CPC Minutes 09.10.2025

**C. PUBLIC COMMENT ON NON-AGENDA ITEMS**

**D. UNFINISHED BUSINESS**

**E. NEW BUSINESS**

1. MJR 2501 - Major Development Plan at 10 Old Man's Trail and 487 El Paso Boulevard (Hiawatha Gardens)

**F. OTHER BUSINESS**

1. Title 18 Miscellaneous Code Revisions

**G. NOTICE OF COUNCIL ACTION AND UPDATES**

**H. ADJOURNMENT**

**Commissioners:**

Alan Delwiche, Chair (12/31/2026)  
Justin Wilson, Vice Chair (12/31/2025)  
Mike Casey (12/31/2027)  
Stephen Graybill (12/31/2026)  
Gloria Latimer (12/31/2025)  
Roy Rosenthal (12/31/2028)  
Carey Storm (12/31/2028)  
Megan Day, Alternate Commissioner (12/31/2027)  
Frank DeLay, Alternate Commissioner (12/31/2029)

**City Council Liaison:** Julie Wolfe

**Staff:**

Fred Rollenhagen, Planning Director  
Chelsea Royston, Senior Planner  
Erin Ringsred, Planner and Landscape Architect II  
Zachary Davison, Planner II

*1 alternate position available*

The City of Manitou Springs does not discriminate on the basis of disability in the admission to, access to, or operations of programs, services or activities. Reasonable accommodation will be provided to ensure equal access to all. Individuals who would like to request auxiliary aids or services should contact the ADA Coordinator at (719) 685-5481 or [jfryer@manitouspringsco.gov](mailto:jfryer@manitouspringsco.gov). You may also contact the City Clerk's Office at [cityclerk@manitouspringsco.gov](mailto:cityclerk@manitouspringsco.gov) or (719) 685-2554. Please provide a minimum of 3-5 days advance notice.

Interested citizens are invited to serve on any of the City's Boards or Commissions. Please contact the City Clerk's Office for more information or visit our website at: [www.manitouspringsgov.com](http://www.manitouspringsgov.com).



**CITY OF MANITOU SPRINGS  
CITY PLANNING COMMISSION**

Regular Meeting Minutes  
Hybrid Meeting via Zoom and at Memorial Hall  
September 10, 2025

**A. CALL TO ORDER**

A Regular Meeting of the Manitou Springs City Planning Commission (CPC) was held at Manitou Springs Memorial Hall, 606 Manitou Avenue. Chair Delwiche called the meeting to order at 5:30 PM and declared a quorum present.

**COMMISSIONERS PRESENT FOR ROLL CALL:**

Chair Alan Delwiche  
Vice Chair Justin Wilson  
Commissioner Mike Casey  
Commissioner Stephen Graybill  
Commissioner Gloria Latimer  
Commissioner Roy Rosenthal  
Commissioner Carey Storm  
Alternate Commissioner Megan Day  
Alternate Commissioner Frank DeLay

**STAFF PRESENT:**

Planner Zachary Davison  
Planner Erin Ringsred  
Senior Planner Chelsea Royston  
Planning Director Frederick Rollenhagen

**B. APPROVAL OF MINUTES**

1. June 11, 2025

Commissioner Storm moved to approve the June 11, 2025 minutes. Commissioner Graybill seconded the motion. The motion carried unanimously (7-0).

2. August 13, 2025

Vice Chair Wilson moved to approve August 13, 2025, minutes. Commissioner Storm seconded the motion. The motion carried unanimously (6-0), with Commissioner Latimer abstaining.

**C. UNFINISHED BUSINESS**

No unfinished business was discussed.

## **D. PUBLIC COMMENT ON NON-AGENDA ITEMS**

There was no public comment.

## **E. NEW BUSINESS**

### **1. STR 2501 – 423 Washington Avenue**

Planner Davison presented the short-term rental proposal for 423 Washington Avenue. The request was for a short-term rental of the entire lower level, with property owners occupying the upper level year-round. Background and requirements for a short-term rental permit were reviewed. The property location and its surrounding land uses were presented, along with the site plan. Planner Davison shared that the owner will use OwnerRes, property management software, to manage all bookings for the property.

A brief discussion ensued about the required parking, and the property was explained to support three parking spaces according to the city code. Planner Davison noted that the code requires two cumulative parking spaces and that the property has had no code violations.

Applicant Kristen Cole emphasized maintaining relationships with neighbors. The applicant mentioned that they were considering integrating with the Sun Water Spa which is next-door as to provide a place to stay for spa attendees.

Commissioner Storm moved to approve STR 2501 based upon the findings that the request meets the review criteria for granting a Short-Term Rental Permit, as set forth in City Code Section 18.06.4.5, with no conditions. Commissioner Graybill seconded the motion. The motion carried unanimously (7-0).

### **2. VAC 2501, RE 2501: Right-of-Way Vacation, and Rezoning for 10 Old Mans Trail and 487 El Paso Blvd**

Planner Royston gave a presentation regarding Hiawatha Gardens. The request was for the purpose of rezoning two parcels from Commercial to Public Facilities zoning, along with the vacation of a portion of Old Man's Trail. The entitlements of municipal review committees were explained, along with the regulations of reviewing bodies. The location of the project was presented as well as where development was intended and the proposed replat. Planner Royston explained that all portions of Vacation (VAC) 2501 fit together in one movement, but the rezone is just for the Hiawatha Gardens portion of the property.

Commissioner Casey motioned to approve Rezone (RE) 2501 and VAC 2501 with no conditions, based upon the findings that the request meets the review criteria for granting a rezoning as set forth in City Code Section 18.06.4.3 and for granting a vacation as set forth in City Code Section 18.06.4.19. The motion was seconded by Chair Delwiche. The motion carried unanimously (7-0).

## F. OTHER BUSINESS

### 1. Consideration of Title 18 Code Revisions for ADUs, Residential Occupancy Standards, and Parking Requirements for multi-family Development

Director Rollenhagen gave a presentation regarding code revisions in response to State Land Use Legislation adopted in 2024 addressing Housing Occupancy Limits, Accessory Dwelling Units (ADUs), and Minimum Parking Requirements for new Multi-Family Development. Previous code revision work sessions were summarized. Three potential changes were presented shown. The first proposed modifying the definition of household to remove references to occupancy limits based on blood or guardianship and tie the definition to another housing code to ensure safety. The second revision addressed minimum parking requirements allowing an exception to homes in the transit service area. Lastly, proposed changes for ADU code revisions that were discussed in previous sessions were reviewed. It was noted that a Minor Site Plan would be required for the construction of an ADU.

**Note for the Record** – A letter from the Housing Advisory Board (HAB) was read aloud and amended to the agenda packet. The letter emphasized the need for diverse and affordable housing options and expressed support for applying existing zoning code to ADUs.

A discussion ensued on the setback requirements for ADUs. Chair Delwiche voiced that ADU setback rules could be a cause for concern in terms of distance between structures. Director Rollenhagen explained that there was nothing in code that would stop construction if fire, city, and regional codes were met.

HAB Alternate Member Nate Nassif suggested a housing survey to gather community input on ADU rules.

Chair Delwiche confirmed that the HAB letter language regarding the ADU size minimum was in hopes of raising affordable housing rates.

Commissioner Delay asked about the risk of a draft ordinance not addressing short term rental prohibitions.

There was a discussion about new ADUs meeting the current code regarding short term rentals. Alternate Member Nassif explained that the intent of the law was not for short-term rentals.

Chair Delwiche voiced that not having size limitations on ADUs would be against the intent of the ADU ordinance and that not having a cap provides financial opportunity for owners rather than support for the community. He suggested having a size limit on ADUs and allowing for smaller minimums.

Commissioner Storm expressed support for the language in the HAB letter which specified 750 square feet or 50% of the principal unit for max ADU size.

Commissioner Casey voiced his opinion that short term rental rules be applied to ADUs.

Commissioner Storm opposed short term rental rules for ADUs and added that short term rentals are against the point of ADU law.

Commissioner Graybill pointed out that ADUs are already being used as short term rentals, and stated that there was no need for the extra administrative burden.

Commissioner Day commented that only new ADUs would be barred from being short term rentals.

Commissioner Wilson saw no need for short-term rental provisions, and Commissioner Delay agreed.

Chair Delwiche moved to recommend to the City Council the draft ordinance as amended to state that ADUs be no smaller than 250 square feet and no larger than 750 square feet or 50% of livable space in the principal residence and to remove short term rental restrictions in the draft. The motion was seconded by Commissioner Graybill. The motion carried unanimously (7-0).

#### **G. NOTICE OF COUNCIL ACTION AND UPDATES**

Director Rollenhagen stated that the Planning Department is preparing its budget to propose to City Council in October.

#### **H. ADJOURNMENT**

With no further business to discuss, Chair Delwiche adjourned the meeting at 7:30 PM.

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**Title:** MJR 2501 - Major Development Plan at 10 Old Man's Trail and 487 El Paso Boulevard (Hiawatha Gardens)

**From:** Chelsea Royston

**To:** City Planning Commission

**Address of Proposal:** 10 Old Mans Trl and 487 El Paso Blvd

**Applicant:** City of Manitou Springs

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October 8, 2025

**Proposal:**

The City of Manitou Springs seeks approval of a Major Development Plan to facilitate the redevelopment of the properties known as Hiawatha Gardens. The project includes the rehabilitation of the historic dance hall into an open air pavilion, the new construction of public restroom facilities, redevelopment of a public parking lot, and the development of a new pedestrian plaza.

**Zone District:**

The site is currently zoned Commercial zone. City Planning Commission recommended approval of rezoning the property to Public Facilities zone to City Council on September 10, 2025. City Council heard the first reading of the rezoning ordinance on October 7, 2025, the evening prior to this CPC meeting.

**Background & Existing Conditions:**

Hiawatha Gardens was purchased by the City of Manitou Springs in 2016. In 2016, the property consisted of a parking lot and a large structure with multiple additions. An evaluation and assessment of the structure was conducted by Echo Architects on behalf of the City of Manitou Springs in 2016. As a result of this evaluation, partial demolition of the structure was completed in 2021, removing all later additions and leaving only the original dance hall structure. Due to safety and stability concerns, the pavilion was secured after the demolition and has not been accessible to the public. The original site structure contained a clubhouse and dance pavilion constructed in 1897. After a fire in 1920, only the dance pavilion remained, and it was enlarged and enclosed to become Hiawatha Gardens in 1921. The spaces supported by the queen rod trusses are believed to denote the footprint of the original open air pavilion. This Major Development Plan proposes a strategy to reopen the pavilion to the public once again as an open-air pavilion, provide public restrooms and reconstruct the parking lot in compliance with the land use development code standards adopted by the City. The design intent is to stabilize the structure and incorporate modern structural and safety codes. The site is encumbered by the floodplain, which has informed the proposed use and design of the site. The floodplain encumbrance necessitated the return to an open-air pavilion, flooring and foundation replacement and enforcement.



Several application packages are being moved through the review processes concurrently:

- Major Subdivision: Planning Director Frederick Rollenhagen reviewed the Major Subdivision and Right-of-Way dedication, approval of which is contingent on the approval of the rezoning and Right-of-Way Vacation currently in process.

- Rezoning and Right-of-Way Vacation: On September 10, 2025, CPC recommended approval to the City Council. City Council heard the first reading of both ordinances on October 7, 2025. At the time of publication of this report, second reading and public hearings for the rezoning and vacation are anticipated on October 21, 2025.

- Material Change of Appearance Certification: On October 1, 2025, the Historic Preservation Commission approved MCAC 2513 which included:

- interior and exterior alterations to the historic Hiawatha Gardens pavilion
- new construction of a separate structure for public restrooms
- site improvements.

- Major Development Plan: This application for a Major Development Plan, should the CPC forward a recommendation of approval to the City Council, is anticipated to be heard by City Council on October 21, 2025.

### **Application Detail:**

This project consists of multiple components: the rehabilitation of the historic pavilion, the new construction of a separate public restroom facility, the redevelopment of a public parking lot, and a new pedestrian plaza. A Major Development Plan is required for expansion in gross floor area of existing nonresidential development by thirty percent (30%) or more. The definition of “development” includes land disturbance, retaining walls, and paving, so though the restroom building may not meet this threshold alone, the proposed site improvements likely bring the project to this threshold. In addition to the Development Plan, the following supporting documents were required based on the site and scope of work:

- Tier III Geologic Hazards Evaluation
- Landscape Plan with Irrigation Plan
- Drainage Report
- Ecological Characterization Study
- Photometric (lighting) Plan

All plans were designed to meet the standards of the Public Facilities (PF) zone as that is the zone district for which the rezoning is sought.

The rehabilitation of the historic pavilion includes the removal of the temporary security wall panels that were put in place after the City purchased the property in 2016. A subterranean concrete foundation that ties into the concrete columns which support the historic roof and will substantially reinforce and stabilize the structure against geologic, seismic, and flood hazards. The wood flooring will be salvaged and removed from the site as a concrete floor will be more



resilient and sustainable. The structure of the historic roof includes prominent trusses which will be the focal point of the pavilion. The interior lighting design is intended to balance a soft, pleasant ambiance, with increased security, emphasis on the historic features of the roof structure, and compliance with the Dark Skies regulations.

The new restroom facility is designed to the north of the historic pavilion. The new facility will consist of two three-stall restrooms, two single-stall universal restrooms, and a utility room. The new structure will be approximately 636 square feet. The pedestrian walkway between the two structures is ADA Accessible and has removable bollards to allow vehicle traffic for special events or other needs. Due to the grade change between the restroom facility and the El Paso Boulevard sidewalk, access is provided via an ADA Accessible ramp and integrated stairs to the north of the new structure.

The revitalized parking lot will have less capacity than currently exists on the site due to the new construction, increased amenity space, and required landscaping. The parking lot is proposed to be divided into two parking areas, and will provide a total of 83 standard parking spaces, 6 ADA Accessible parking spaces (including van spaces), and 4 Electric Vehicle (EV) Charging spaces. One of the EV Charging Spaces will also be ADA Van Accessible. The smaller parking area, in the northwest portion of the site, contains 11 of the spaces (4 EV spaces, 1 ADA space, 5 standard spaces, and 1 combination EV and ADA space), and will be accessed via an existing curb cut on Old Man's Trail. The two parking areas are connected via a raised table with removable bollards that acts as the ADA accessible path between the restroom facility and the historic pavilion. The drive aisles in both parking areas are two-way and run east-west (roughly). A trash enclosure is in the southeast corner of the parking lot. All site lighting is full cut-off and in compliance with the LUDC and Dark Skies initiative. The larger parking area is proposed to be accessed via the existing curb cut on El Paso Boulevard. Since there is an overall reduction of parking spaces (approximately 41 parking spaces), a traffic study was not required for this phase of the project.

The pedestrian plaza is to the west of the pavilion, adjacent to Old Man's Trail. In addition to landscaping, the plaza provides organically laid out soft scape paths, as well as geometrically designed hard scape paths. Numerous seating opportunities are provided in traditional benches and chairs, boulders, multipurpose seat walls and retaining walls. Light bollards are provided throughout the plaza to provide pedestrian-scale lighting.

**Public Involvement:**

This application was publicly noticed in accordance with Section 18.06.3.7 of the LUDC. No comments have been received as of the publication of this report.

**Findings & Review Criteria:**

Section 18.06.4.13 of the LUDC states The Planning Commission and City Council shall



consider the following criteria in the review of all Major Development Plan applications:

1. General conformance with the goals and policies of the Comprehensive Plan and other plans and policies adopted by the City Council;

Staff finds the design of the project to support the following goals and policies outlined in Plan Manitou 2.0:

- Goal AC-3: Support the retention and expansion of venues, facilities, event space, infrastructure, and programs that sustain a range of artistic and cultural activities and events and promote educational opportunities for residents of all ages.
- Policy AC-3.2 Outdoor Venues
- Policy AC-3.4 New Arts & Culture Spaces
- Policy GC-2.2 Community Gathering Spaces
- Goal HC-2 Expand knowledge of and protections for the City's historic and cultural resources.
- Policy HC-2.3 City-Owned Buildings
- Goal HC-3: Preserve and enhance the character and structural integrity of the City's historic structures while encouraging rehabilitation and adaptive reuse.
- Policy HC-3.3: Adaptive Reuse
- Policy IP-3.3 Universal Design
- Goal LU-4: Encourage the use of sustainable development practices and site planning techniques and technologies in all public and private development.
- Policy LU-4.1 Protection of Natural Features
- Policy LU-4.3 Low Impact Development
- Policy LU-4.4 Night Sky Conservation
- Policy TM-4.3 Parking Supply

2. The details of the use, site design, building location, scale, and orientation are compatible and harmonious with the surrounding neighborhood, buildings, and uses;

The proposed redevelopment of the site was informed by the historic pavilion, which has existed on the site since 1897. The pavilion acted as the site anchor, as did the EV charging stations that were installed in recent years. The plaza was located to the west of the pavilion, which is across Old Man's Trail from Memorial Park, which is another outdoor gathering space for the community. The restroom facility was required to be designed outside the 100-year floodplain so that amendments to the federally regulated floodplain were not required. It was also designed to be visible for customers of both parking areas and Memorial Park, and travelers along Old Man's Trail and El Paso Boulevard. Finally, the larger parking area sits behind the pavilion, which helps to mitigate the appearance of the parking lot from adjacent rights-of-way.



3. The project meets dimensional standards applicable to the zone district, such as building setbacks, building height, and building area, or any applicable requirement;  
The project was designed to meet the standards of the Public Facilities (PF) zone district. The rezoning is currently in process with a public hearing and second reading of the proposed ordinance tentatively scheduled for October 21, 2025. The site and all structures meet the dimensional standards of the PF zone.
4. The proposed grading, drainage, flood protection, stormwater quality, and stormwater mitigation complies with applicable Sections of this LUDC;  
The project was designed to comply with these regulations. The site is partially encumbered by the floodplain and the location of the restroom facility towards the north of the site, as well as the removal of the wood flooring, redevelopment of the dance hall as an open-air pavilion and the location of the parking lot were all designed to not alter the base floodplain elevation. This complies with the "no-rise" condition of development.
5. The project complies with all the development standards of this section;  
Section 18.03 of the LUDC "Development Standards" is organized in the following applicable sections, (sections not listed are not applicable):
  - [18.03.4](#) - Exterior Lighting  
Complies
  - [18.03.5](#) - Fencing and Retaining Walls  
A deficiency in the plan was identified. Staff recommends the following condition of approval:  
**“Railing Locations will be finalized as part of grading and erosion control permits wherever a wall height exceeds 30” adjacent to a pedestrian walkway per Section 18.03.5.7.C”**
  - [18.03.6](#) - Landscaping and Screening  
Refer to the attachment “Detailed Review — Landscaping and Fencing”  
Staff recommends the following conditions of approval  
**“A perimeter zone with a minimum width of five (5) feet of inorganic matter shall be placed on the eastern edge of the pavilion per Section 18.03.6.3.G.1” and**  
**“The requisite number of shrubs and ornamental grasses (98) will be shown on the final landscape plan per Section 18.03.6.3. “**
  - 18.03.7 - Alternative Energy and Green Infrastructure.  
Complies
  - [18.03.10](#) - Development in Natural Hazard Areas  
Complies
  - [18.03.11](#) - Drainage Plans



Complies

18.03.12 – Signs

Signs are not currently proposed.

6. The project preserves, protects, integrates, or mitigates impacts to any identified sensitive or hazardous natural features associated with the site;

The site was designed to integrate with Fountain Creek, which borders the southern property boundary. New pedestrian access to the creek will be facilitated via a series of paths and stairs in the southwest portion of the site. A landscape buffer is maintained along the southern edge of the main parking area.

7. The project connects to or extends adequate public utilities to the site as required; Water and sewer utilities will be extended to the restroom facility.

8. If necessary to address increased impacts on existing roadways and intersections, the project includes roadway and intersection improvements to provide for safe and efficient movement of multi-modal traffic and pedestrians, meets public safety needs for ingress and egress, and a City accepted traffic impact study, if required; and

A traffic study was not required for this phase of the project due to an overall reduction of parking spaces (approximately 41 parking spaces).

9. Significant off-site impacts reasonably anticipated as a result of the project are mitigated or offset to the extent proportional and practicable. Impacts may include, but are not limited to scale, shadowing, parking, light, odor, and noise.

Staff does not anticipate significant off-site impacts as a result of the proposed development. Concerns from nearby residents regarding the perceived increase in traffic along El Paso Boulevard have been shared since the use of the site as a public parking lot was initiated. Staff determined that the reduction in parking spaces will help mitigate the concerns. The addition of landscaping along the perimeter of the lot and throughout the site will aid in reducing glare and noise generated by the use. Further, the construction of permanent restroom facilities to replace the temporary restrooms will reduce odor and will increase the aesthetic of the site.

**Staff Recommendation:**

Should the City Planning Commission find it appropriate to recommend approval of the Major Development Plan, staff recommends the following conditions:

1. Railing locations will be finalized wherever a wall height exceeds thirty (30) inches adjacent to a pedestrian walkway in accordance with Section 18.03.5.7.C;



2. A perimeter zone with a minimum width of five (5) feet of inorganic matter shall be placed on the eastern edge of the pavilion per Section 18.03.6.3.G.1, and;
3. The requisite number of shrubs and ornamental grasses (98) will be shown on the final landscape plan per Section 18.03.6.3.

**Motion Language Options:**

**MJR 2501 - Major Development Plan**

Recommend approval of the Major Development Plan at 10 Old Man's Trail and 487 El Paso Blvd, based upon the findings that the request meets the review criteria for granting a Major Development Plan as set forth in City Code Section 18.06.4.13, with staff's conditions.

Recommend approval of the Major Development Plan at 10 Old Man's Trail and 487 El Paso Blvd, based upon the findings that the request meets the review criteria for granting a Major Development Plan as set forth in City Code Section 18.06.4.13, with an alteration to staff's conditions as follows...

Recommend denial of the Major Development Plan at 10 Old Man's Trail and 487 El Paso Blvd, based upon the findings that the request does not meet the review criteria for granting a Major Development Plan as set forth in City Code Section 18.06.4.13.

Postpone the Major Development Plan at 10 Old Man's Trail and 487 El Paso Blvd to November 12, 2025 for further consideration.



# Manitou Springs Land Use & Development Code

## DEVELOPMENT COVER SHEET

The main component of any application is demonstration of compliance with the LUDC. Applicants are expected to review the specific submittal checklists and standards, found at [www.manitouspringsgov.com](http://www.manitouspringsgov.com).

Return completed applications to:  
606 Manitou Avenue  
Manitou Springs, CO 80829  
Phone (719) 685-4398

## APPLICATION INFORMATION

### Project Information

Project Name Hiawatha Gardens Phase 1 and 2  
Physical Address 10 Old Man's Trail / 487 El Paso Blvd.  
Lot, Subdivision Parcel 7405426002 / Parcel 7405426001  
Tax Schedule Number (TSN) Exempt  
Pre-Application Conference Number (if applicable) not provided; pre-app mtg held 6/3/25

### Property Owner

Name \_\_\_\_\_ Phone \_\_\_\_\_  
Email \_\_\_\_\_ ZIP \_\_\_\_\_  
Mailing Address \_\_\_\_\_

### Agent/Applicant

Name Justin DiPietro Phone 303-861-8555  
Email justin.dipietro@davispartnership.com ZIP 80205  
Mailing Address 2901 Blake Street, Suite 100, Denver, CO 80205-2849

### Designate Primary Contact

- Property Owner  Agent/Applicant

### Application Package

- Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See City Fee Schedule for list of application fees.
- Electronic Submittal.** A complete digital file of the application with attachments/plans sent to [planningdept@manitouspringsco.gov](mailto:planningdept@manitouspringsco.gov).
- Hard Copy Submittal.** A complete printed file of the application with attachments/plans.
- Corporations and Partnerships.** If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation.
- Response to Submittal Checklist.** All applications require response to applicable review standards, as outlined on the submittal checklists for each application type. If a pre-application conference is held, submittal checklists will be provided at the conference. If no pre-application conference is required, see the website for the applicable checklists.

*For Office Use Only*  
Action Number: \_\_\_\_\_ Fee Paid: \_\_\_\_\_



## APPLICATION TYPE

### Physical Development Permits

- Concept Plan
- Minor Site Plan
- Minor Development Plan
- Major Development Plan
- Hillside Development Plan
- Sign Permit
- Grading Permit
- Material Change of Appearance

### Use Permits

- Conditional Use Permit
- Short-term Rental Permit
- Long-term Occupancy Permit
- Wireless Facility Permit
- Temporary Use Permit – Minor
- Temporary Use Permit- Major

### Subdivisions

- Minor Subdivision
- Major Subdivision
  - Preliminary Plat
  - Final Plat
- Boundary Adjustment
- Revised Final Plat
- Waiver of Replat
- Easement Vacation
- Rights-of-Way Vacation

### Relief from the LUDC

- Waiver
- Variance

### Amendments

- LUDC Amendment
- Minor Modification
- Rezoning

### Applicant's Statement

I understand the procedures that apply to my request and acknowledge an incomplete application shall not be processed or scheduled for public hearing until such time as it is complete. City acceptance of the application, fee, and any accompanying materials does not constitute completeness. I further agree to reimburse the City for technical and professional consultant expenses that may be incurred during the review of my request. Failure to reimburse the City for invoiced expenses constitutes an incomplete application. I understand and acknowledge the use or action for which approval is requested is not allowed unless the permit is granted. I understand a pre-application appointment is required a minimum of 10 workdays prior to submission deadline.

\_\_\_\_\_  
Applicant's Signature

9/4/2025  
\_\_\_\_\_  
Date

### Owner's Statement

I have read and agree to the above statements. In addition, if I am not the applicant for this request, I further give the above designated applicant permission to make the request on my behalf.

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829

#	Sheet Name
01	COVER
02	OVERALL SITE PLAN
03	SITE PLAN - TURNING MOVEMENTS
04	EXISTING DRAINAGE PLAN
05	DRAINAGE PLAN
06	LANDSCAPE PLAN (PH.1)
07	LANDSCAPE PLAN (PH.1)
08	LANDSCAPE PLAN (PH.1)
09	LANDSCAPE PLAN (PH.2)
10	LANDSCAPE DETAILS AND NOTES
11	IRRIGATION NOTES & SCHEDULES
12	IRRIGATION PLAN (PH.1)
13	IRRIGATION PLAN (PH.1)
14	IRRIGATION PLAN (PH.1)
15	IRRIGATION PLAN (PH.2)
16	IRRIGATION DETAILS
17	BUILDING ELEVATIONS
18	BUILDING ELEVATIONS
19	PHOTOMETRIC PLAN
20	LIGHTING CUT SHEETS
21	LIGHTING CUT SHEETS

Grand total: 21

## PROJECT SUMMARY

Hiawatha Gardens is located at 10 Old Mans Trail in Manitou Springs, Colorado. The City of Manitou Springs has owned this site for several years and is eager to improve the site as a community gathering space and parking lot. Much of the site is located within the 100-year floodplain, including the historic dance hall. The project consists of various elements broken out into two phases for design and construction, as follows:

### PHASE 1

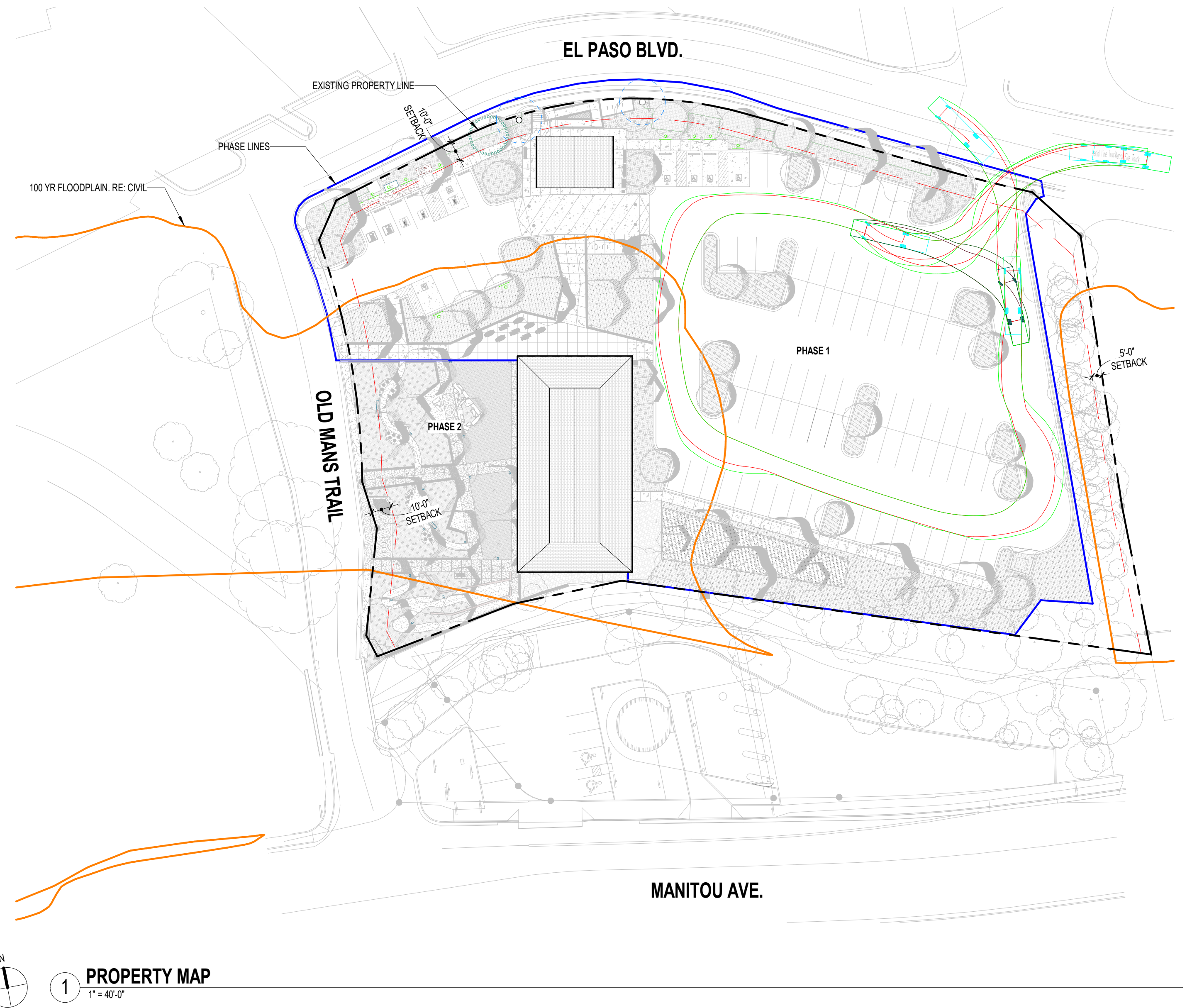
Phase 1 includes a new restroom and storage building, new pedestrian plaza and landscape improvements, new parking lot to replace existing lot, and surface water quality and stormwater treatment improvements.

### PHASE 2

Phase 2 includes the restoration of historic dance hall into a pavilion, a new plaza courtyard, and landscape improvements. Note that the repair and maintenance of existing historic creek retaining walls may be required.

## PARKING CALCULATIONS:

Existing Parking:	Proposed Parking:
Standard Parking - 121	Standard Parking - 83
ADA Parking - 11	ADA Parking - 6
EV Parking - 2	EV Parking - 4



OWNER:  
CITY OF MANITOU SPRINGS  
600 MANITOU AVENUE  
MANITOU SPRINGS, CO 80829  
719.683.6901

ARCHITECT:  
DAVIS PARTNERSHIP ARCHITECTS  
2001 EL PASO STREET  
DENVER, CO 80202  
303.861.8200

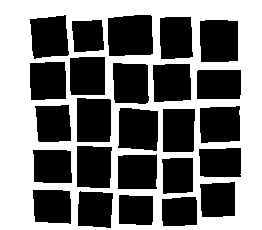
LANDSCAPE ARCHITECT:  
DAVIS PARTNERSHIP ARCHITECTS  
2001 EL PASO STREET  
DENVER, CO 80202  
303.861.8200

MANITOU SPRINGS ENGINEERS  
12400 W. COLFAX AVENUE  
LAFAYETTE, CO 80026  
727.544.5246

GENERAL CONTRACTOR:  
FRANKEN PITMAN CONSTRUCTION  
990 S. KINGSTON CT  
CENTENNIAL, CO 80112  
303.724.1000

MANITOU SPRINGS ENGINEERS  
12400 W. COLFAX AVENUE  
LAFAYETTE, CO 80026  
727.544.5246

ELECTRICAL ENGINEER:  
AE DESIGN  
1605 THORPE STREET  
DENVER, CO 80202  
303.926.2079



**DAVIS  
PARTNERSHIP  
ARCHITECTS**

SHEET NUMBER:  
**01**  
01 of 21

**COVER**

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



### NOTE

- REFER TO TALL TIMBERS HIAWATHA GARDENS TREE HEALTH REPORT DATED 07/03/2025 FOR EXISTING TREE ASSESSMENT
- ALL EXISTING TREES INDICATED ON THE DRAWINGS ARE SHOWN IN APPROXIMATE LOCATIONS. CONTRACTOR SHALL FIELD VERIFY THE SIZE, SPECIES, AND CONDITION OF EXISTING TREES ON SITE PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT/OWNER FOR DIRECTION BEFORE PROCEEDING WITH WORK.

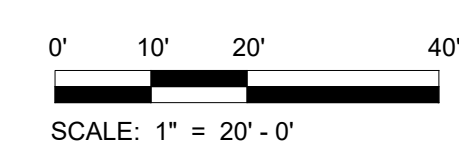
### LEGEND

- LIMIT OF WORK
- CONCRETE PAVING
- 3" DEPTH SHREDDED WOOD MULCH
- NATIVE SEED
- RAIN GARDEN SEED
- EXISTING CONCRETE TO REMAIN, PROTECT IN PLACE
- ASPHALT
- TURF
- CRUSHER FINES
- CIP CONCRETE WALL
- CIP CONCRETE WALL WITH STONE VENEER AND CAP
- RIP RAP
- PLANTER AREA
- REMOVE EXISTING TREE
- TREE TO BE TRANSPLANTED IN LOCATION

TREE #	SPECIES	COMMON NAME	DBH	RECOMMENDATION	PHASE	TREE REPLACEMENT REQ.*
1	PICEA PUNGENS	BLUE SPRUCE	12.5"	TO BE REMOVED	1	4
3	QUERCUS BICOLOR	SWAMP WHITE OAK	2"	TO BE TRANSPLANTED	1	N/A
7	ULMUS PUMILA	SIBERIAN ELM	<6"	TO BE REMOVED	1	N/A
15	ULMUS PUMILA	SIBERIAN ELM	10"	TO BE REMOVED	1	2
18	ULMUS PUMILA	SIBERIAN ELM	8.5"	TO BE REMOVED	1	2
19	ULMUS PUMILA	SIBERIAN ELM	10"	TO BE REMOVED	1	2
21	ULMUS PUMILA	SIBERIAN ELM	11.5"	TO BE REMOVED	1	2
25	ULMUS PUMILA	SIBERIAN ELM	7", 2"	TO BE REMOVED	1	2
38	ULMUS PUMILA	SIBERIAN ELM	<6"	TO BE REMOVED	2	N/A
39	ACER NEGUNDO	BOX ELDER	<6"	TO BE REMOVED	2	N/A
40	ULMUS PUMILA	SIBERIAN ELM	<6"	TO BE REMOVED	2	N/A
41	ULMUS PUMILA	SIBERIAN ELM	<6"	TO BE REMOVED	2	N/A

REQUIRED PH 1*	PROVIDED PHASE 1*	EXISTING PRESERVED TREE CREDITS PHASE 1*
14	43	57
REQUIRED PH 2*	PROVIDED PHASE 2*	EXISTING PRESERVED TREE CREDITS PHASE 2*
0	17	0

\* REQUIRED PER MANITOU SPRINGS ZONING CODE 18.03.6.5



OWNER  
CITY OF MANITOU SPRINGS  
406 MANITOU AVENUE  
MANITOU SPRINGS, CO 80829  
719.431.6001

ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
2501 BLAKE STREET  
DENVER, CO 80202  
303.861.8555

LANDSCAPE ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
2501 BLAKE STREET  
DENVER, CO 80202  
303.861.8555

CIVIL ENGINEER  
MANITOU SPRINGS ENGINEERS  
15409 W. COLFAX AVENUE  
LAKESIDE, CO 80120  
720.544.5348

ELECTRICAL ENGINEER  
FRANSEN PETERSON CONSTRUCTION  
955 E. KINGSTON CIRCLE  
CENTENNIAL, CO 80112  
720.224.0990



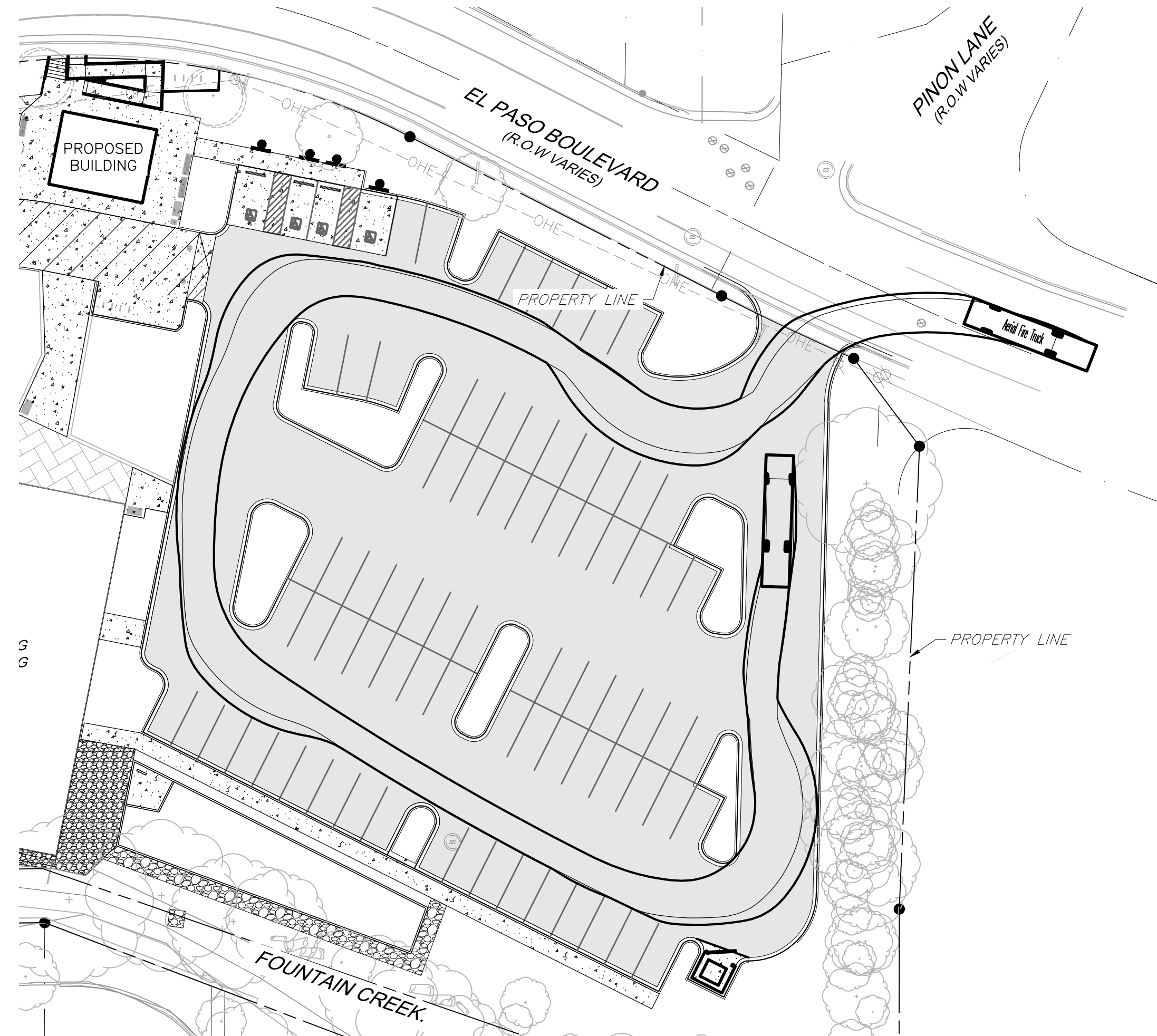
**DAVIS  
PARTNERSHIP  
ARCHITECTS**

SHEET NUMBER:  
**02**  
02 of 21

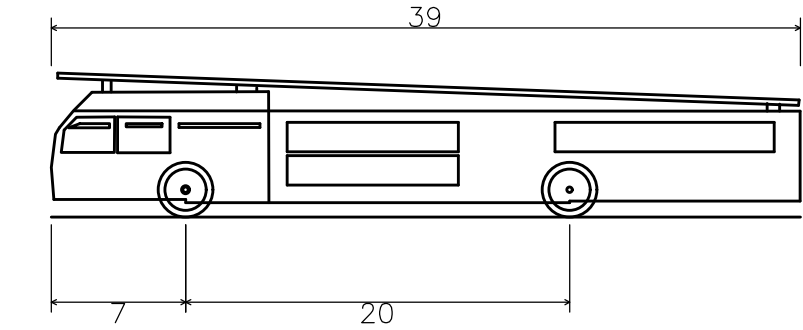
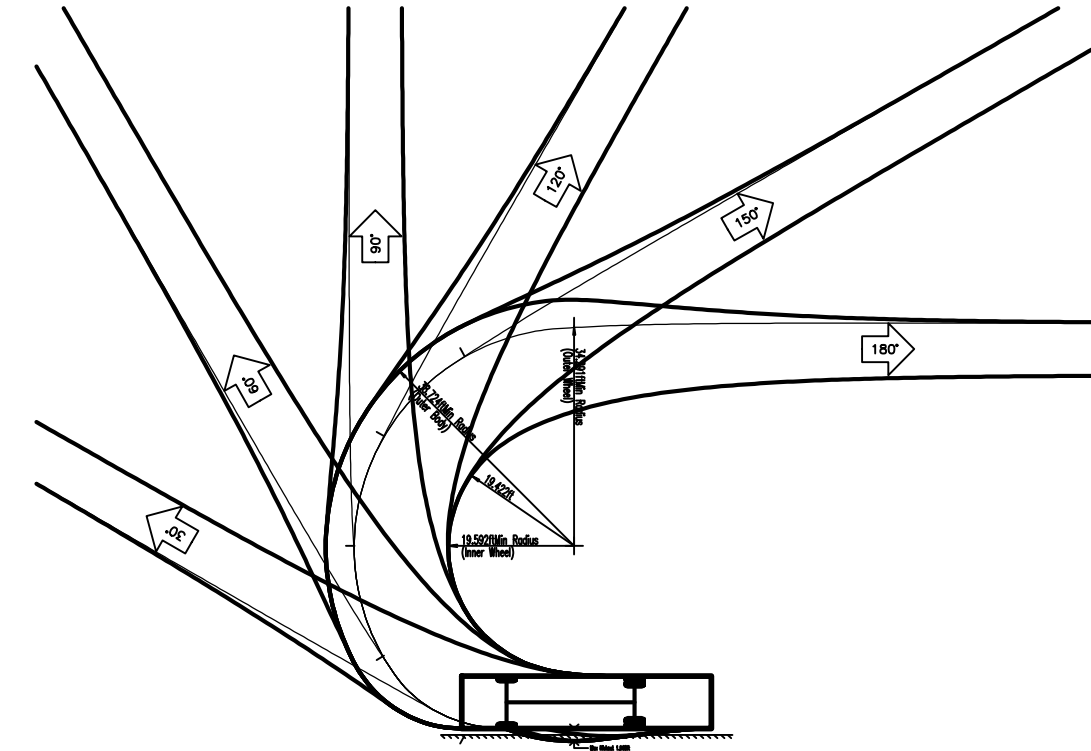
## OVERALL SITE PLAN (PHASES 1 & 2)

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

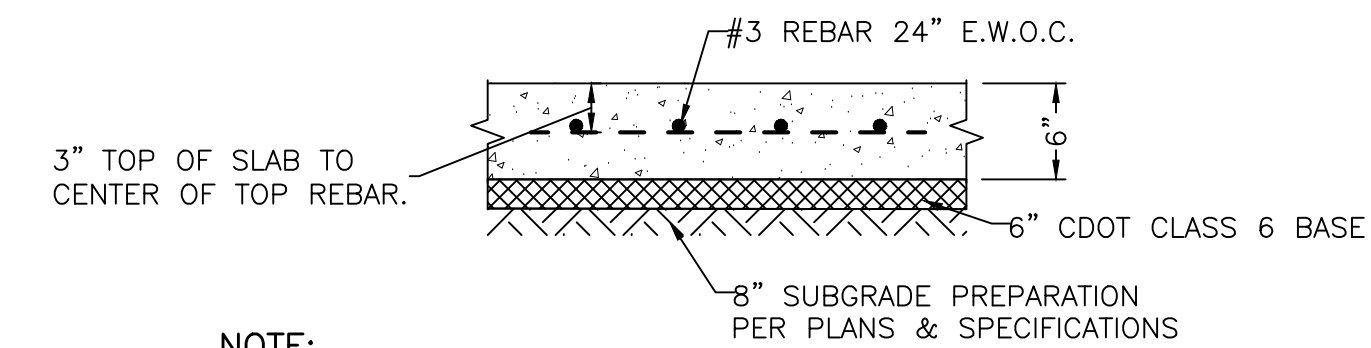
10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



**TRUCK TURNING ONE**  
FIRE TRUCK & TRASH TRUCK



Aerial Fire Truck  
Overall Length 39.000ft  
Overall Width 7.500ft  
Overall Body Height 7.500ft  
Min Body Ground Clearance 0.750ft  
Track Width 8.167ft  
Lock-to-lock time 5.00s  
Max Wheel Angle 45.00°



**NOTE:**  
INSTALL EXPANSION JOINT MATERIAL BETWEEN NEW PAVEMENT AND EXISTING CONCRETE SLABS, POLES, FIRE HYDRANTS, BUILDINGS, COLUMNS, ETC. SET EXPANSION JOINT MATERIAL VERTICAL AND WITH THE TOP EDGE BELOW FINISHED SURFACE OF CONCRETE.

**TYPICAL CONCRETE PAVEMENT SECTION**  
NOT TO SCALE

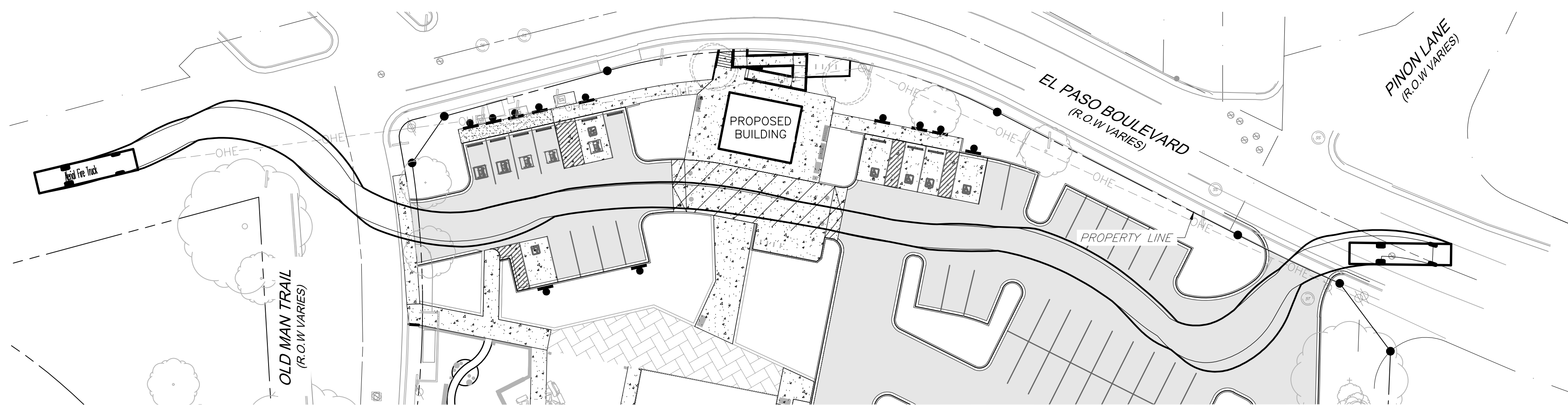
### PAVEMENT LEGEND

ASPHALT-DRIVE LANES & PARKING STALLS

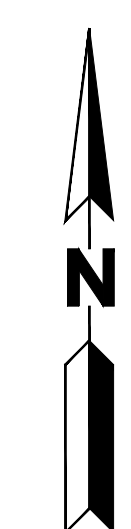
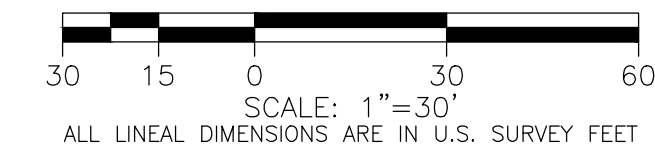
CONCRETE-PEDESTRIAN

CONCRETE-VEHICULAR

PAVEMENT AREA	MINIMUM HOT MIX ASPHALT (HMA) DESIGN THICKNESS	MINIMUM PORTLAND CEMENT CONCRETE (PCC) DESIGN THICKNESS
PARKING LOT	-4IN HMA -6IN AGG BASE -8IN OF COMPACTED SUBGRADE	-5IN PCC -6IN AGG BASE -8IN COMPACTED SUBGRADE
DUMPSTER PAD AND APRON	NA	-6IN PCC -8IN AGG BASE -8IN COMPACTED SUBGRADE



**TRUCK TURNING TWO**  
FIRE TRUCK



OWNER  
CITY OF MANITOU SPRINGS  
100 MANITOU AVENUE  
MANITOU SPRINGS, CO 80829  
719.483.6581

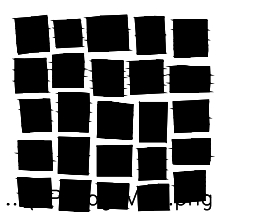
LANDSCAPE ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
2915 BLAKE STREET  
DENVER, CO 80202  
303.861.6566

ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
2915 BLAKE STREET  
DENVER, CO 80202  
303.861.6566

GENERAL CONTRACTOR  
FRANKEN PITTMAN CONSTRUCTION  
1925 S HENRIETTE  
CENTENNIAL, CO 80112  
720.724.6200

CIVIL ENGINEER  
MARK FRANKLIN ENGINEERS  
1349 W COLFAX AVENUE  
LAKEWOOD, CO 80401  
720.544.5348

ELECTRICAL ENGINEER  
AE DESIGN  
165 WINE STREET  
DENVER, CO 80202  
303.736.8078



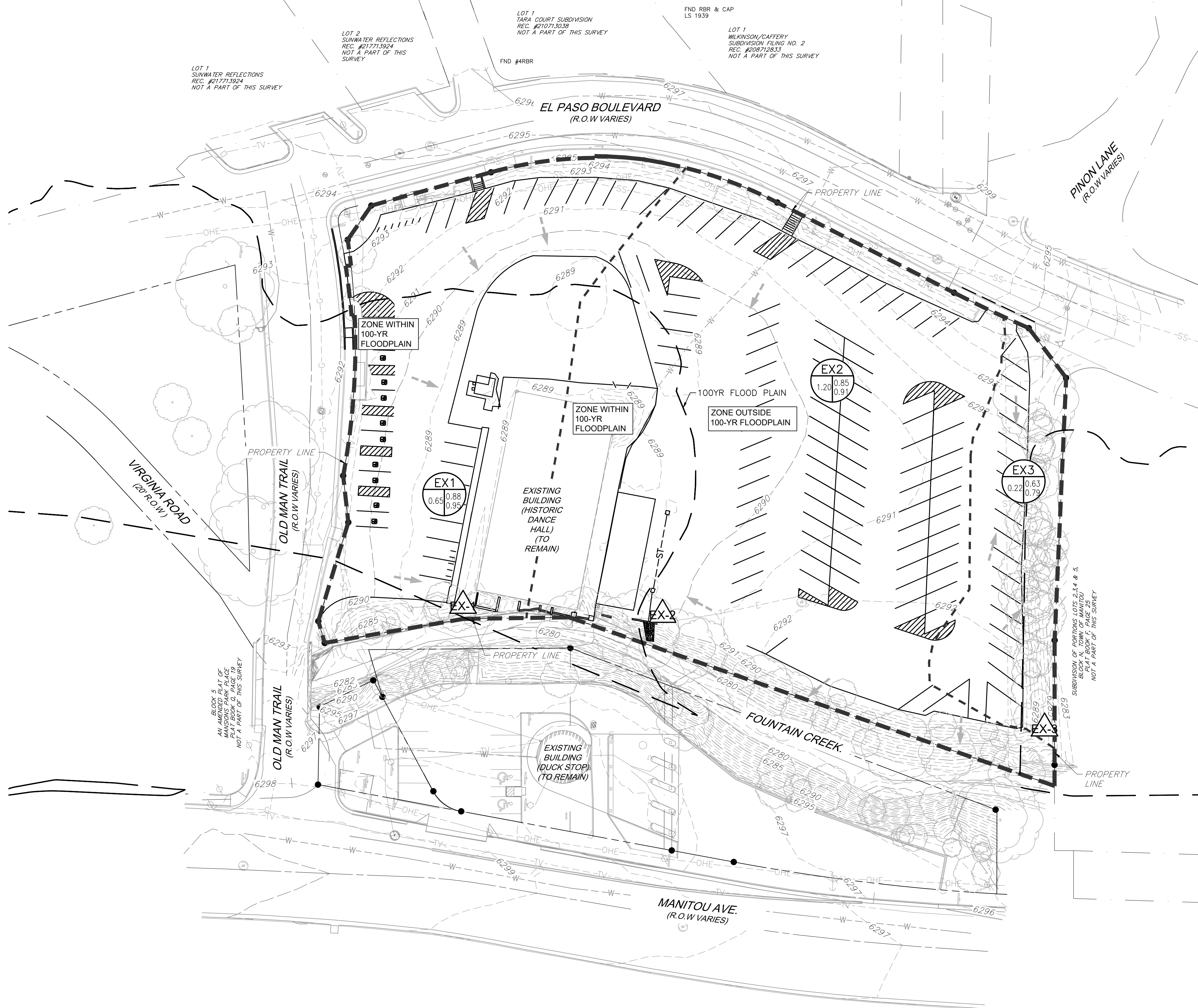
**DAVIS  
PARTNERSHIP  
ARCHITECTS**

SHEET NUMBER:  
**03**  
3 of 21

## SITE PLAN - TURNING MOVEMENTS

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



### LEGEND

- BASIN BOUNDARY
- SUB-BASIN BOUNDARY
- DIRECTION OF FLOW
- DESIGN POINT
- BASIN
- AREA IN ACRES

RUNOFF SUMMARY							
BASIN	DESIGN POINT	AREA (ACRES)	% IMP.	C <sub>s</sub>	C <sub>100</sub>	Q <sub>s</sub> (CFS)	Q <sub>100</sub> (CFS)
EX1	EX-1	0.65	99.0%	0.88	0.95	2.24	5.02
EX2	EX-2	1.20	99.5%	0.85	0.91	3.98	8.89
EX3	EX-3	0.22	63.9%	0.63	0.79	0.55	1.45
<b>SITE COMPOSITE</b>		<b>2.07</b>	<b>95.5%</b>	<b>0.84</b>	<b>0.91</b>	<b>6.76</b>	<b>15.36</b>

### BASIS OF BEARING

THE BEARINGS AS SHOWN HEREON ARE BASED UPON THE CONSIDERATION THAT THE SOUTHERLY PORTION OF THE WEST LINE OF LOT 1, BLOCK 1, SHOWN ON THE SUBDIVISION OF PORTIONS OF LOTS 2,3,4 & 5, BLOCK N, TOWN OF MANITOU, MONUMENTED AT THE NORTH TERMINUS AND AT THE SOUTHWEST CORNER OF SAID LOT 1 BY A 1 1/2" ALUMINUM CAP MARKED "DBCO PLS 37913" BEARS S00°03'10"W, 76.16' AS SHOWN HEREON. GRID BEARING DETERMINED FROM GPS INFILL SURVEY AND OPUS SOLUTION, RINEX FILE: 300\_300Q.220 ON OCTOBER 27, 2022.

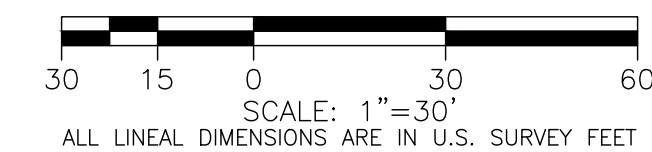
### BENCHMARK

VERTICAL DATUM - ELEVATIONS ARE BASED IN THE NATIONAL ADJUSTED VERTICAL DATUM OF 1988. (NAVD88). THE CONTOUR INTERVAL SHOWN HEREON = 1'.



CALL 811 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

MARTIN/MARTIN ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. UNLESS OTHERWISE NOTED, THE UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED BY OTHERS AND DEPICTED AS ASCE (38) QUALITY LEVEL D. IN ACCORDANCE WITH THE PROVISIONS OF COLORADO REVISED STATUTE, TITLE 9, IT IS THE CONTRACTORS RESPONSIBILITY TO CALL COLORADO 811 UTILITY LOCATE SERVICE FOR UTILITY LOCATES BEFORE DIGGING, AND FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES (DEPICTED OR NOT DEPICTED) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.



OWNER  
CITY OF MANITOU SPRINGS  
505 MANITOU AVENUE  
MANITOU SPRINGS, CO 80829  
719.433.6001

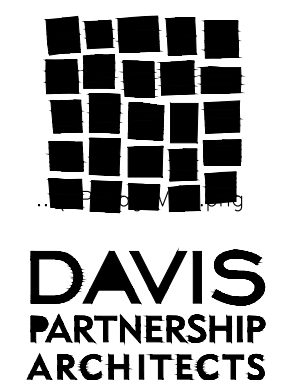
LANDSCAPE ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
2901 BLAKE STREET  
DENVER, CO 80202  
303.861.8000

ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
2901 BLAKE STREET  
DENVER, CO 80202  
303.861.8000

GENERAL CONTRACTOR  
FRANKEN PITCHMAN CONSTRUCTION  
505 S. WASHINGTON ST.  
CENTENNIAL, CO 80112  
720.243.0000

CIVIL ENGINEER  
MARTIN/MARTIN ENGINEERS  
1240 W. COLFAX AVENUE  
LAKEWOOD, CO 80025  
720.344.5346

ELECTRICAL ENGINEER  
AE DESIGN  
2005 S. WASHINGTON ST.  
DENVER, CO 80202  
303.266.3019

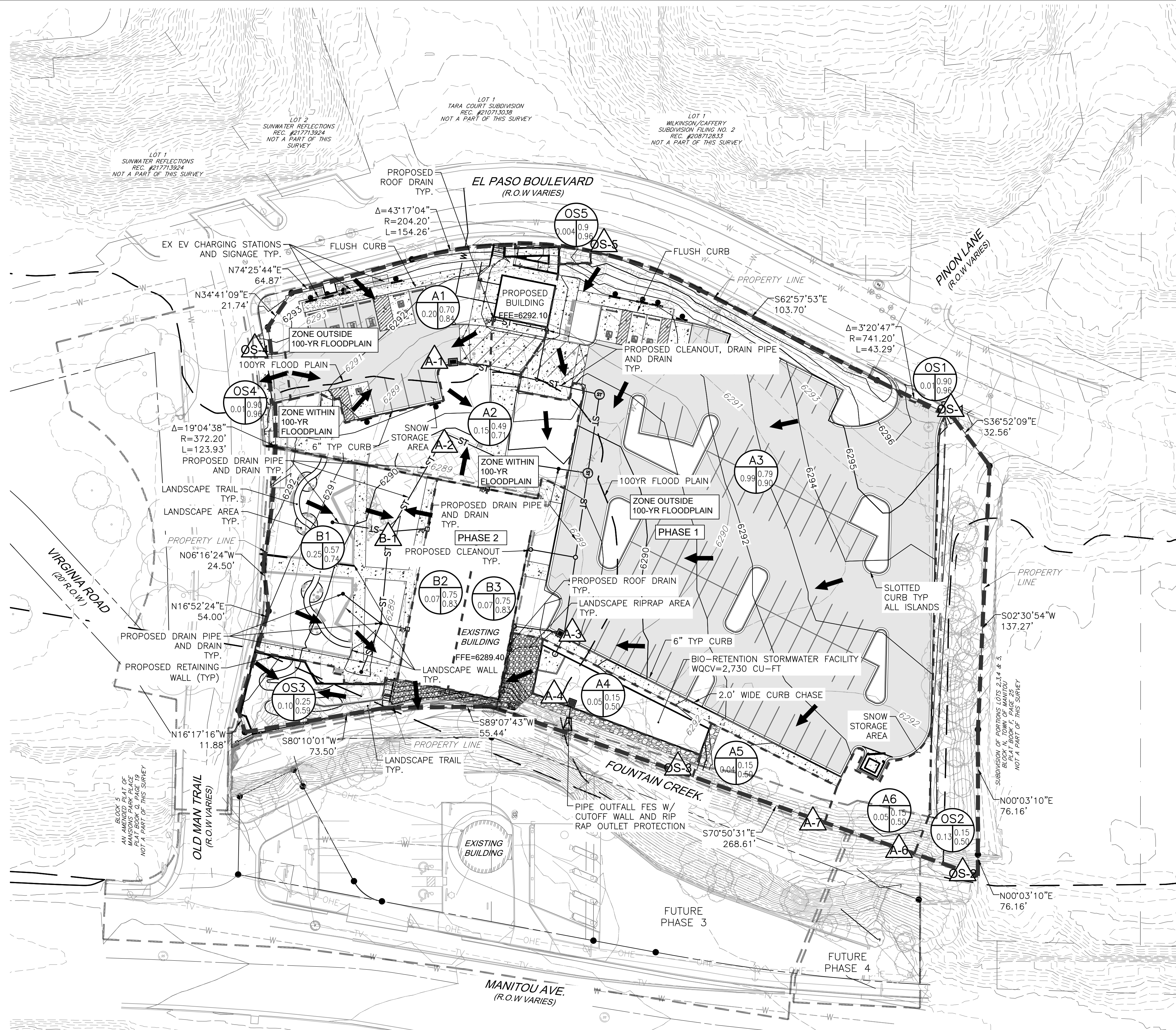


## EXISTING DRAINAGE PLAN

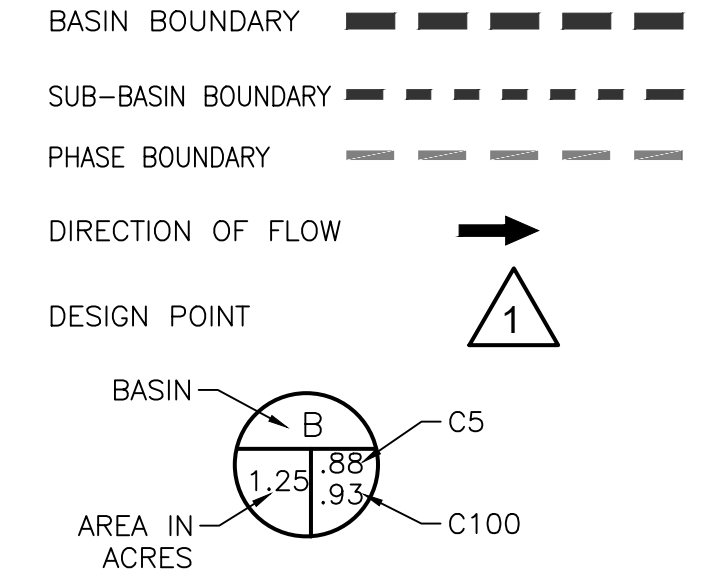
SHEET NUMBER  
**04**  
4 of 21

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



## LEGEND



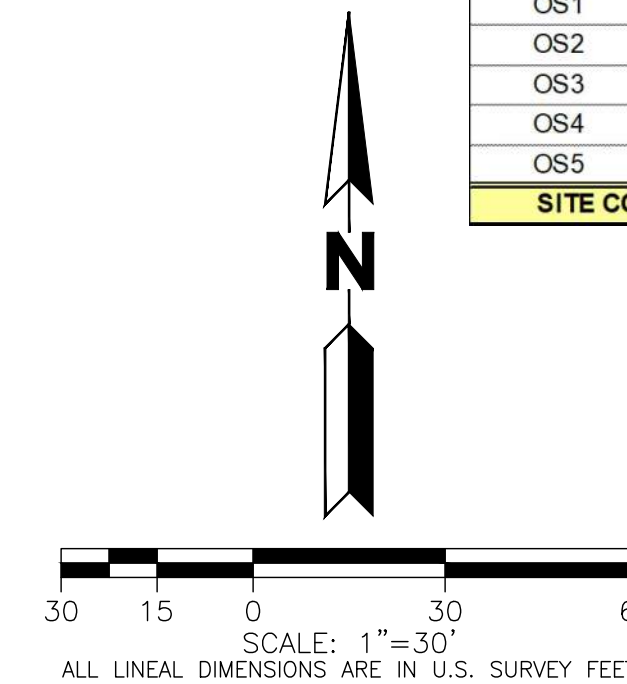
## BASIS OF BEARING

THE BEARINGS AS SHOWN HEREON ARE BASED UPON THE CONSIDERATION THAT THE SOUTHERLY PORTION OF THE WEST LINE OF LOT 1, BLOCK 1, SHOWN ON THE SUBDIVISION OF PORTIONS OF LOTS 2,3,4 & 5, BLOCK N, TOWN OF MANITOU, MONUMENTED AT THE NORTH TERMINUS AND AT THE SOUTHWEST CORNER OF SAID LOT 1 BY A 1 1/2" ALUMINUM CAP MARKED "DBCO PLS 37913" BEARS S00°03'10"W, 76.16' AS SHOWN HEREON. GRID BEARING DETERMINED FROM GPS INFILL SURVEY AND OPUS SOLUTION, RINEX FILE: 300\_300Q.220 ON OCTOBER 27, 2022.

## BENCHMARK

VERTICAL DATUM - ELEVATIONS ARE BASED IN THE NATIONAL ADJUSTED VERTICAL DATUM OF 1988. (NAVD88). THE CONTOUR INTERVAL SHOWN HEREON = 1'.

RUNOFF SUMMARY							
BASIN	DESIGN POINT	AREA (ACRES)	% IMP.	C <sub>s</sub>	C <sub>100</sub>	Q <sub>s</sub> (CFS)	Q <sub>100</sub> (CFS)
A1	A-1	0.20	74.5%	0.70	0.84	0.53	1.32
A2	A-2	0.16	45.9%	0.49	0.71	0.32	0.95
A3	A-3	0.99	85.9%	0.79	0.90	2.95	6.96
A4	A-4	0.05	0.0%	0.15	0.50	0.03	0.20
A5	A-5	0.04	0.0%	0.15	0.50	0.02	0.16
A6	A-6	0.05	0.0%	0.15	0.50	0.03	0.20
B1	B-1	0.25	76.1%	0.61	0.74	0.58	1.48
B2	B-2	0.07	90.0%	0.75	0.83	0.19	0.44
B3	B-3	0.07	90.0%	0.75	0.83	0.19	0.44
OS1	OS-1	0.01	100.0%	0.90	0.96	0.03	0.06
OS2	OS-2	0.13	0.0%	0.15	0.50	0.08	0.54
OS3	OS-3	0.10	52.6%	0.45	0.64	0.17	0.51
OS4	OS-4	0.01	100.0%	0.90	0.96	0.02	0.05
OS5	OS-5	0.004	100.0%	0.90	0.96	0.01	0.03
<b>SITE COMPOSITE</b>		<b>2.12</b>	<b>68.4%</b>	<b>0.64</b>	<b>0.79</b>	<b>5.14</b>	<b>13.35</b>



OWNER  
CITY OF MANITOU SPRINGS  
805 MANITOU AVENUE  
MANITOU SPRINGS, CO 80829  
719.481.6961

LANDSCAPE ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
2951 BLAKE STREET  
DENVER, CO 80202  
303.861.8999

ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
2951 BLAKE STREET  
DENVER, CO 80202  
303.861.8999

GENERAL CONTRACTOR  
FRANKEN PATTMAN CONSTRUCTION  
505 S. WASHINGTON ST.  
CENTENNIAL, CO 80112  
720.224.0900

CIVIL ENGINEER  
MANITOU SPRINGS ENGINEERS  
12469 W. COLFA AVENUE  
LAFAYETTE, CO 80115  
720.344.5346

ELECTRICAL ENGINEER  
ACE DESIGN  
505 S. WASHINGTON ST.  
CENTENNIAL, CO 80112  
720.224.0900

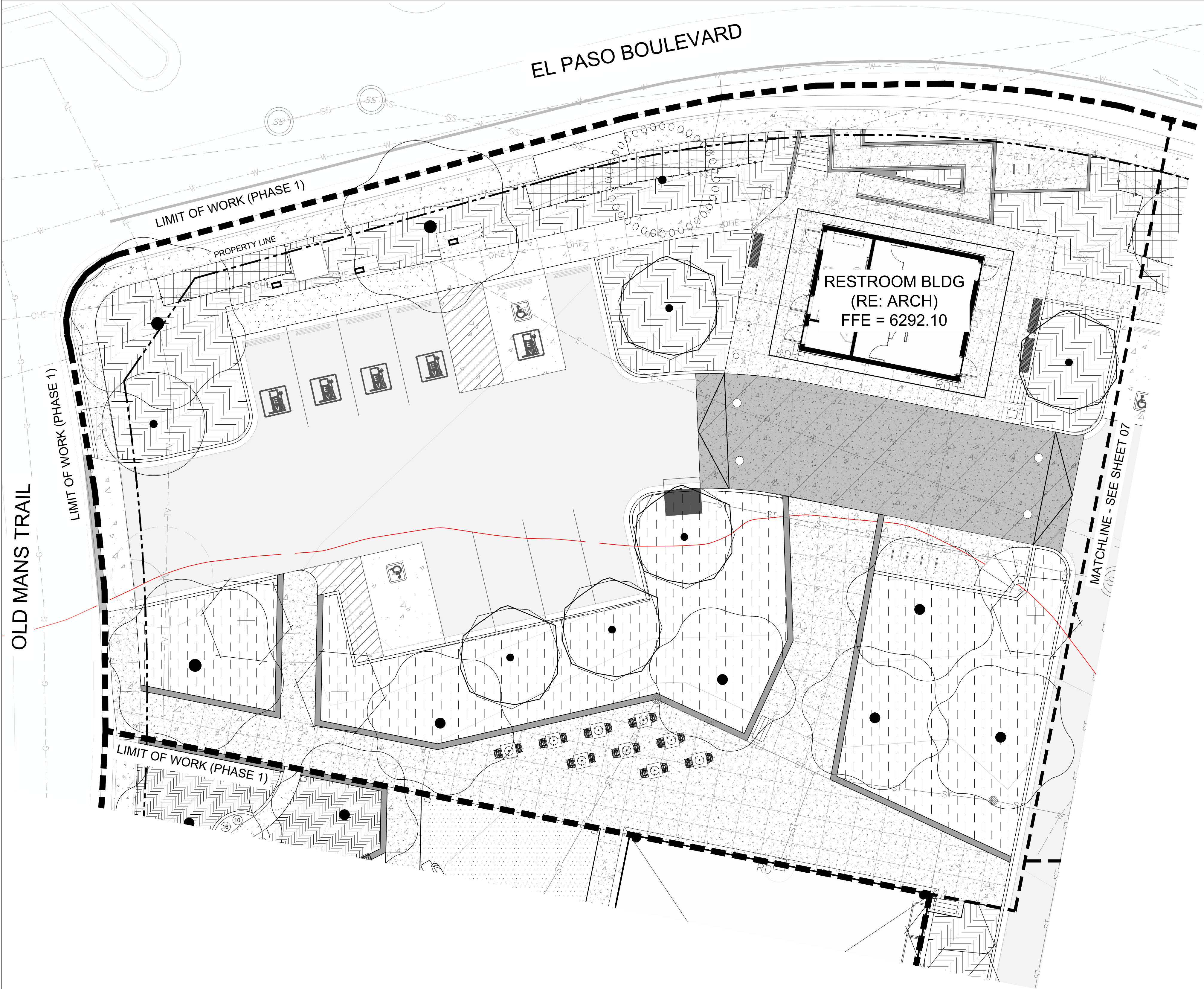


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PARTNERSHIP  
ARCHITECTS**

SHEET NUMBER:  
**05**  
5 of 21

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



## LEGEND

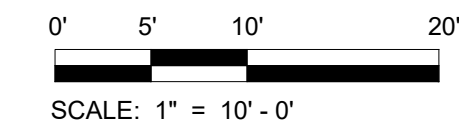
	<b>SHADE TREE: W-M</b> Aesculus hippocastanum / European Horsechestnut Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree Quercus bicolor / Swamp White Oak	<b>SIZE</b> 2" Cal. 2" Cal. 2" Cal.	<b>USE</b>  WL-VH
	<b>PARKING LOT TREE: W-M</b> Acer rubrum 'Frank Jr.' / Redpointe® Maple Aesculus glabra / Ohio Buckeye Tiia cordata / Littleleaf Linden	<b>SIZE</b> 2" Cal. 2" Cal. 2" Cal.	<b>USE</b> WL-H WL-H WL-H
	<b>ORNAMENTAL TREE: W-M</b> Acer grandidentatum / Bigtooth Maple Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry Cercis canadensis / Eastern Redbud Multi-trunk	<b>SIZE</b> 1.5" Cal. 1.5" Cal. 1.5" Cal.	<b>USE</b> WL-H WL-H WL-L
	<b>EXISTING TREE TO TRANSPLANT</b>		

	<b>ORNAMENTAL PLANTING: W-M</b> Amorpha canescens / Leadplant Aquilegia caerulea / Rocky Mountain Columbine Asclepias speciosa / Showy Milkweed Asclepias tuberosa / Butterfly Milkweed Bouteloua gracilis / Blue Grama Grass Campanula rotundifolia / Harebell Carex appalachica / Appalachian Sedge Caryopteris x clandonensis / Bluebeard Chrysothamnus nauseosus / Dwarf Blue Rabbitbrush Cleome serrulata / Rocky Mountain Beeplant Erigeron formosissimus P022S / Rambler Mountain Fleabane Geum triflorum / Prairie Smoke Liatris punctata / Dotted Blazing Star Monarda fistulosa / Beebalm Penstemon eatonii / Firecracker Penstemon Penstemon strictus / Rocky Mountain Penstemon Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage Potentilla fruticosa 'Red Ace' / Red Ace Bush Cinquefoil Pulsatilla patens ludoviciana / American Pasqueflower Rhus aromatica / Fragrant Sumac Rudbeckia hirta / Black-eyed Susan Sporobolus heterolepis / Prairie Dropseed	<b>SIZE</b> 5 gal. 1 gal. 1 gal. 1 gal. 5 gal. 1 gal. 5 gal. 5 gal. 1 gal. 1 gal. 1 gal. 1 gal. 1 gal. 1 gal. 1 gal. 1 gal. 5 gal. 5 gal. 1 gal. 5 gal. 1 gal. 5 gal. 1 gal.	<b>USE</b>  E M M WL-H M WL-M L L L E M/L M E M L L E/M/L E WL-H M 1 gal.
--	---	---	---

	<b>NATIVE SEED: W-X</b> WESTERN NATIVE SEED - HIGH PLAINS/FOOTHILLS MEADOW MIX		
	<b>PARKING LOT: W-X</b> Andropogon scoparius / Little Bluestem Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama Prunus besseyi 'P011S' / Pawnee Buttes® Sand Cherry Rhus aromatica / Fragrant Sumac Sporobolus heterolepis / Prairie Dropseed	<b>SIZE</b> 5 gal. 5 gal. 5 gal. 5 gal. 5 gal.	<b>USE</b>  WL-H WL-H

	<b>TURF</b> FOUR WAY BLUEGRASS BLEND (1 PART DROUGHT, 1 PART AGGRESSIVE, 1 PART DENSE)		
	<b>EXISTING PLANTING TO REMAIN</b>		

<b>WATER USE:</b>	<b>WILDLIFE VALUE:</b>	<b>POLLINATOR BLOOM SEASON:</b>
W-X: XERIC	WL-L: LOW	E: EARLY-SEASON
W-L: LOW	WL-M: MEDIUM	M: MID-SEASON
W-M: MESIC	WL-H: HIGH	L: LATE SEASON
	WL-VH: VERY HIGH	WL: MID AND LATE-SEASON



**OWNER**  
CITY OF MANITOU SPRINGS  
408 MANITOU AVENUE  
MANITOU SPRINGS, CO 80829  
719.483.6501

**ARCHITECT**  
DAVIS PARTNERSHIP ARCHITECTS  
2001 BLAKE STREET  
DENVER, CO 80202  
303.861.8555

**GENERAL CONTRACTOR**  
FRANSEN PETERSON CONSTRUCTION  
955 E KINGSTON CT  
CENTENNIAL, CO 80112  
724.224.0990

**LANDSCAPE ARCHITECT**  
DAVIS PARTNERSHIP ARCHITECTS  
2001 BLAKE STREET  
DENVER, CO 80202  
303.861.8555

**CIVIL ENGINEER**  
MARK MARTIN ENGINEERS  
12409 W. COLFAX AVENUE  
LAKESIDE, CO 80124  
720.544.5348

**ELECTRICAL ENGINEER**  
AS DESIGN  
1601 FRISCO STREET  
DENVER, CO 80202  
303.536.3379

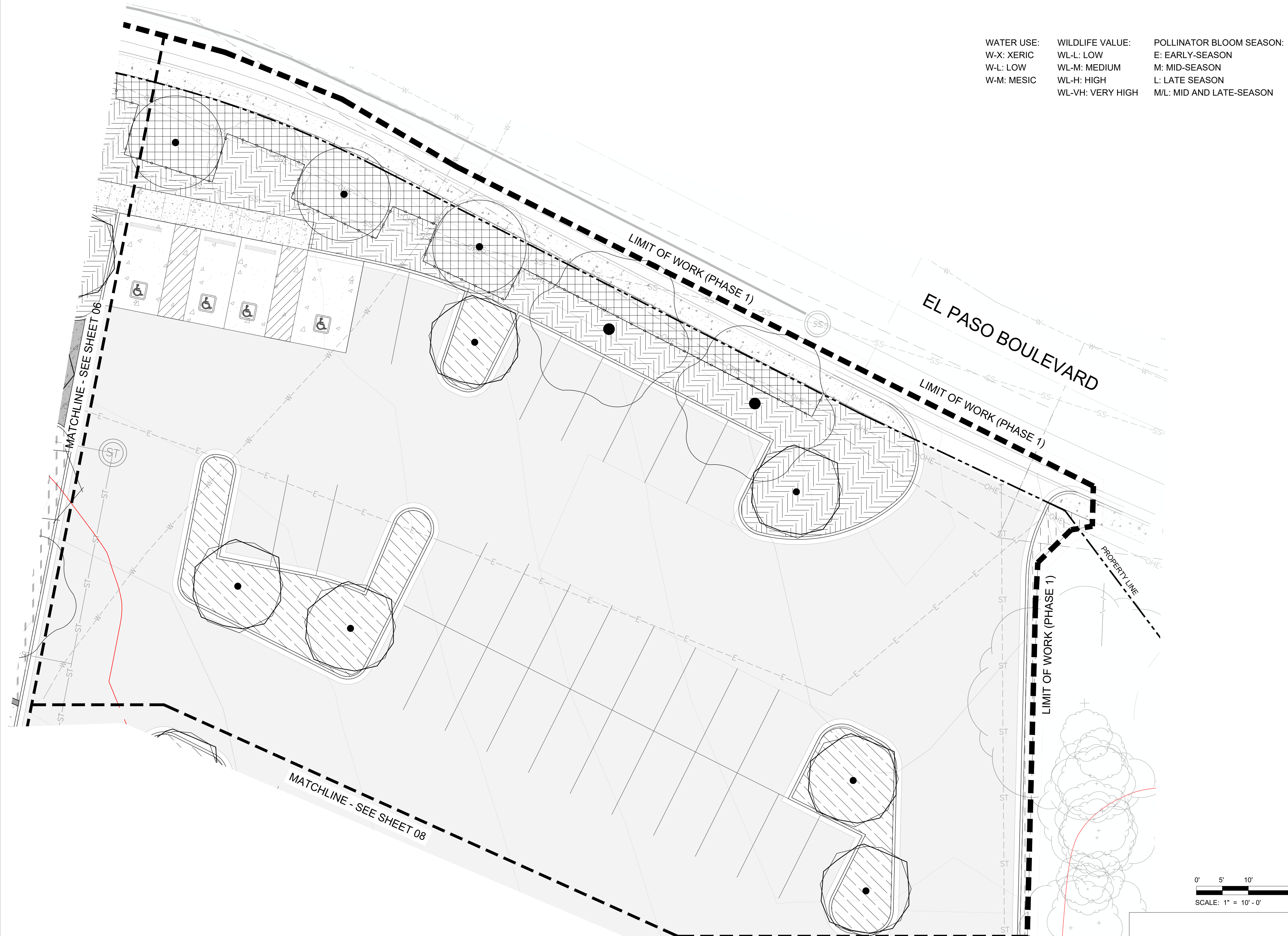
**DAVIS  
PARTNERSHIP  
ARCHITECTS**

**LANDSCAPE PLAN (PH. 1)**

SHEET NUMBER:  
**06**  
06 of 21

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829

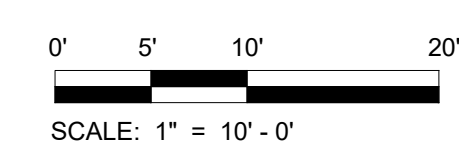


WATER USE:  
W-X: XERIC  
W-L: LOW  
W-M: MESIC

WILDLIFE VALUE:  
WL-L: LOW  
WL-M: MEDIUM  
WL-H: HIGH  
WL-VH: VERY HIGH

POLLINATOR BLOOM SEASON:  
E: EARLY-SEASON  
M: MID-SEASON  
L: LATE SEASON  
ML: MID AND LATE-SEASON

LEGEND		SIZE	USE	
	<b>SHADE TREE: W-M</b>			
	Aesculus hippocastanum / European Horsechestnut	2" Cal.		
	Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree	2" Cal.		
	<b>PARKING LOT TREE: W-M</b>			
	Acer rubrum 'Frank Jr.' / Redpointe® Maple	2" Cal.	WL-H	
	Aesculus glabra / Ohio Buckeye	2" Cal.		
	<b>ORNAMENTAL TREE: W-M</b>			
	Acer grandidentatum / Bigtooth Maple	1.5" Cal.		
	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance	1.5" Cal.	WL-H	
	<b>EXISTING TREE TO TRANSPLANT</b>			
	Apple Serviceberry			
	Cercis canadensis / Eastern Redbud Multi-trunk	1.5" Cal.	WL-L	
	<b>EXISTING TREE TO REMAIN</b>			
	<b>ORNAMENTAL PLANTING: W-M</b>			
	Amorpha canescens / Leadplant	5 gal.		
	Aquilegia caerulea / Rocky Mountain Columbine	1 gal.	E	
	Asclepias speciosa / Showy Milkweed	1 gal.	M	
	Asclepias tuberosa / Butterfly Milkweed	1 gal.	M	
	Bouteloua gracilis / Blue Grama Grass	5 gal.	WL-H	
	Campanula rotundifolia / Harebell	1 gal.	M	
	Carex appalachica / Appalachian Sedge	5 gal.	WL-M	
	Caryopteris x clandonensis / Bluebeard	5 gal.	L	
	Chrysothamnus nauseosus nauseosus / Dwarf Blue Rabbitbrush	5 gal.	L	
	Cleome serrulata / Rocky Mountain Beeplant	1 gal.	L	
	Erigeron formosissimus P022S / Rambler Mountain Fleabane	1 gal.		
	Geum triflorum / Prairie Smoke	1 gal.	E	
	Liatris punctata / Dotted Blazing Star	1 gal.	M/L	
	Monarda fistulosa / Beebalm	1 gal.	M	
	Penstemon eatonii / Firecracker Penstemon	1 gal.	E	
	Penstemon strictus / Rocky Mountain Penstemon	1 gal.	M	
	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	5 gal.	L	
	Potentilla fruticosa 'Red Ace' / Red Ace Bush Cinquefoil	5 gal.	E/M/L	
	Pulsatilla patens ludoviciana / American Pasqueflower	1 gal.	E	
Rhus aromatica / Fragrant Sumac	5 gal.	WL-H		
Rudbeckia hirta / Black-eyed Susan	1 gal.	M		
Sporobolus heterolepis / Prairie Dropseed	1 gal.			
	<b>NATIVE SEED: W-X</b>			
	WESTERN NATIVE SEED - HIGH PLAINS/FOOTHILLS MEADOW MIX			
		<b>PARKING LOT: W-X</b>		
		Andropogon scoparius / Little Bluestem	5 gal.	
		Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	5 gal.	
Prunus besseyi 'P011S' / Pawnee Buttes® Sand Cherry		5 gal.		
Rhus aromatica / Fragrant Sumac		5 gal.	WL-H	
Sporobolus heterolepis / Prairie Dropseed	5 gal.			
	<b>TURF</b>			
	FOUR WAY BLUEGRASS BLEND (1 PART DROUGHT, 1 PART AGGRESSIVE, 1 PART DENSE)			
	<b>EXISTING PLANTING TO REMAIN</b>			



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ARCHITECT  
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GENERAL CONTRACTOR  
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SHEET NUMBER:  
**07**  
07 of 21

**LANDSCAPE PLAN (PH. 1)**

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



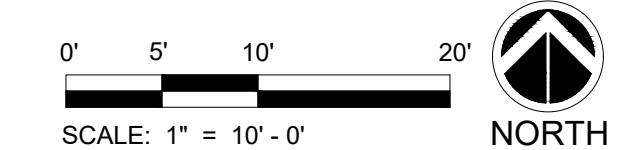
**WATER USE:**  
W-X: XERIC  
W-L: LOW  
W-M: MESIC

**WILDLIFE VALUE:**  
WL-L: LOW  
WL-M: MEDIUM  
WL-H: HIGH  
WL-VH: VERY HIGH

**POLLINATOR BLOOM SEASON:**  
E: EARLY-SEASON  
M: MID-SEASON  
L: LATE SEASON  
ML: MID AND LATE-SEASON

## LEGEND

Symbol	Plant Name	Size	Use
●	<b>SHADE TREE: W-M</b>		
	Aesculus hippocastanum / European Horsechestnut	2" Cal.	
	Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree	2" Cal.	WL-VH
●	<b>PARKING LOT TREE: W-M</b>		
	Acer rubrum 'Frank Jr.' / Redpointe® Maple	2" Cal.	WL-H
	Aesculus glabra / Ohio Buckeye	2" Cal.	
●	<b>ORNAMENTAL TREE: W-M</b>		
	Acer grandidentatum / Bigtooth Maple	1.5" Cal.	WL-H
	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	1.5" Cal.	WL-L
[Pattern]	<b>ORNAMENTAL PLANTING: W-M</b>	SIZE	USE
	Amorpha canescens / Leadplant	5 gal.	
	Aquilegia caerulea / Rocky Mountain Columbine	1 gal.	E
	Asclepias speciosa / Showy Milkweed	1 gal.	M
	Asclepias tuberosa / Butterfly Milkweed	1 gal.	M
	Bouteloua gracilis / Blue Grama Grass	5 gal.	WL-H
	Campanula rotundifolia / Harebell	1 gal.	M
	Carex appalachica / Appalachian Sedge	5 gal.	WL-M
	Caryopteris x clandonensis / Bluebear	5 gal.	L
	Chrysothamnus nauseosus / Dwarf Blue Rabbitbrush	5 gal.	L
	Cleome serrulata / Rocky Mountain Beeplant	1 gal.	L
	Erigeron formosissimus P022S / Rambler Mountain Fleabane	1 gal.	
	Geum triflorum / Prairie Smoke	1 gal.	E
	Liatris punctata / Dotted Blazing Star	1 gal.	M/L
	Monarda fistulosa / Beebalm	1 gal.	M
	Penstemon eatonii / Firecracker Penstemon	1 gal.	E
	Penstemon strictus / Rocky Mountain Penstemon	1 gal.	M
	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	5 gal.	L
	Potentilla fruticosa 'Red Ace' / Red Ace Bush Cinquefoil	5 gal.	E/M/L
	Pulsatilla patens ludoviciana / American Pasqueflower	1 gal.	E
Rhus aromatica / Fragrant Sumac	5 gal.	WL-H	
Rudbeckia hirta / Black-eyed Susan	1 gal.	M	
Sporobolus heterolepis / Prairie Dropseed	1 gal.		
[Pattern]	<b>NATIVE SEED: W-X</b>		
	WESTERN NATIVE SEED - HIGH PLAINS/FOOTHILLS MEADOW MIX		
[Pattern]	<b>RAINGARDEN: W-M</b>	SIZE	USE
	Amorpha canescens / Leadplant	5 gal.	
	Aronia melanocarpa 'UCONNAM165' / Low Scape Mound® Black Chokeberry	5 gal.	WL-M
	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	5 gal.	
	Deschampsia cespitosa / Tufted Hair Grass	5 gal.	
	Liatris ligulistylis / Meadow Blazing-star	1 gal.	M/L
	Monarda fistulosa / Beebalm	1 gal.	M
	Rhus aromatica / Fragrant Sumac	5 gal.	WL-H
	Schizachyrium scoparium 'Prairie Blues' / Prairie Blues Little Bluestem	5 gal.	WL-H
	Sporobolus heterolepis / Prairie Dropseed	5 gal.	
[Pattern]	<b>PARKING LOT: W-X</b>	SIZE	USE
	Andropogon scoparius / Little Bluestem	5 gal.	
	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	5 gal.	
	Prunus besseyi 'P011S' / Pawnee Bultes® Sand Cherry	5 gal.	
	Rhus aromatica / Fragrant Sumac	5 gal.	WL-H
Sporobolus heterolepis / Prairie Dropseed	5 gal.		



**OWNER:**  
CITY OF MANITOU SPRINGS  
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**ARCHITECT:**  
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DENVER, CO 80202  
303.861.8655

**LANDSCAPE ARCHITECT:**  
DAVIS PARTNERSHIP ARCHITECTS  
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991 E. KINGSTON CT  
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**DAVIS PARTNERSHIP ARCHITECTS**

## LANDSCAPE PLAN (PH. 1)

SHEET NUMBER:  
**08**  
08 of 21

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



## LEGEND

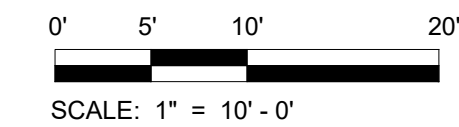
SHADE TREE: W-M	SIZE	USE
Aesculus hippocastanum / European Horsechestnut	2" Cal.	
Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree	2" Cal.	
Quercus bicolor / Swamp White Oak	2" Cal.	WL-VH

ORNAMENTAL TREE: W-M	SIZE	USE
Acer grandidentatum / Bigtooth Maple	1.5" Cal.	
Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	1.5" Cal.	WL-H
Cercis canadensis / Eastern Redbud Multi-trunk	1.5" Cal.	WL-L

ORNAMENTAL PLANTING: W-M	SIZE	USE
Amorpha canescens / Leadplant	5 gal.	
Aquilegia caerulea / Rocky Mountain Columbine	1 gal.	E
Asclepias speciosa / Showy Milkweed	1 gal.	M
Asclepias tuberosa / Butterfly Milkweed	1 gal.	M
Bouteloua gracilis / Blue Grama Grass	5 gal.	WL-H
Campanula rotundifolia / Harebell	1 gal.	M
Carex appalachica / Appalachian Sedge	5 gal.	WL-M
Caryopteris x clandonensis / Bluebeard	5 gal.	L
Chrysothamnus nauseosus nauseosus / Dwarf Blue Rabbitbrush	5 gal.	L
Cleome serrulata / Rocky Mountain Beeplant	1 gal.	L
Erigeron formosissimus P022S / Rambler Mountain Fleabane	1 gal.	
Geum triflorum / Prairie Smoke	1 gal.	E
Liatriis punctata / Dotted Blazing Star	1 gal.	M/L
Monarda fistulosa / Beebalm	1 gal.	M
Penstemon eatonii / Firecracker Penstemon	1 gal.	E
Penstemon strictus / Rocky Mountain Penstemon	1 gal.	M
Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	5 gal.	L
Potentilla fruticosa 'Red Ace' / Red Ace Bush Cinquefoil	5 gal.	E/M/L
Pulsatilla patens ludoviciana / American Pasqueflower	1 gal.	E
Rhus aromatica / Fragrant Sumac	5 gal.	WL-H
Rudbeckia hirta / Black-eyed Susan	1 gal.	M
Sporobolus heterolepis / Prairie Dropseed	1 gal.	

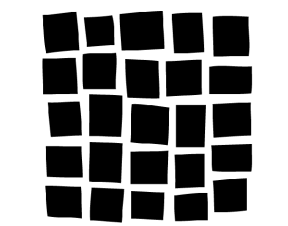
**TURF**  
FOUR WAY BLUEGRASS BLEND (1 PART DROUGHT, 1 PART AGGRESSIVE, 1 PART DENSE)

WATER USE:	WILDLIFE VALUE:	POLLINATOR BLOOM SEASON:
W-X: XERIC	WL-L: LOW	E: EARLY-SEASON
W-L: LOW	WL-M: MEDIUM	M: MID-SEASON
W-M: MESIC	WL-H: HIGH	L: LATE SEASON
	WL-VH: VERY HIGH	M/L: MID AND LATE-SEASON



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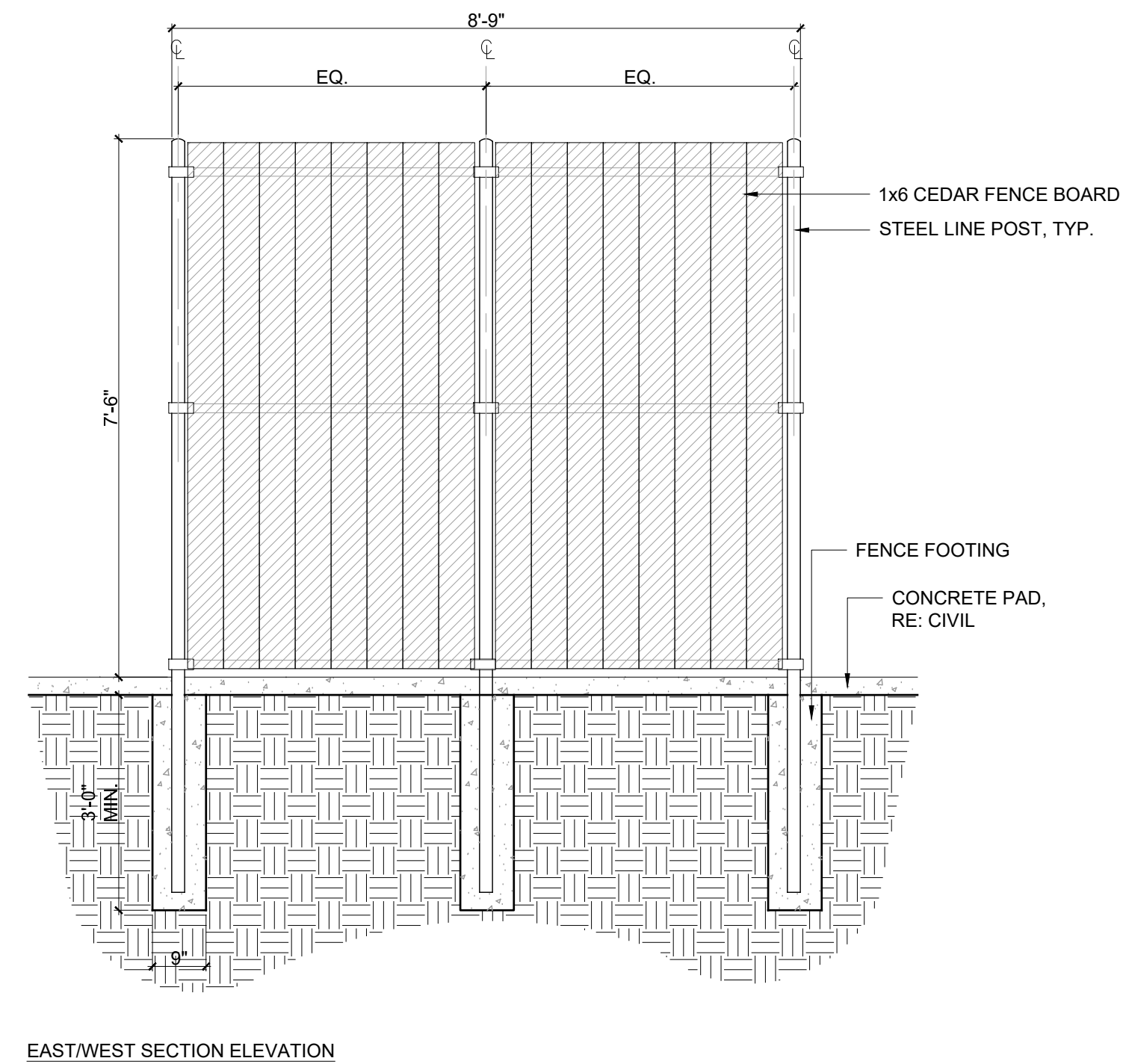
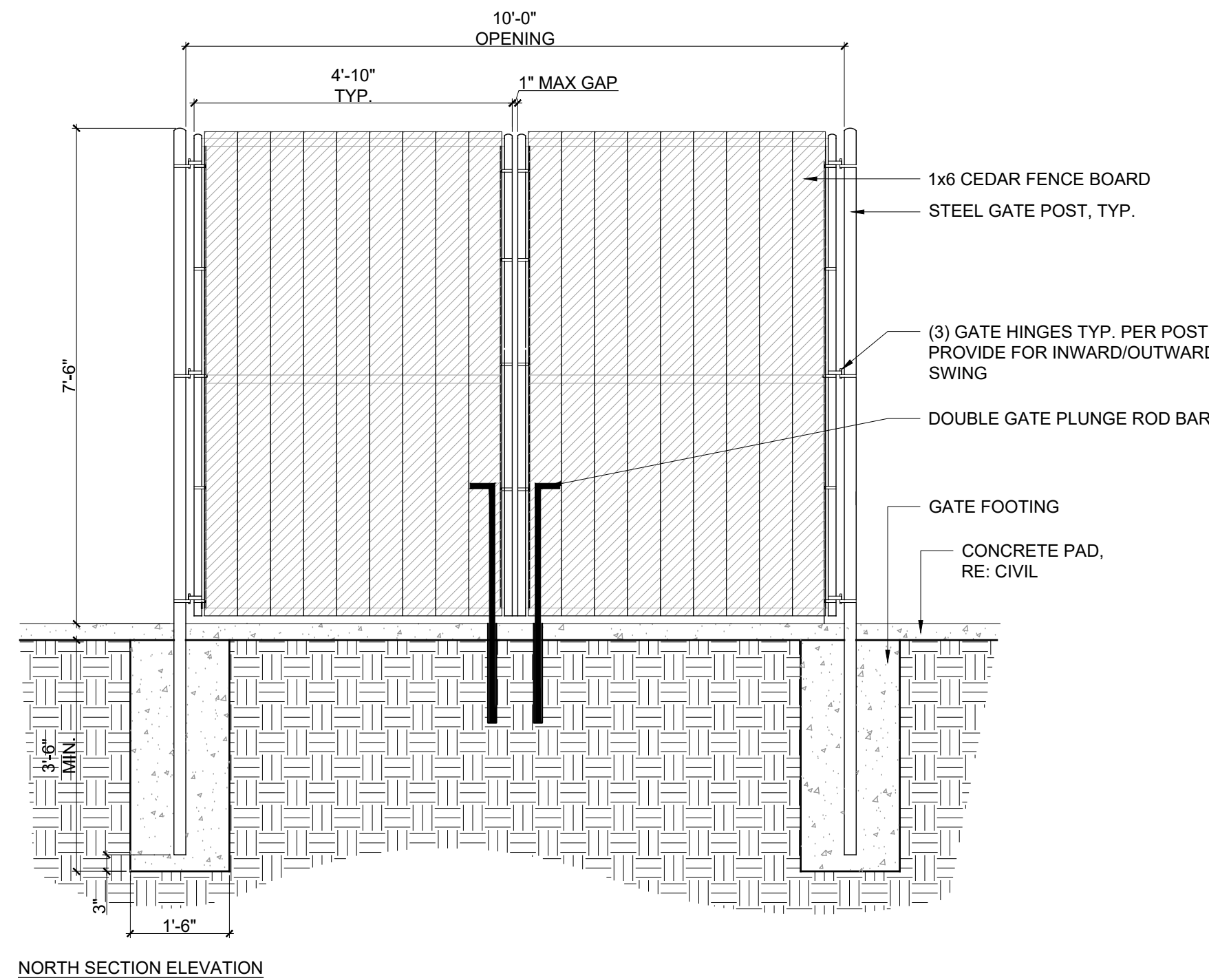
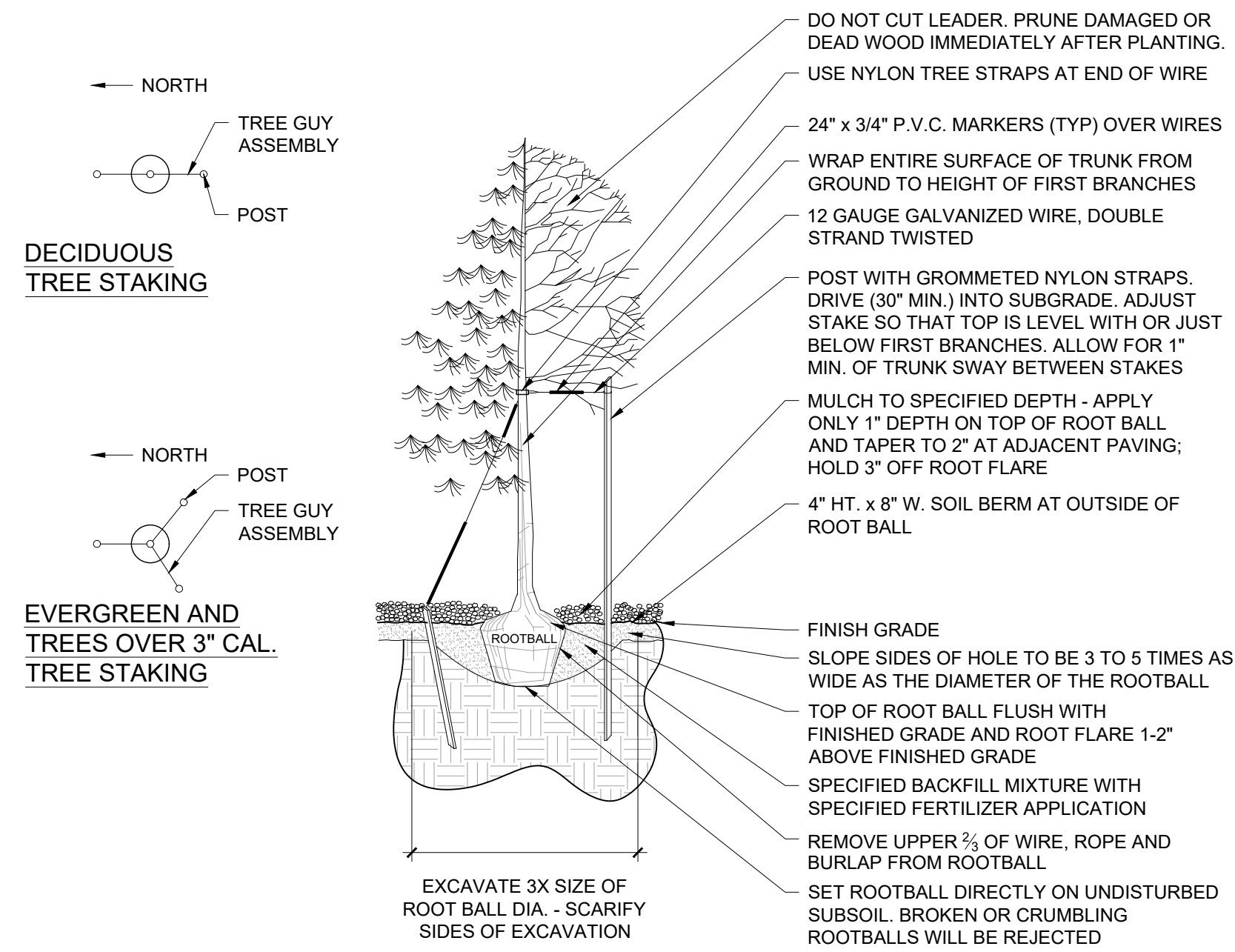
**DAVIS  
PARTNERSHIP  
ARCHITECTS**

SHEET NUMBER:  
**09**  
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**LANDSCAPE PLAN (PH. 2)**

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829

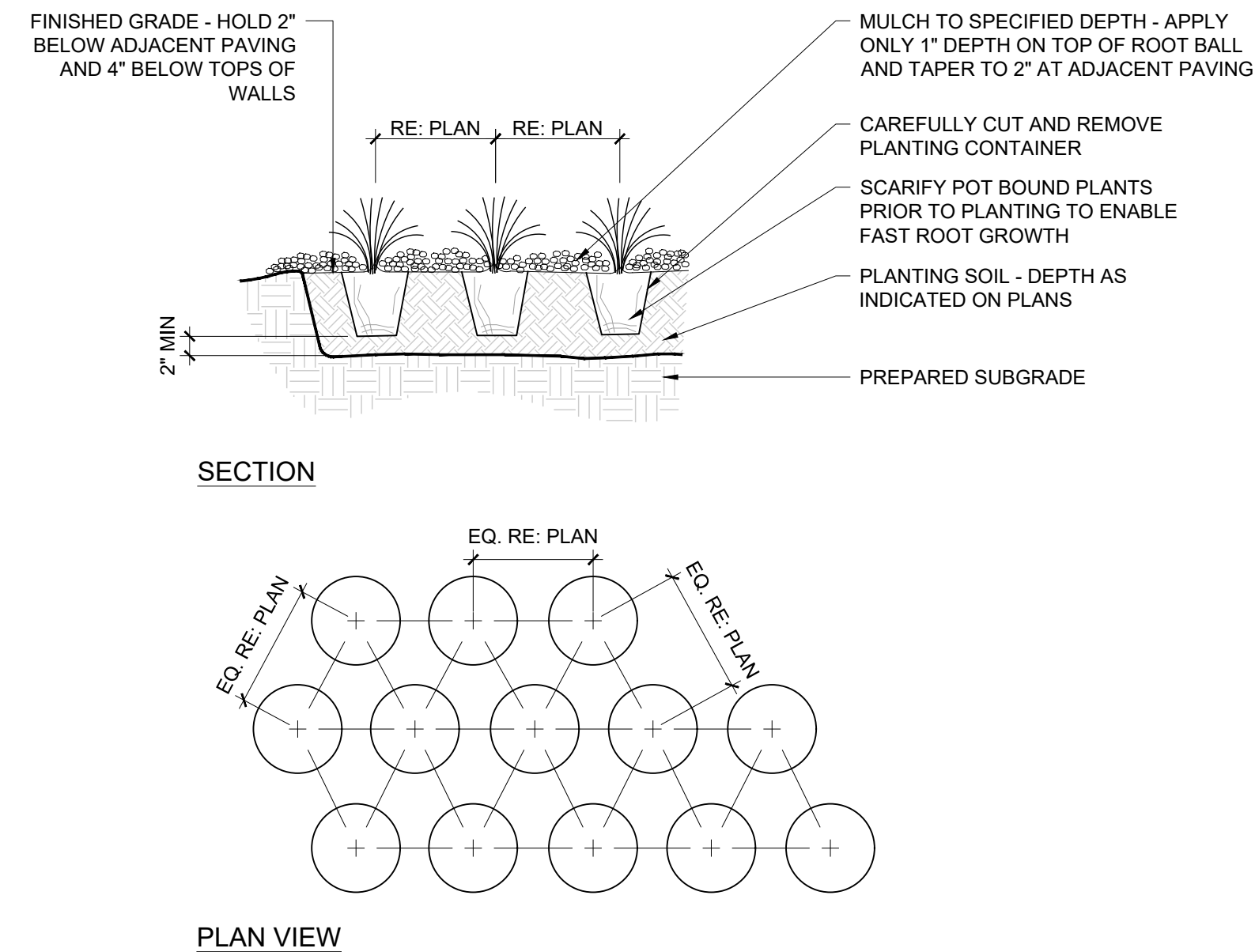
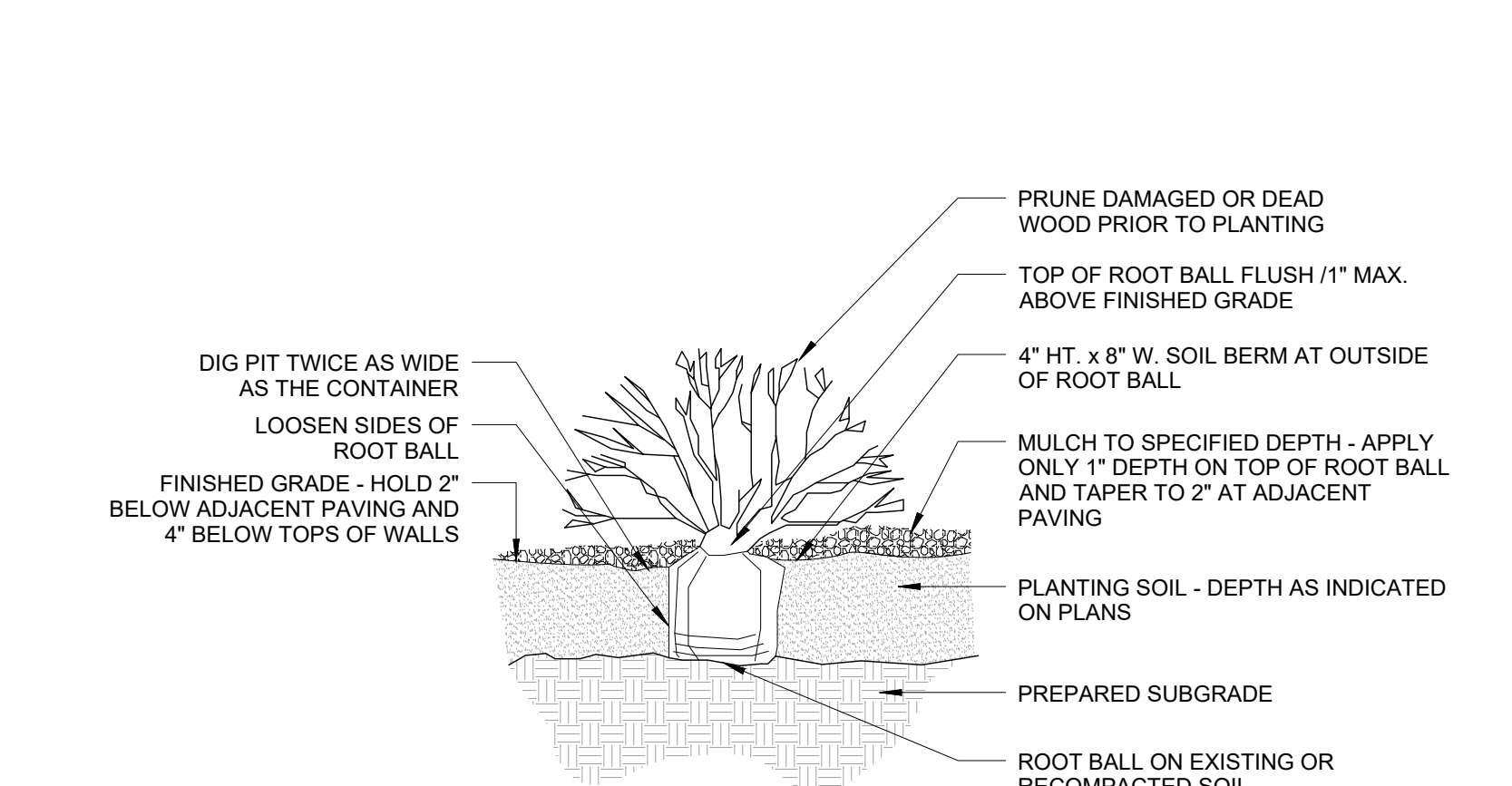


**NOTES:**

1. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION
2. CEDAR TO BE #2 GRADE OR BETTER, FREE OF LOOSE KNOTS, SPLITS AND DEFECTS
3. FENCE BOARDS: 1x6 CEDAR PLANKS, VERTICAL ORIENTATION, WITH UNIFORM SPACING (TIGHT-JOINTED UNLESS OTHERWISE SPECIFIED)
4. POSTS SHALL BE SET IN CONCRETE FOOTINGS THAT EXTEND BELOW FROST DEPTH
5. GATE FRAME: CONSTRUCT FROM STEEL FRAME WITH DIAGONAL BRACING TO PREVENT SAGGING
6. HINGES AND LATCH: HEAVY-DUTY GALVANIZED OR STAINLESS STEEL HARDWARE
7. GATE TO SWING OUTWARD (U.N.O.)
8. PROVIDE A 1" MIN. CLEARANCE AT BOTTOM OF GATE AND FENCE
9. APPLY WEATHER-RESISTANT WOOD SEALER TO ALL CEDAR COMPONENTS AFTER INSTALLATION
10. PROVIDE SHOP DRAWINGS FOR APPROVAL

**B1 TREE PLANTING**  
N.T.S.

**B2 TRASH ENCLOSURE FENCE AND GATE**  
1/2" = 1'-0"



**PLANTING NOTES**

1. THE PLAN DESCRIBES THE LANDSCAPE PORTION OF THE PROJECT ONLY. SEE OTHER SHEETS FOR SITE IMPROVEMENT INFORMATION.
2. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITIES NOTIFICATION CENTER OF COLORADO (UNCC) AND ANY LOCAL UTILITIES NOT IN THE UNCC SYSTEM AT LEAST 48 HOURS BEFORE ANY EXCAVATION OR CONSTRUCTION TO REQUEST EXACT FIELD LOCATIONS OF ALL UTILITIES.
3. MINIMIZE DISTURBANCE OUTSIDE SCOPE OF WORK. ANY DAMAGE OUTSIDE SCOPE OF WORK INCURRED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO LIKE NEW CONDITION.
4. CONTRACTOR SHALL MAINTAIN IRRIGATION TO EXISTING SOD AND OTHER PLANT MATERIAL TO REMAIN.
5. ALL LANDSCAPE AREAS AND STREET TREES WILL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.
6. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL PLANTING PLANS. SHOULD DISCREPANCIES EXIST BETWEEN THE QUANTITIES OR S.F. AREAS PROVIDED IN THE LABEL AND THOSE DRAWN ON THE PLAN, THE PLAN SHALL GOVERN.
7. ALL PLANTS SHALL CONFORM TO STANDARDS FOR MEASUREMENTS, GRADING, BRANCHING, QUALITY, BALL AND BURLAPPING AS STATED IN THE AMERICAN STANDARD FOR NURSERY STOCK, (ANSI Z60.1) EDITION, AMERICAN ASSOCIATION OF NURSERMEN, INC. (AAN-ANSN), AND THE COLORADO NURSERY ACT (CAN). NO PLANT SHALL BE INSTALLED BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT, OR EQUAL.
8. ALL PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING, UNLESS OTHERWISE SPECIFIED OR DETAILED.
9. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL SHALL BE REMOVED COMPLETELY AT TIME OF PLANTING.
10. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN AT LEAST TWO VERTICAL LOCATIONS.
11. ALL TREES SHALL BE REVIEWED AND APPROVED AT NURSERIES BY THE PROJECT LANDSCAPE ARCHITECT. CONTRACTOR SHALL PROVIDE A MAXIMUM OF 2 NURSERIES WHERE A SELECTION OF PLANT MATERIAL IS AVAILABLE TO CHOOSE FROM. CONTRACTOR SHALL VISUALLY INSPECT AND TAG THE BEST SPECIMENS OF PLANT MATERIAL PRIOR TO LANDSCAPE ARCHITECT REVIEW AND APPROVAL.
12. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES SHALL BE STAKED AND SHRUBS LOCATED STILL IN CONTAINERS, PER PLAN LAYOUT FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT. NOTIFY LANDSCAPE ARCHITECT ONE WEEK PRIOR TO DATE OF SITE VISIT.
13. CONTRACTOR SHALL HAVE EXISTING AND NEW UTILITY LOCATIONS MARKED FOR REFERENCE. DURING APPROVAL OF FINAL TREE PLANTING LAYOUT.
14. TREES SHALL NOT BE LOCATED WITHIN FIVE (5) FEET OF UNDERGROUND ELECTRIC AND CABLE LINES, WITHIN SIX (6) FEET OF UNDERGROUND GAS LINES, AND WITHIN TEN (10) FEET OF UNDERGROUND WATER AND SEWER LINES.
15. REFER TO THE DETAILS AND THE CONTRACT SPECIFICATIONS FOR REQUIRED PLANTING METHODS, SOIL PREPARATION, AND OTHER INFORMATION REGARDING PLANTING.
16. ALL PLANTS AND STAKES SHALL BE SET PLUMB.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING NECESSARY FOR INITIAL ESTABLISHMENT OF LANDSCAPE. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON. CONTRACTOR SHALL ALSO BE REQUIRED TO MAINTAIN LANDSCAPE THROUGH SUBSTANTIAL COMPLETION AND FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION. MAINTENANCE SHALL INCLUDE (BUT IS NOT LIMITED TO) WATERING, MOWING, PRUNING, AND WEEDING.
18. THE LANDSCAPE CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME OF PLANTING.
19. PLANT MATERIAL SHALL NOT BE PRUNED UNLESS OTHERWISE INDICATED IN PLANTING SCHEDULE.
20. ALL PLANTING AREAS TO BE COVERED 3" DEEP WITH ORGANIC MULCH.
21. FINISH GRADES IN PLANTING AREAS SHALL BE SET TO INCLUDE THE APPLICATION OF TOPSOIL IN MEETING SPOT ELEVATIONS ON CONTOURS SHOWN ON PLANS. SLOPES SHALL BE SMOOTH AND WORKED. SOIL SHALL NOT BE LEFT IN CLUMP FORM.
22. PROVIDE AT LEAST (2) 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER ALL WALKS AND DRIVES FOR IRRIGATION PIPING AND WIRING. PRIOR TO INSTALLATION OF WALKS AND DRIVES. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVES WITH LANDSCAPE CONTRACTOR. REFER TO APPROVED IRRIGATION PLANS FOR LOCATIONS WHERE SLEEVES ARE REQUIRED.
23. ANY PLANT SPECIES SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT AND THE JURISDICTION HAVING AUTHORITY PRIOR TO INSTALLATION.

**PROTECTION OF EXISTING PLANT MATERIALS TO REMAIN**

1. EXISTING TREES REQUIRED TO BE PRESERVED IN ROW AND/OR PRIVATE PROPERTY SHALL BE PROTECTED PER DETAIL AND SPECIFICATIONS. TREE PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND SHALL REMAIN AS APPROVED THROUGHOUT CONSTRUCTION. NO ACCESS, CONSTRUCTION ACTIVITIES OR STORAGE OF CONSTRUCTION MATERIALS/DEBRIS/EQUIPMENT SHALL TAKE PLACE WITHIN TREE PROTECTION ZONES OR OTHER LANDSCAPE TO REMAIN WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE ARCHITECT.
- STANDARD TREE PROTECTION NOTES:**
1. TREE PROTECTION SHALL BE:
    - a. INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
    - b. REMAIN IN PLACE AND AS APPROVED UNTIL SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE IS ISSUED.
  2. TREE PROTECTION REQUIREMENTS:
    - c. FURTHEST EXTENT OF TREE CANOPY, OR IS EQUAL TO EIGHTEEN INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT GREATEST HEIGHT (DBH = 4.5' ABOVE SOIL LINE), WHICHEVER IS GREATER.
    - d. THE LANDSCAPE ARCHITECT SHALL INSPECT AND APPROVE BOUNDARIES OF TREE PROTECTION ZONE(S) PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION ACTIVITIES.
    - e. ONCE TPZ IS IN PLACE, THE FOLLOWING ARE NOT PERMITTED WITHIN TPZ, ANY MANNER:
      - ENTRANCE AND/OR ACCESS MOVING, RESIZING, REMOVING, OR ALTERING IN ANY MANNER.
      - STORAGE OF MATERIALS/DEBRIS/EQUIPMENT.
      - CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO: ROTOTILLING, TRENCHING, GRADING, INSTALLATION OF UNDERGROUND UTILITIES AND/OR SITE IMPROVEMENTS, LANDSCAPING, IRRIGATION WORK.
    - f. IRRIGATION LINE WORK SHALL BE COMPLETED BY DIRECTIONAL BORE.
  3. "TREE PROTECTION ZONE" SIGNS SHALL BE POSTED BY AND SHALL BE MAINTAINED IN THE CONDITION IN WHICH THEY WERE INSTALLED UNTIL SUBSTANTIAL COMPLETION.
  4. EXISTING ROW OR PUBLIC PLACE TREES APPROVED FOR REMOVAL MUST BE REMOVED PRIOR TO TPZ REMOVAL BY THE LICENSED CONTRACTOR.
  5. CONTRACTOR TO VERIFY WITH AUTHORITY HAVING JURISDICTION (AHJ) IF TREE REMOVAL PERMITS ARE REQUIRED.
  6. CLEAR VISIBILITY INTO TPZ MUST BE MAINTAINED. ALL CONSTRUCTION BANNERS, SCREENS, BARRIERS, AND/OR SIGNS MUST BE SEMI-TRANSPARENT AND NOT IMPEDE INSPECTION OF THE AHJ.
  7. PROTECTED TREES SHALL BE DEEP-ROOT WATERED AT A MINIMUM INTERVAL OF ONCE EVERY TWO WEEKS WHEN TEMPERATURES ARE AT OR ABOVE 40-DEGREES F.
  8. INSECT AND DISEASE TREATMENTS SHALL BE APPLIED WHEN NECESSARY.

**A1 SHRUB PLANTING**  
N.T.S.

**A2 PERENNIAL PLANTING**  
N.T.S.

**OWNER**  
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**LANDSCAPE ARCHITECT**  
DAVIS PARTNERSHIP ARCHITECTS  
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CENTENNIAL, CO 80112  
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**AS DESIGN**  
ELECTRICAL ENGINEER  
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303.536.3179

**DAVIS PARTNERSHIP ARCHITECTS**

**SHEET NUMBER:**  
**10**  
10 of 21

**LANDSCAPE DETAILS AND NOTES**











MJR 2501

HIAWATHA GARDENS - MAJOR DEVELOPMENT PLAN

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829

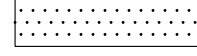
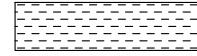
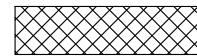
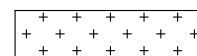
## IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	DETAIL NO.
	ELECTRIC CONTROLLER	1
	WEATHER SENSOR DEVICE	2
	PVC MAINLINE - 2-1/2" OR SMALLER	8
	PVC SLEEVING	9
	RP BACKFLOW PREVENTER	BY OTHERS
	QUICK COUPLING VALVE	6
	GATE VALVE	7
	FLOW SENSOR	4
	MASTER VALVE	5
	SUBMETER	3

## IRRIGATION DEVELOPMENT DESIGN NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN A SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 10:00 PM AND 4:00 AM.
2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
3. THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 10 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 80 PSI.
4. THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
5. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC AND INCLUDE A WEATHER SENSING DEVICE.

## IRRIGATION DESIGN STRATEGY

HATCH	DESCRIPTION	AREAS < 25'	AREAS > 25'
	TURF GRASS	6" POPUP SPRAY	6" ROTOR
	NATIVE GRASS	12" POPUP SPRAY	12" ROTOR
	TREES & SHRUBS	POINT SOURCE DRIP	POINT SOURCE DRIP
	RAIN GARDEN	12" POPUP SPRAY	12" ROTOR

\*SELECTION OF POINT SOURCE DRIP OR INLINE SUBSURFACE DRIP MAY BE DETERMINED BY PLANT DENSITY, GROWTH HABIT OR LOCATION RATHER THAN AREA DIMENSIONS.



Know what's below.  
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CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU  
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719.433.6501

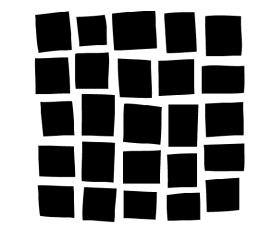
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DENVER, CO 80205  
303.881.8555

GENERAL CONTRACTOR  
FRANSEN PETERSON CONSTRUCTION  
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720.724.6900

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LAKESIDE, CO 80119  
720.544.5348

ELECTRICAL ENGINEER  
AS DESIGN  
1601 FINCH STREET  
DENVER, CO 80202  
303.296.3379



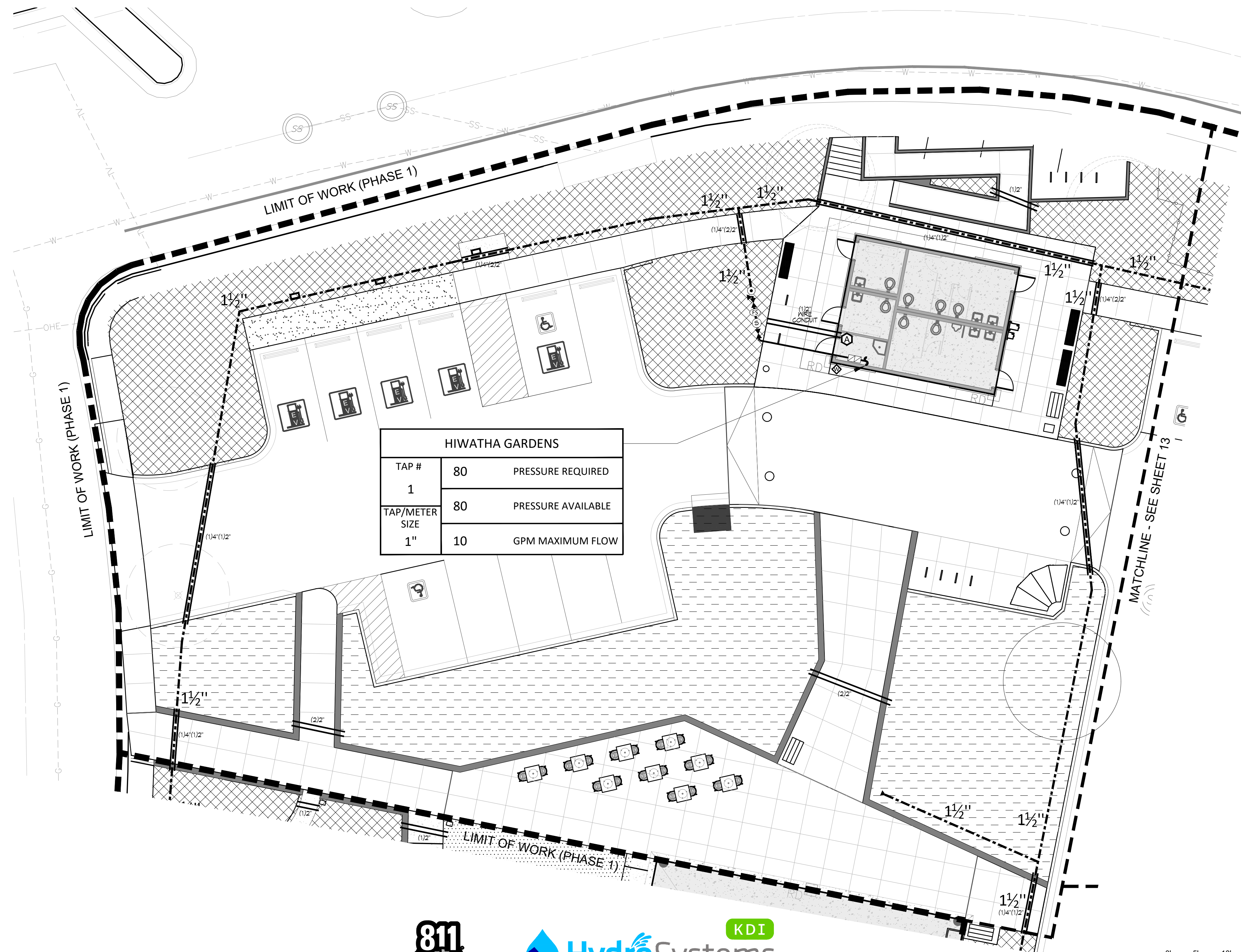
DAVIS  
PARTNERSHIP  
ARCHITECTS

IRRIGATION NOTES & SCHEDULE

SHEET NUMBER:  
**11**  
11 of 21

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



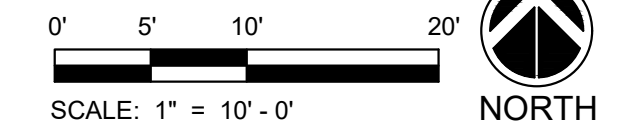
HIWATHA GARDENS		
TAP #	80	PRESSURE REQUIRED
1		
TAP/METER SIZE	80	PRESSURE AVAILABLE
1"	10	GPM MAXIMUM FLOW



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955 E. ANGLIMON CT  
CENTENNIAL, CO 80112  
720.724.6900

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LAKWOOD, CO 80401  
720.544.5346

ELECTRICAL ENGINEER  
1601 FINCH STREET  
DENVER, CO 80202  
303.296.3379



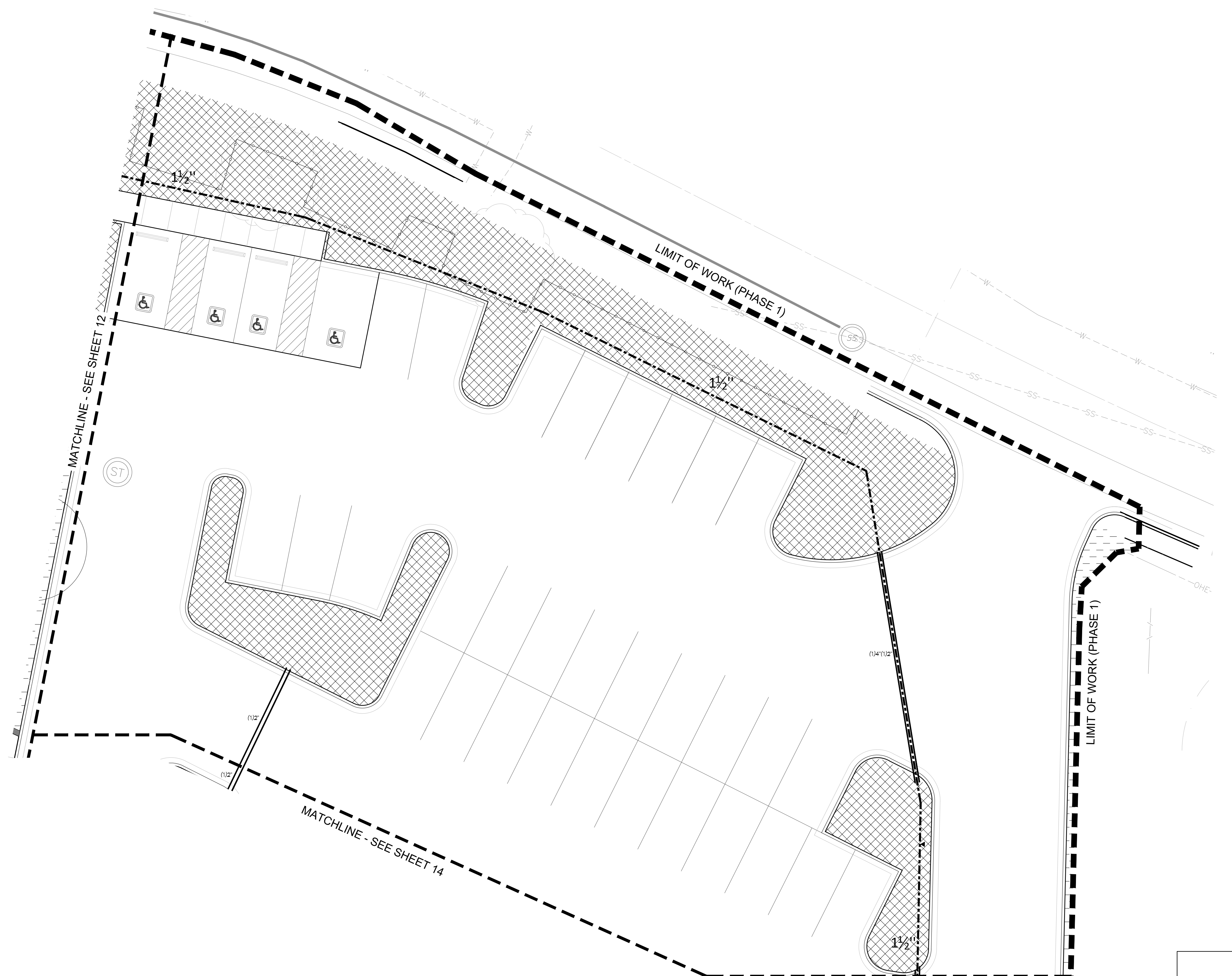
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PARTNERSHIP  
ARCHITECTS

IRRIGATION PLAN (PH. 1)

SHEET NUMBER:  
**12**  
12 of 21

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



MATCHLINE - SEE SHEET 12

MATCHLINE - SEE SHEET 14

LIMIT OF WORK (PHASE 1)

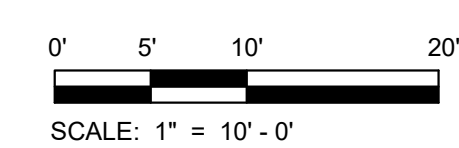
LIMIT OF WORK (PHASE 1)



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720.724.6960

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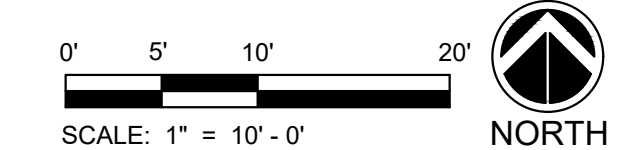
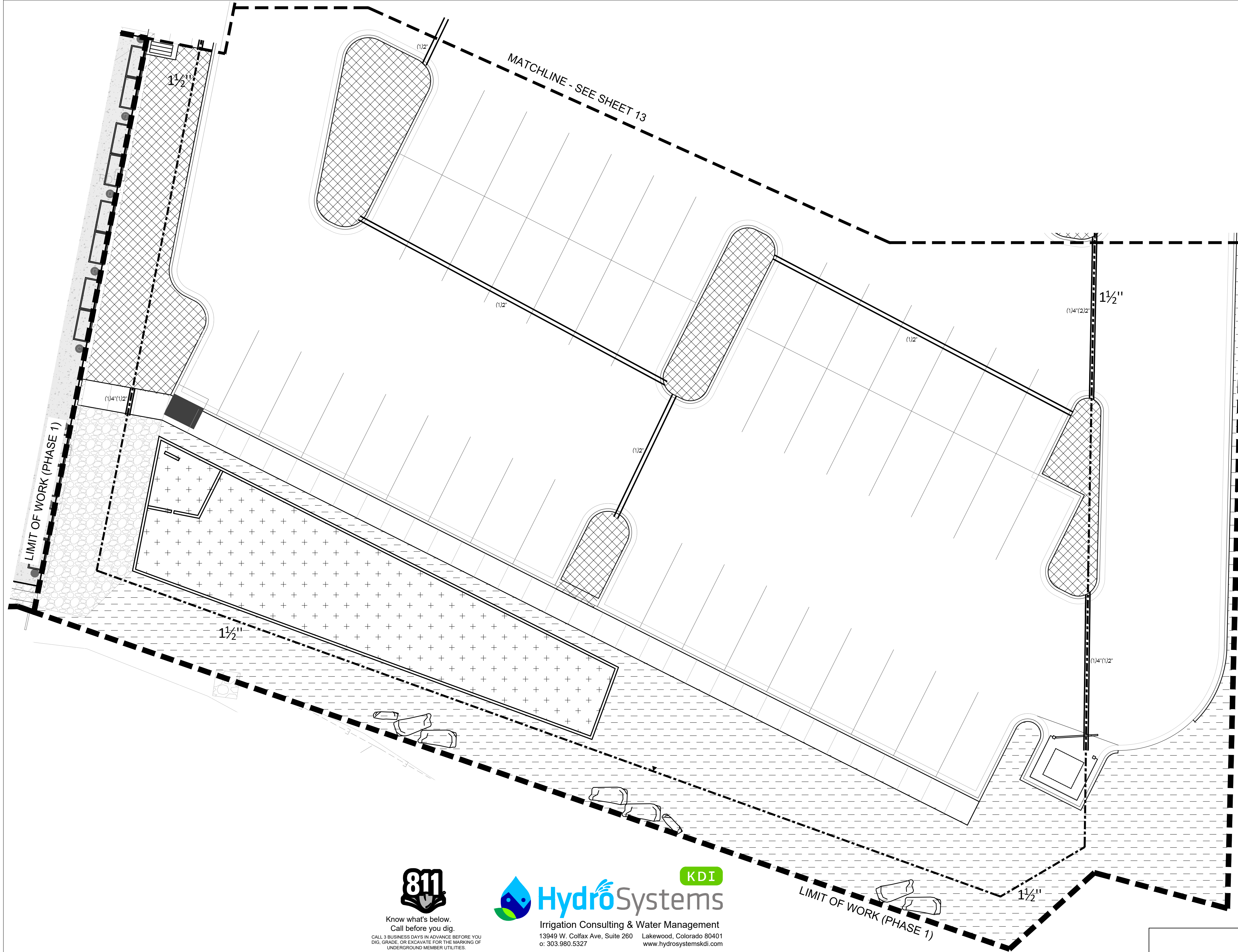
**DAVIS  
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ARCHITECTS**

**IRRIGATION PLAN (PH. 1)**

SHEET NUMBER:  
**13**  
13 of 21

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



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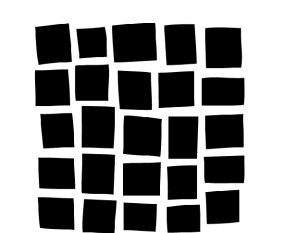
**ARCHITECT**  
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**GENERAL CONTRACTOR**  
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SHEET NUMBER:  
**14**  
14 of 21

**IRRIGATION PLAN (PH. 1)**



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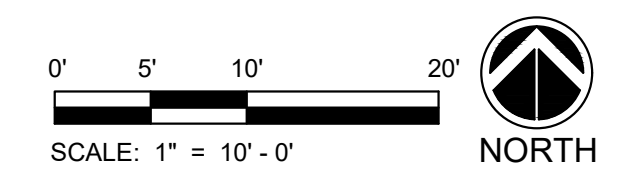
# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



**811**  
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DENVER, CO 80202  
303.296.3379

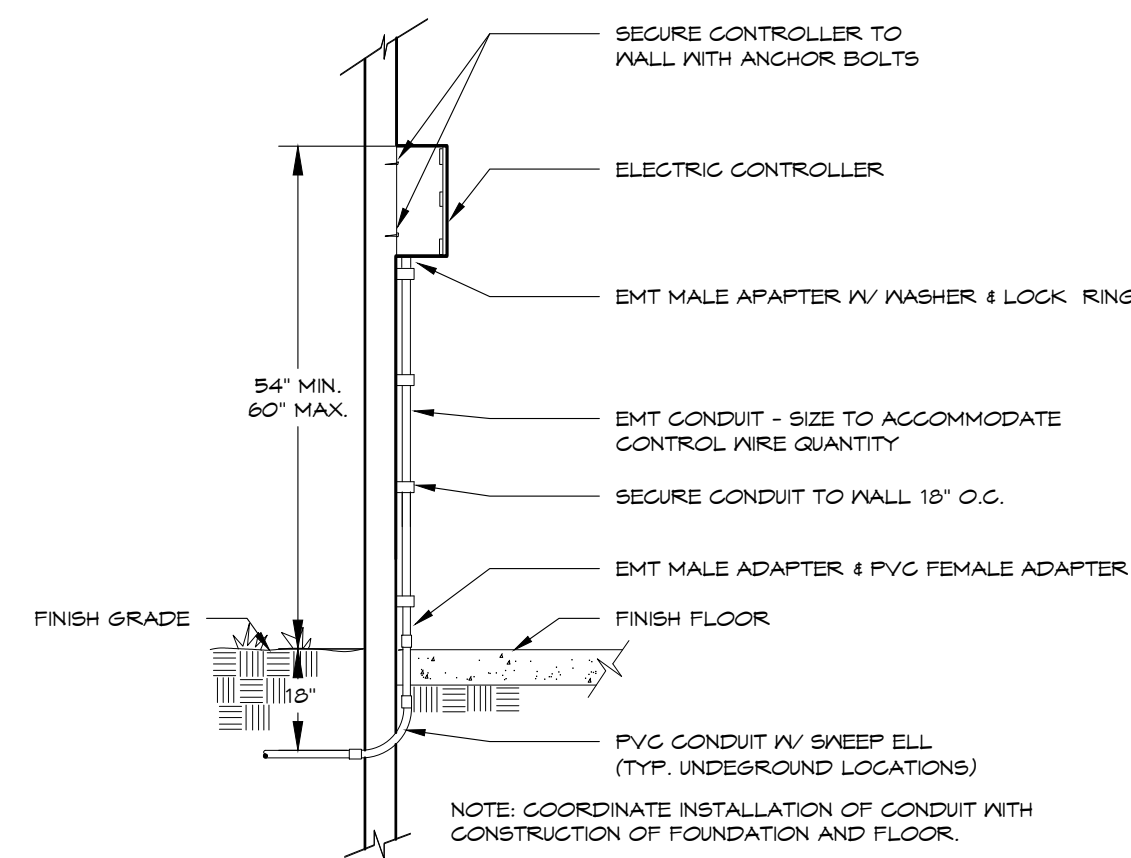


**IRRIGATION PLAN (PH. 2)**

SHEET NUMBER:  
**15**  
15 of 21

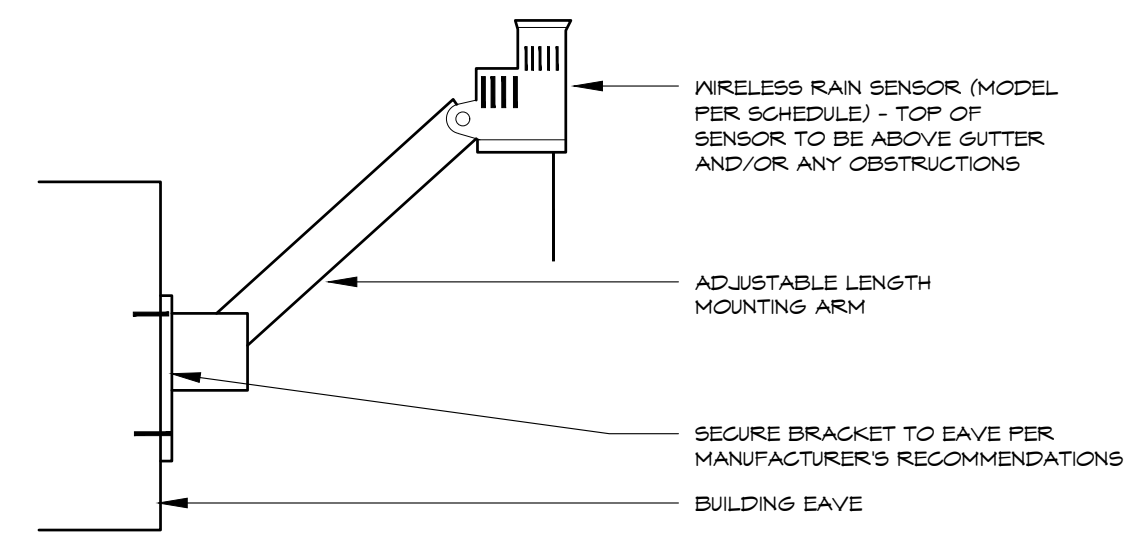
# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



**ELECTRIC CONTROLLER**  
INTERIOR WALL MOUNT - FLOOR PENETRATING

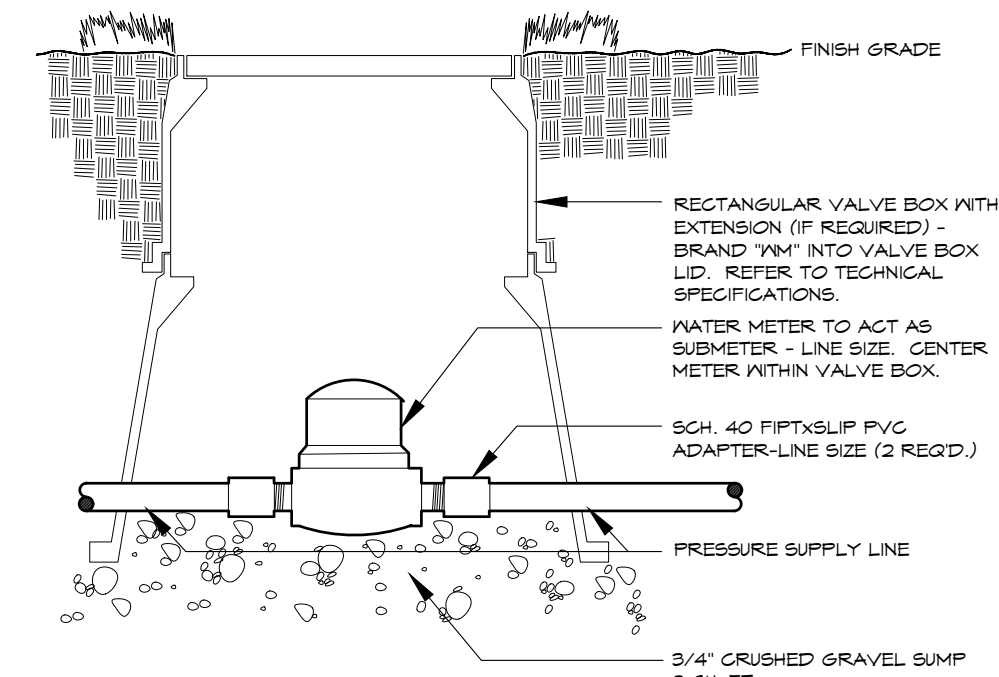
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NOTE: MOUNT SENSOR RECEIVER PER CONTROLLER DETAIL.

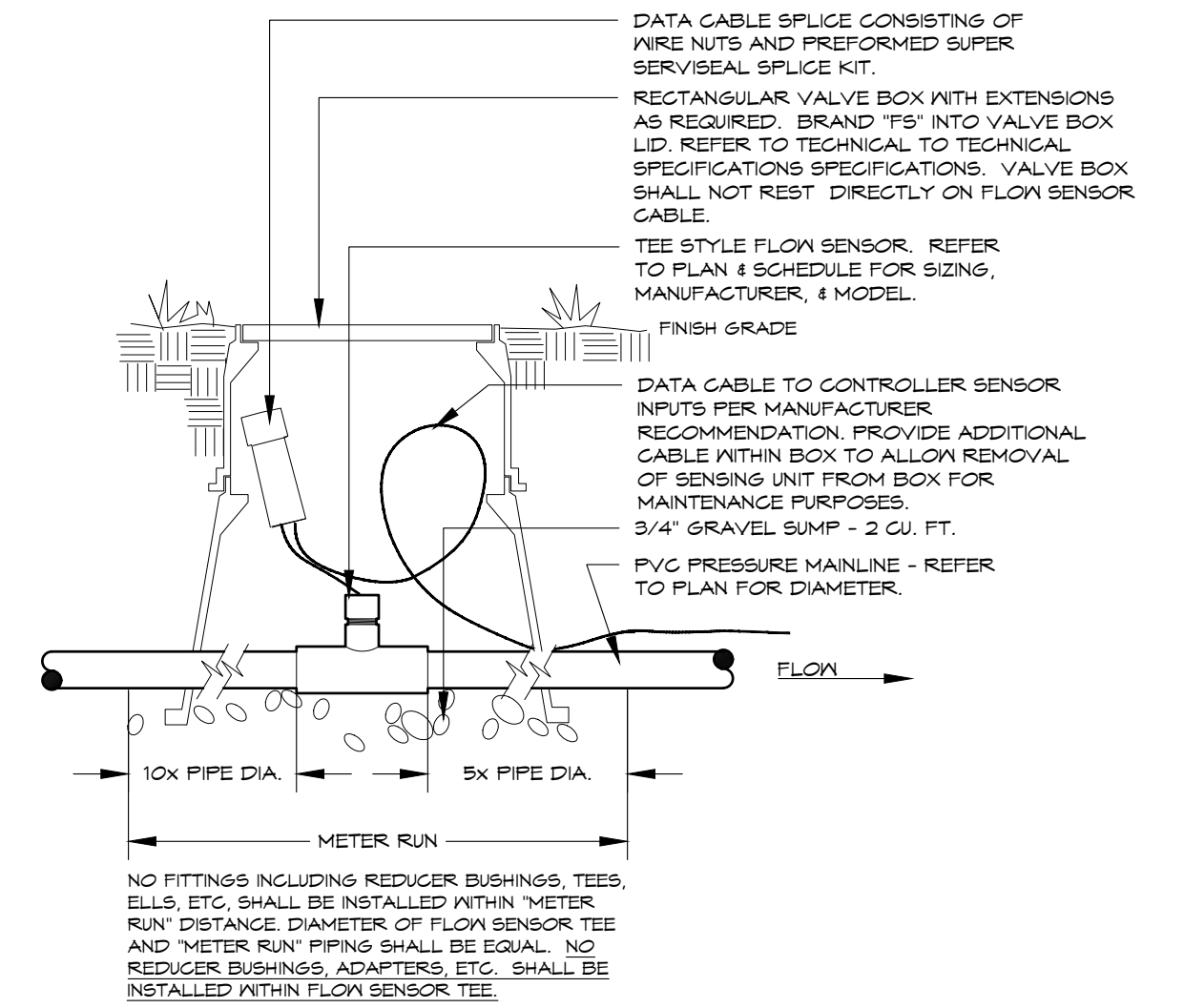
**WEATHER SENSOR**  
EAVE MOUNTED - Wireless

2



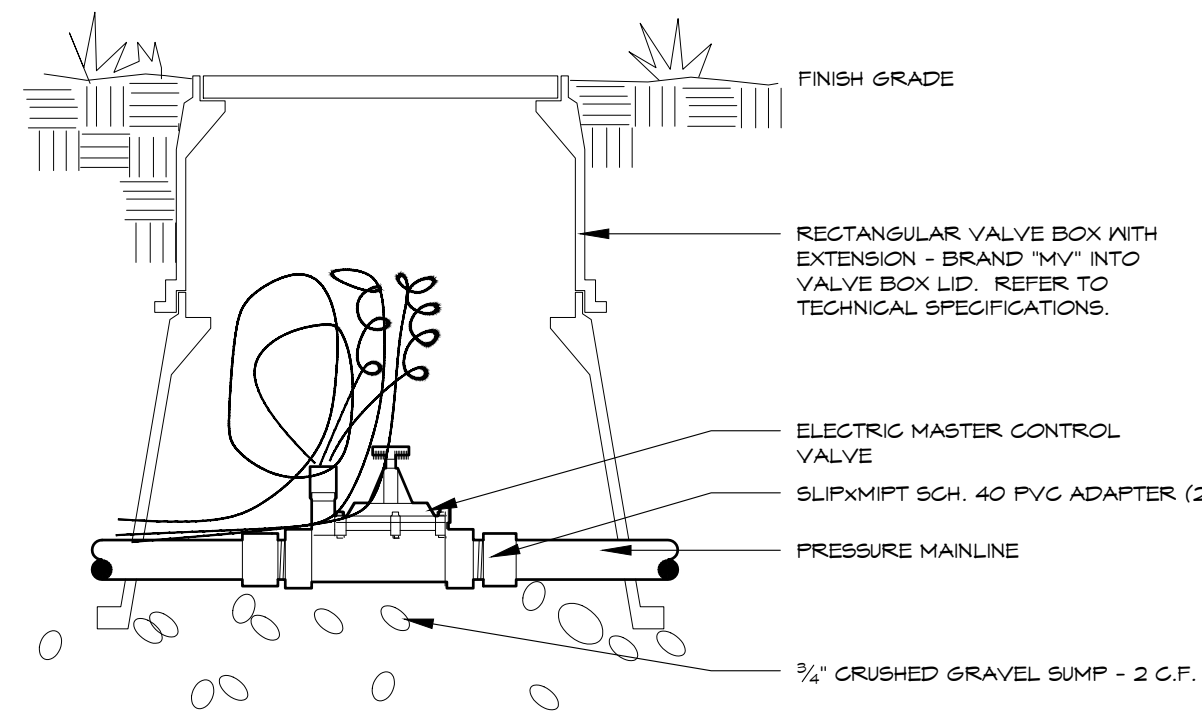
**SUBMETER**

3



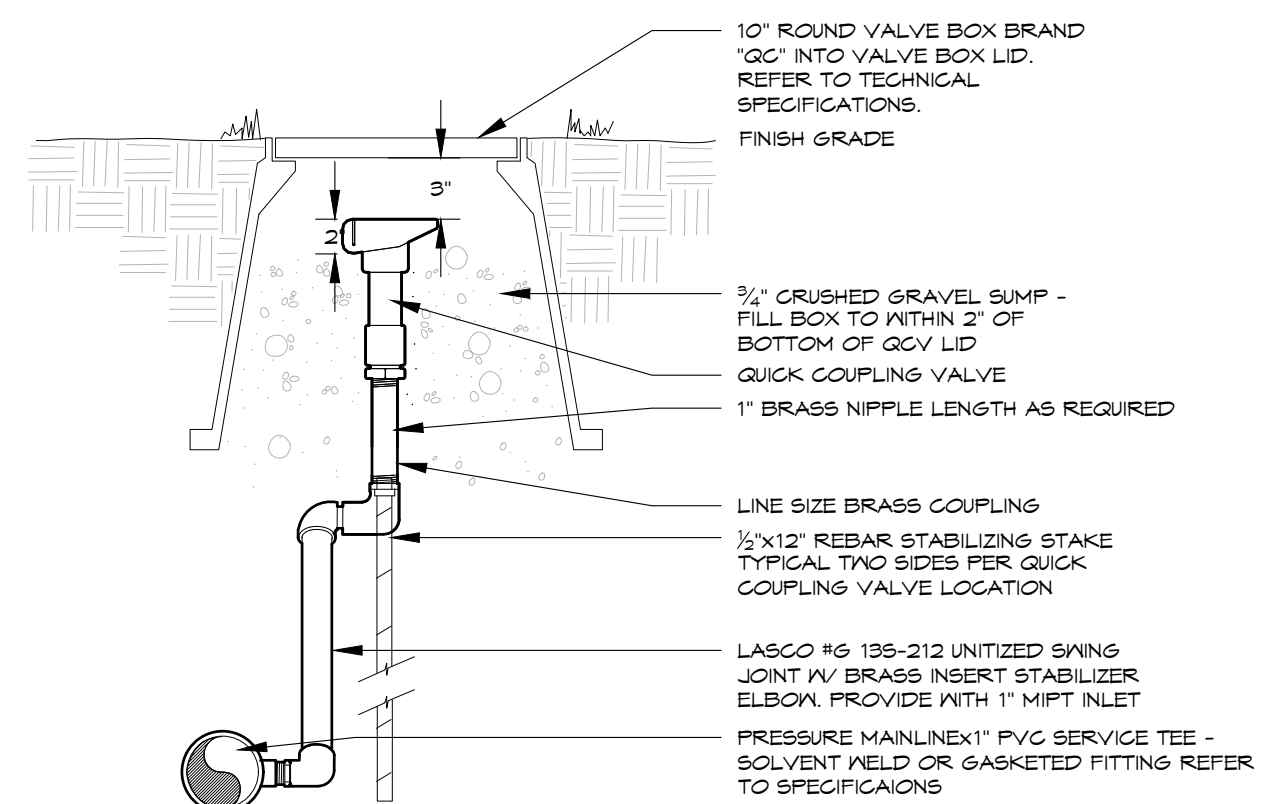
**FLOW SENSOR**  
VIA DATA CABLE - TEE STYLE

4



**MASTER VALVE**  
24V - Small - Typical

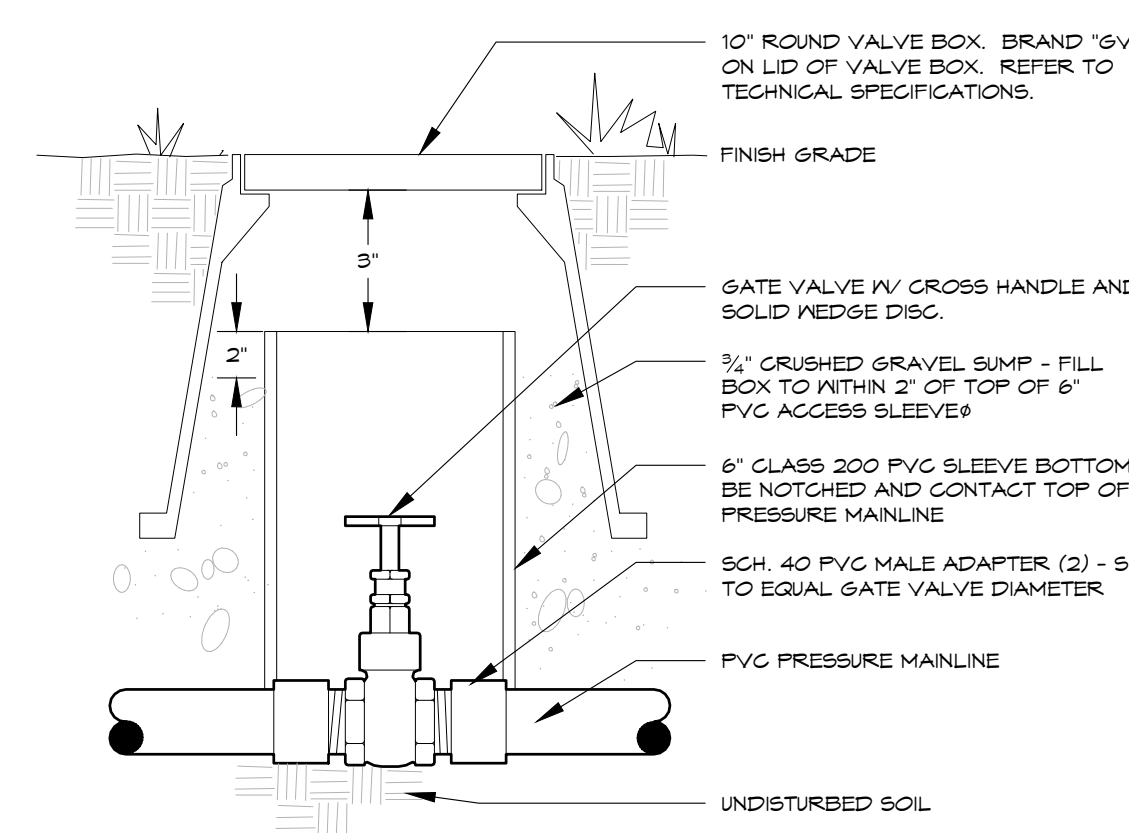
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APPLY TEFLON TAPE TO ALL THREADED NIPPLES

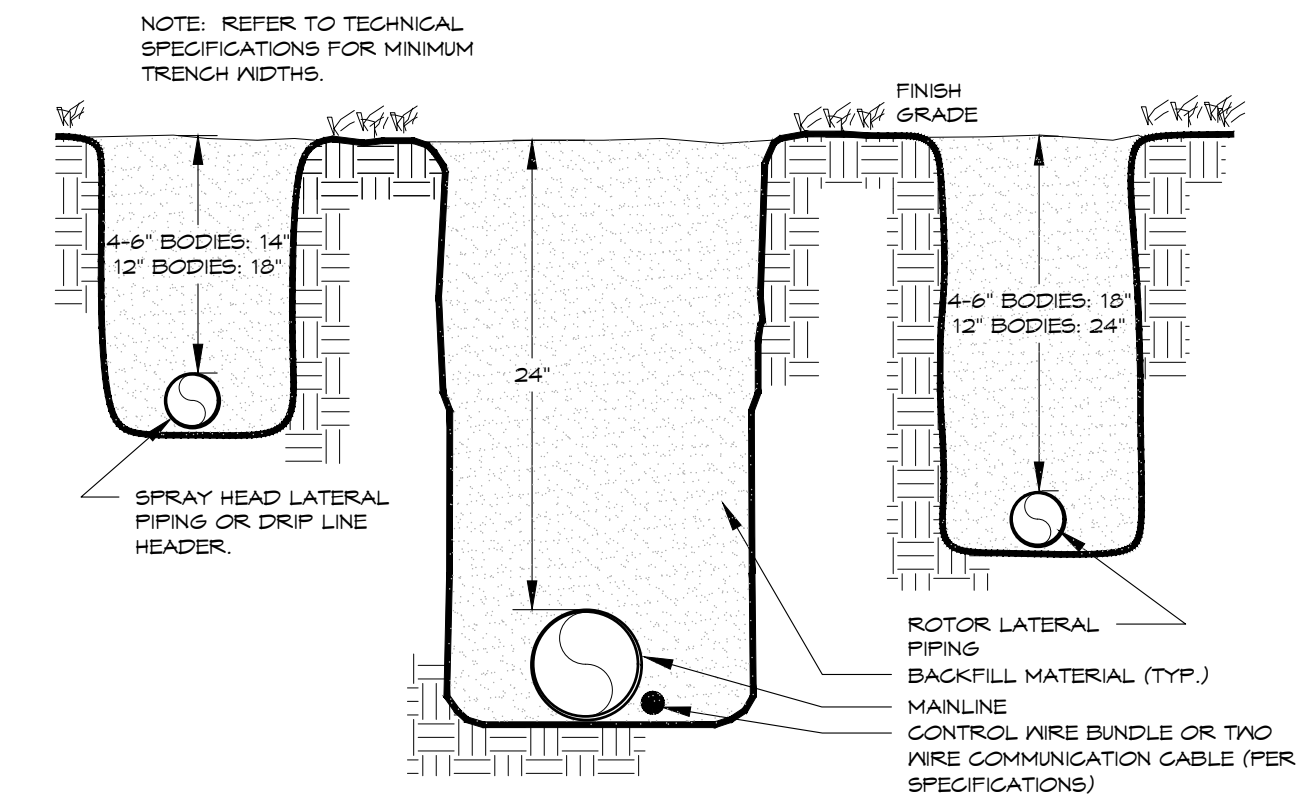
**QUICK COUPLING VALVE**  
LASCOSWING - TYPICAL

6



**GATE VALVE**  
2.5" & SMALLER - X-HANDLE

7



**TRENCH**  
24" MAINLINE

8



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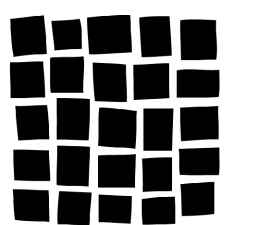
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MARK MARTIN ENGINEERS  
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720.544.5348

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AS DESIGN  
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DENVER, CO 80202  
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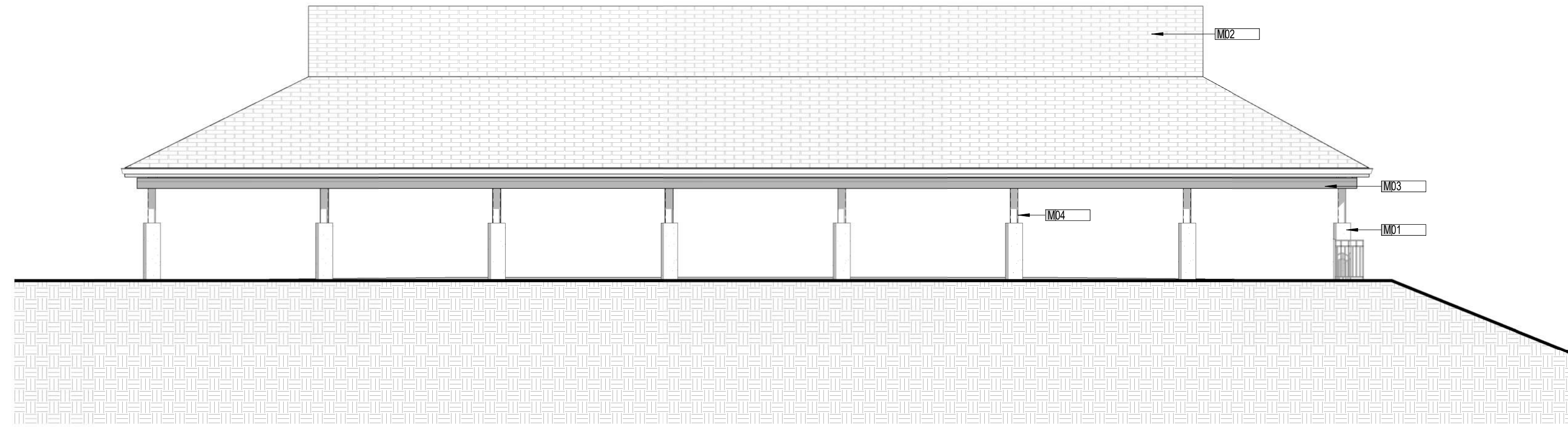
**DAVIS  
PARTNERSHIP  
ARCHITECTS**

**IRRIGATION DETAILS**

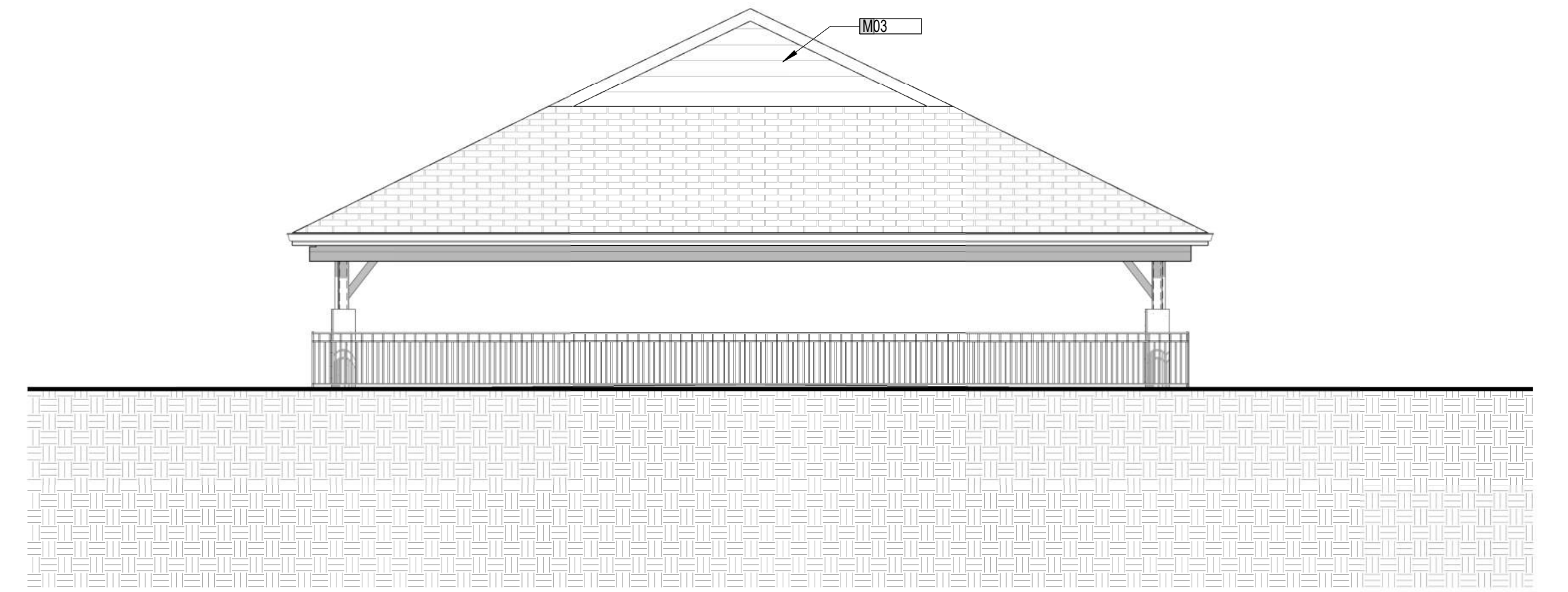
SHEET NUMBER:  
**16**  
16 of 21

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

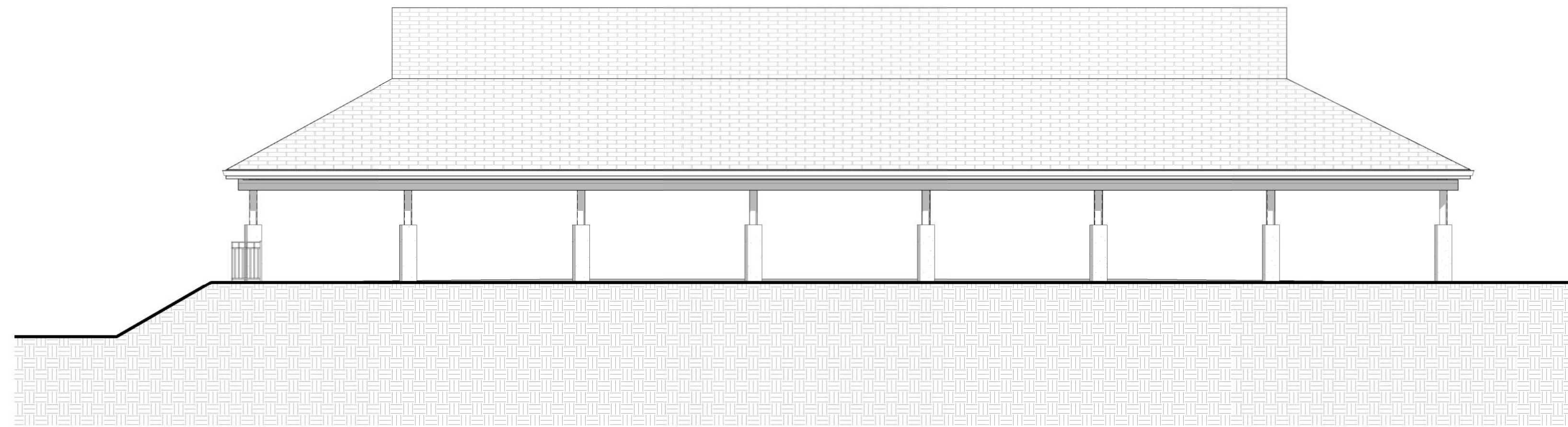
10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829



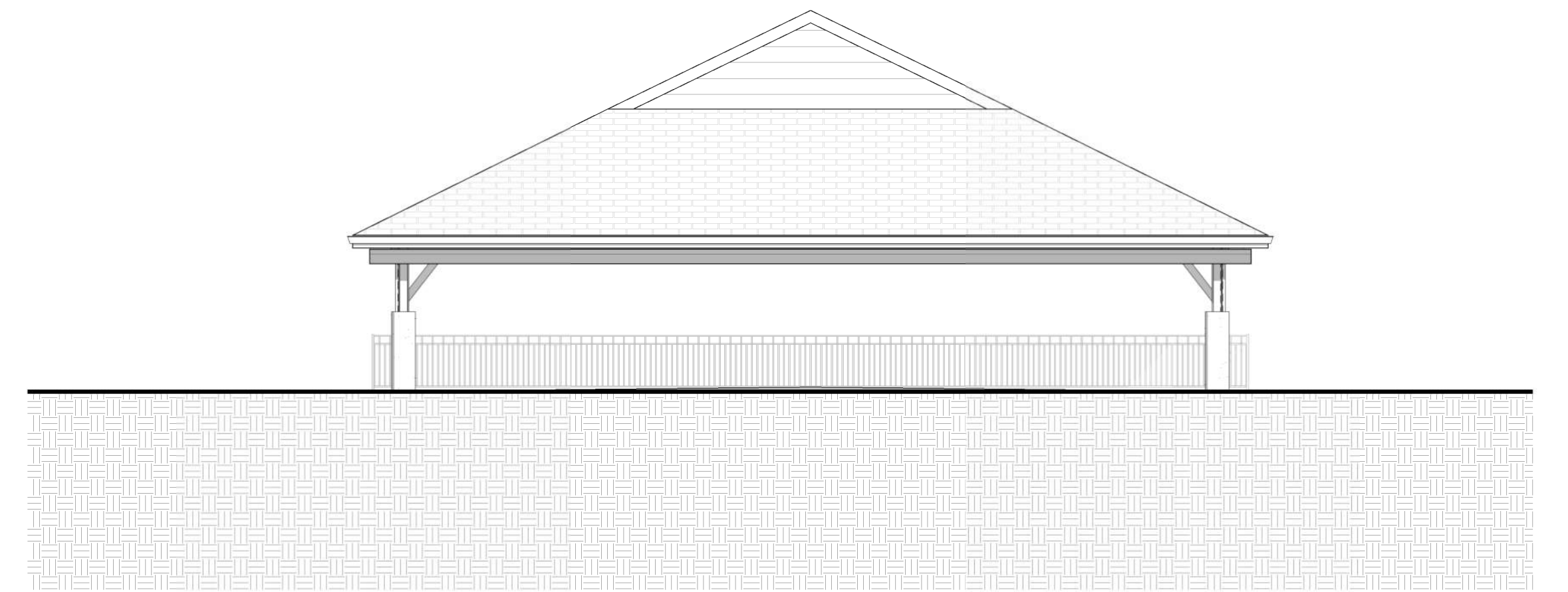
4 PAVILION - WEST ELEVATION  
1/8" = 1'-0"



3 PAVILION - SOUTH ELEVATION  
1/8" = 1'-0"



1 PAVILION - EAST ELEVATION  
1/8" = 1'-0"



2 PAVILION - NORTH ELEVATION  
1/8" = 1'-0"

KEYNOTE LEGEND (PER SHEET)	
M01	INTEGRAL RED CONCRETE
M02	SHINGLES
M03	WOOD SIDING
M04	EXISTING QUEEN TRUSSES, WOOD COLUMNS & KICKERS TO BE SANDED AND STAINED.



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DENVER, CO 80202  
303.861.8200

LANDSCAPE ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
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DENVER, CO 80202  
303.861.8200

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A.E. DESIGN  
1601 THREE STREET  
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**DAVIS PARTNERSHIP ARCHITECTS**

SHEET NUMBER:  
**17**  
17 of 21

**BUILDING ELEVATIONS**

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829

KEYNOTE LEGEND (PER SHEET)	
M02	SHINGLES
M06	STONE
M07	STUCCO
M08	LUMBER TO BE STAINED
M09	METAL RODS TO BE PAINTED BLACK



LaHabra STUCCO BY SIKA  
COLOR: P-6 EL DORADO

SHERWIN-WILLIAMS STAIN  
SW 3504 WOODRIDGE

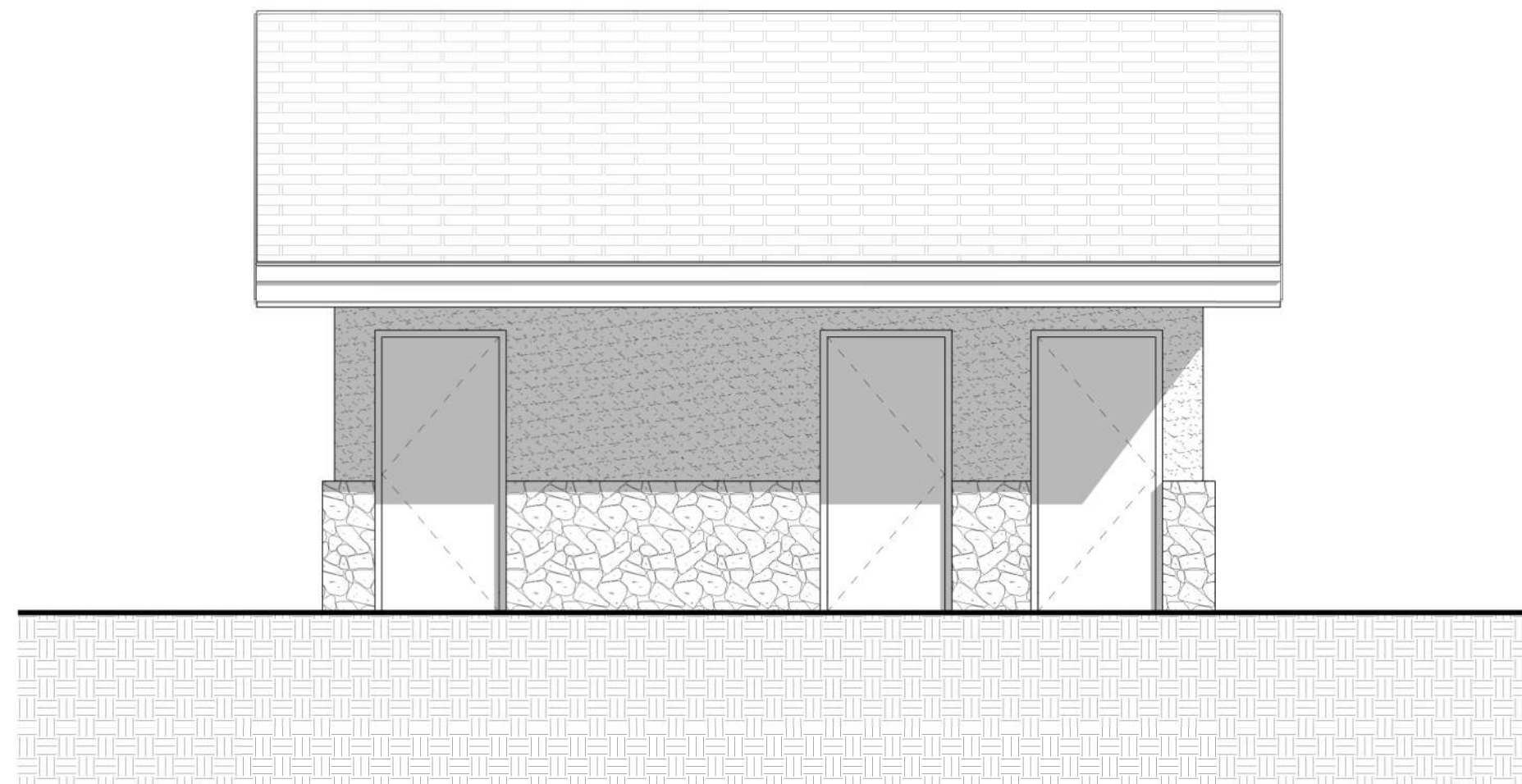
SANDSTONE  
COLOR: LYONS RED



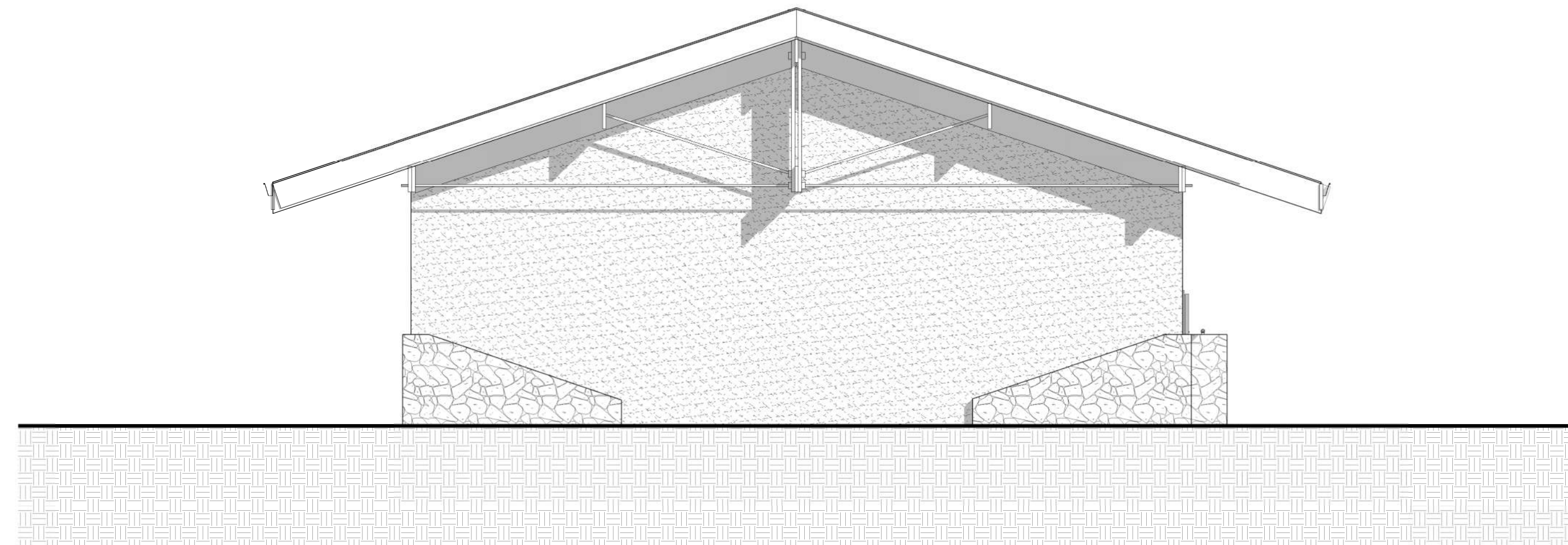
1x6 TONGUE AND GROOVE  
BEETLE KILL BLUE STAIN PINE  
RESTROOM SOFFIT

TRUDEFINITION DURATION STORM  
SHINGLES - DRIFTWOOD

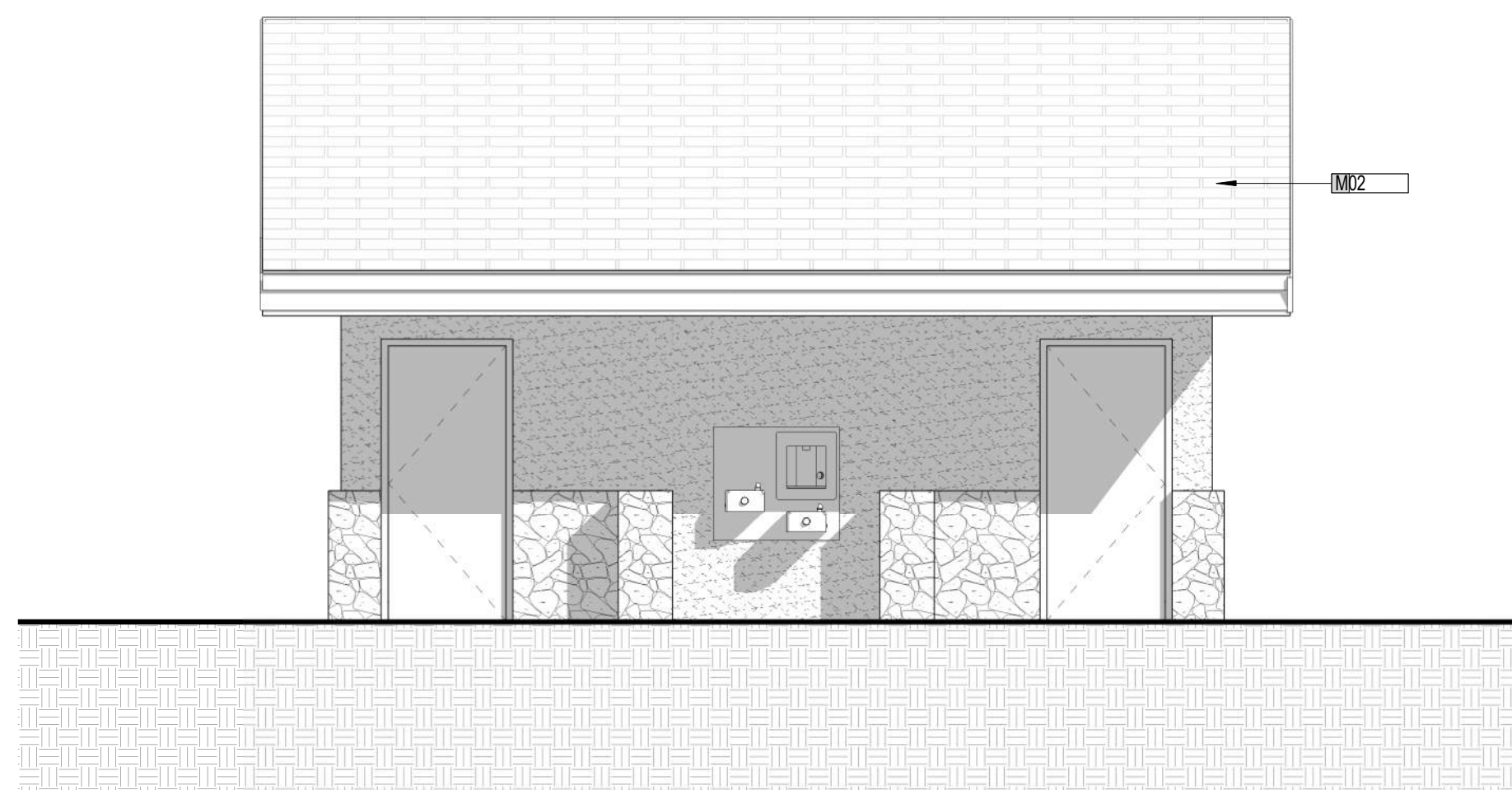
SHERWIN-WILLIAMS  
SW 7069 IRON ORE  
METAL TRIM & RODS



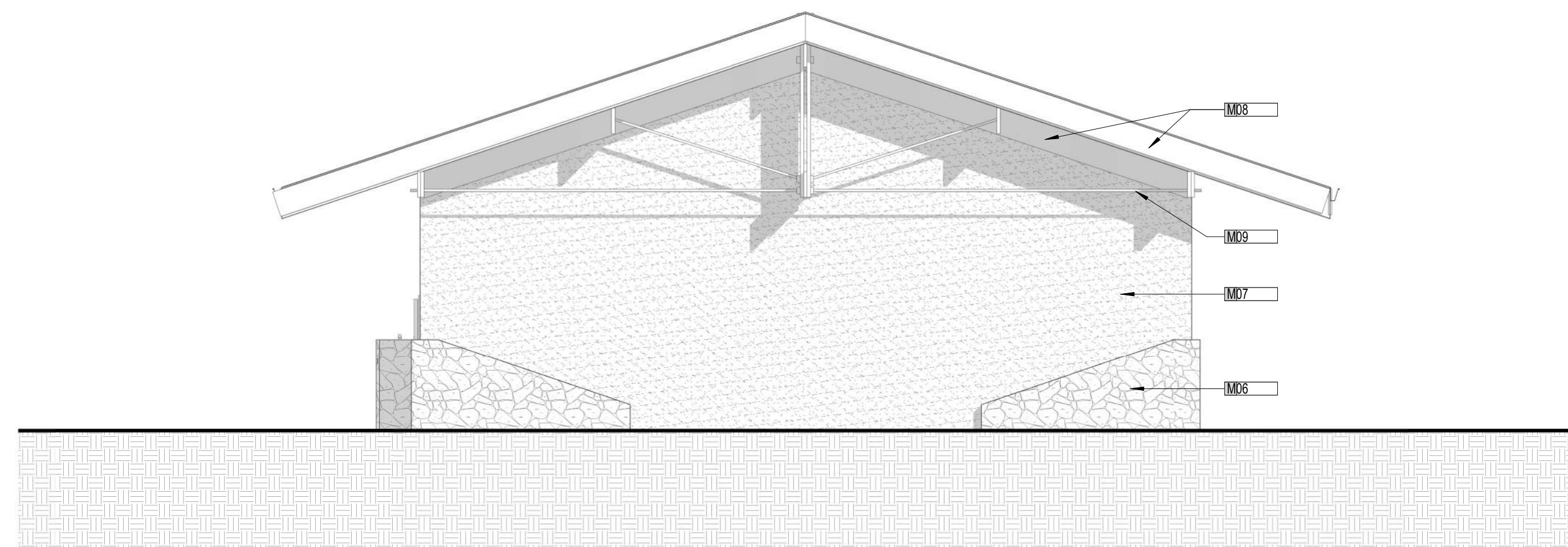
4 RESTROOM - WEST ELEVATION  
1/4" = 1'-0"



3 RESTROOM - SOUTH ELEVATION  
1/4" = 1'-0"



1 RESTROOM - EAST ELEVATION  
1/4" = 1'-0"



2 RESTROOM - NORTH ELEVATION  
1/4" = 1'-0"

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MANITOU SPRINGS, CO 80829  
719.683.6961

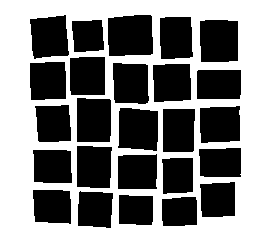
ARCHITECT  
DAVIS PARTNERSHIP ARCHITECTS  
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DENVER, CO 80202  
303.861.8200

GENERAL CONTRACTOR  
FRANKEN PITMAN CONSTRUCTION  
5905 S KINGSTON CT  
CENTENNIAL, CO 80112  
703.524.0000

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ACE DESIGN  
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SHEET NUMBER:  
**18**  
18 of 21

**BUILDING ELEVATIONS**

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829

## GENERAL NOTES

- THE PHOTOMETRIC GRID IS NO GREATER THAN TEN (10) FEET BY TEN (10) FEET AND PROVIDES LIGHTING LEVELS AT GRADE AND DIRECTLY UNDER THE FIXTURES.
- ILLUMINANCE VALUES SHOWN SHOULD BE CONSIDERED INITIAL USING A LIGHT LOSS FACTOR OF 1.0.
- ILLUMINANCE VALUES SHOWN HERE REPRESENT LIGHTING FROM LUMINAIRES SHOWN EXPLICITLY ON THIS DRAWING.
- REFER TO LIGHTING FIXTURE SCHEDULE FOR MOUNTING HEIGHT.
- ALL LIGHTING FIXTURES SHALL BE INSTALLED SO THAT LIGHT TRESPASS FROM ANY PROPERTY LINE. EXPECT A PROPERTY LINE ADJACENT TO A PUBLIC STREET, SHALL NOT EXCEED (1) FOOTCANDLE AT THE PROPERTY LINE.
- ALL LIGHTING FIXTURES SHALL BE INSTALLED SO AS NOT TO CAUSE GLARE AT OR BEYOND THE PROPERTY LINE AND SHALL NOT BE AIMED TOWARD TRAFFIC.
- ALL LIGHTING FIXTURES EXCEPT MOTION DETECTOR-ACTIVATED LIGHTING SHALL BE FULLY SHIELDED SO THAT THE LIGHTING ELEMENT IS NOT VISIBLE TO AN OBSERVER AT ANY PROPERTY LINE, EXCEPT AS STATED OTHERWISE IN PART 7.4.12.
- UNLESS OTHERWISE SPECIFIED, ALL LIGHTING FIXTURES SHALL BE FULL CUTOFF TYPE AS INSTALLED.
- ALL EXTERIOR LIGHT FIXTURES SHALL GENERATE AT LEAST EIGHTY (80) LUMENS PER WATT OF ENERGY CONSUMED, AS SHOWN ON THE MANUFACTURER'S SPECIFICATIONS FOR THE LIGHT FIXTURE.
- MAXIMUM OF 10FC IS PERMITTED ON THIS PROPERTY.
- MINIMUM DISTANCE OF 10FT SHALL EXIST BETWEEN ALL TREE PLANTINGS AND LIGHT POLES.

## LIGHTING FIXTURES

- A1<sub>s</sub> LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES. SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH OR RELAY/ZONE CONTROL.
- WALL MOUNTED LUMINAIRE
  - DOWNLIGHT LUMINAIRE
  - LED TAPE LUMINAIRE
  - FESTOON LIGHTING
  - STEP LIGHT TYPE LUMINAIRE
  - IN-GRADE UPLIGHT
  - BOLLARD
  - PEDESTRIAN POLE OR POST TOP LUMINAIRE
  - EXTERIOR AREA LIGHT

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE	ILLUMINANCE	Fc	0.55	9.7	0.0	N.A.	N.A.
PROPERTY LINE	ILLUMINANCE	Fc	0.07	0.9	0.0	N.A.	N.A.
PROPERTY LINE +20FT	ILLUMINANCE	Fc	0.00	0.1	0.0	N.A.	N.A.
PARKING	ILLUMINANCE	Fc	1.63	8.9	0.0	N.A.	N.A.
PAVILION	ILLUMINANCE	Fc	7.06	9.7	2.1	3.36	4.62



1 | PHOTOMETRIC SITE PLAN

19 | SCALE: 1"=20'

**AE DESIGN**

Integrated Lighting, Technology, and Electrical Solutions  
1900 Wabsee Street #205 | Denver, CO 80202 | 303.296.3034  
aedesign-inc.com Project # 6993.00



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DAVIS  
PARTNERSHIP  
ARCHITECTS

SHEET NUMBER:

19

PHOTOMETRIC PLAN 19 of 21

# HIAWATHA GARDENS MAJOR DEVELOPMENT PLAN

10 OLD MANS TRAIL  
MANITOU SPRINGS, 80829

LIGHTING FIXTURE SCHEDULE															
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP QTY	MAX WATTS	TYPE	CCT	CRI	LUMEN OUTPUT	FIXTURE FINISH	DIMMING	MOUNTING LOCATION	BOF/RFD/OFH	NOTES
EA1a	EXTERIOR LED AREA POLE LIGHT, 90 DEGREE ANGULAR ARM, SINGLE HEAD TYPE III, PT3 OUTPUT, 16'-0 POLE, DARK SKY COMPLIANT	LIGMAN	LI-21171-T3-W30	120	1	54	LED	3000K	80	4873		0-10V / 10%			
EA1b	EXTERIOR LED AREA POLE LIGHT, 90 DEGREE ANGULAR ARM, SINGLE HEAD TYPE IV, PT3 OUTPUT, 16'-0 POLE, DARK SKY COMPLIANT	LIGMAN	LI-21171-T4-W30	120	1	53.8	LED	3000K	80	4983		0-10V / 10%			
EA2a	EXTERIOR LED AREA POLE LIGHT, 90 DEGREE ANGULAR ARM, DOUBLE HEAD TYPE III, PT3 OUTPUT, 16'-0 POLE, DERATED TO 80% OUTPUT, DARK SKY COMPLIANT	LIGMAN	LI-21181-T3-W30	120	1	54	LED	3000K	80	4873		0-10V / 10%			
EA2b	EXTERIOR LED AREA POLE LIGHT, 90 DEGREE ANGULAR ARM, DOUBLE HEAD TYPE IV, PT3 OUTPUT, 16'-0 POLE, DERATED TO 80% OUTPUT, DARK SKY COMPLIANT	LIGMAN	LI-21173-T4-W30	120	1	79.9	LED	3000K	80	6721		0-10V / 10%			
EB1a	40 INCH TALL EXTERIOR ILLUMINATED BOLLARD, TYPE II DISTRIBUTION, VANDAL RESISTANT	LIGMAN	LI-10021-T2-W30	120	1	29.2	LED	3000K	80	2240		0-10V / 10%			
EB1b	40 INCH TALL EXTERIOR ILLUMINATED BOLLARD, TYPE III DISTRIBUTION, VANDAL RESISTANT	LIGMAN	LI-10021-T3-W30	120	1	29.1	LED	3000K	80	2203		0-10V / 10%			
EB1c	40 INCH TALL EXTERIOR ILLUMINATED BOLLARD, TYPE IV DISTRIBUTION, VANDAL RESISTANT	LIGMAN	LI-10021-T4-W30	120	1	29.2	LED	3000K	80	2232		0-10V / 10%			
EL1	EXTERIOR LED TAPELIGHT IN SURFACE MOUNTED CHANNEL WITH FROSTED LENS, 6.0W/FT, WET RATED, SEE LENGTH ON PLAN, REMOTE DRIVER	Q-Tran	VV3SW-6.0HE-30-ENC-STD-TL-[WIRING]-SST-[FINISH]-[SEE LENGTH ON PLAN]-O	120	1	6	LED	3000K	90	326		0-10V / 10%			
EW1	EXTERIOR COLUMN SURFACE MOUNTED WALL SCONCE, SQUARE CYLINDER BODY, DERATED TO 70% OUTPUT, 24 DEGREE DISTRIBUTION, J-BOX COVER	LIGMAN	JE-30371-N-8030	120	1	13.7	LED	3000K	80	1132		0-10V / 10%			

## LUMINAIRE SCHEDULE NOTES

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AG) - ABOVE FINISHED FLOOR (GRADE), WFD - WALL FIXTURE DEPTH

GENERAL NOTES:

- ALL LED LAMPS AND/OR FIXTURES SHALL BE 3000K COLOR TEMPERATURE AND A MINIMUM OF 82CRI, UON.
- ALL REFLECTOR LAMPS SHALL BE PROVIDED AS WIDE FLOOD DISTRIBUTION, UON.
- PROVIDE LUMINAIRES SHOWN AS SHADED WITH FACTORY INSTALLED 90 MINUTE EMERGENCY BATTERY OR OTHER REMOTE POWER SOURCE, UON. EMERGENCY LUMINAIRES SHALL SENSE UN-SWITCHED POWER TO THE SPACE AND OPERATE AUTOMATICALLY UPON LOSS OF NORMAL POWER. ALL EMERGENCY LUMINAIRES SHALL HAVE AN INTEGRAL TEST SWITCH AND VISIBLE INDICATOR LIGHT. CONNECT THE EMERGENCY BATTERY TO THE UN-SWITCHED LEG OF THE LIGHTING CIRCUIT INDICATED.
- LUMENS LISTED ARE DELIVERED LUMENS, NOT INITIAL.
- FOR ALL SPECIFIED LUMINAIRES, THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MOUNTING HARDWARE, ACCESSORIES, COMPONENTS, LEADER/JUMPER CABLES, WIRE FEED, CONNECTORS, END CAPS, REMOTE POWER SUPPLIES, AND ANY OTHER NECESSARY COMPONENT AS REQUIRED FOR INSTALLING A SECURE AND FULLY FUNCTIONAL SYSTEM.
- THE CONTRACTOR SHALL VERIFY THE CEILING TYPE BEFORE ORDERING LIGHT FIXTURES TO ENSURE COMPATIBILITY WITH SPECIFIED FIXTURES. NOTIFY SPECIFIER OF ANY DISCREPANCIES.
- ALL FINISH SELECTIONS SHALL BE VERIFIED BY ARCHITECT/INTERIOR DESIGNER/OWNER AS PART OF THE SUBMITTAL PROCESS. UNLESS OTHERWISE NOTED, EC SHALL ASSUME STANDARD LUMINAIRE FINISH OPTION FOR PRICING.
- EC SHALL VERIFY ALL FIXTURE MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY ROUGH-IN.
- TYPICAL FOR ALL LIGHT FIXTURES WITH DESIGNATION STARTING WITH 'M': FIXTURES ARE SHOWN FOR REFERENCE ONLY. FIXTURE SELECTIONS AND SPECIFICATIONS SHALL BE PROVIDED BY THE ARCHITECT AND/OR INTERIOR DESIGNER. EC SHALL COORDINATE EXACT MOUNTING LOCATION, MOUNTING HEIGHT, WATTAGE, AND DIMMING PROTOCOL WITH ARCHITECT / INTERIOR DESIGNER, LIGHTING CONSULTANT, AND/OR ELECTRICAL ENGINEER PRIOR TO INSTALL.
- REMOTE DRIVER(S)/TRANSFORMER(S) SHALL BE LOCATED IN A CONCEALED, ACCESSIBLE, AND VENTILATED LOCATION AS PROPOSED BY THE EC AND APPROVED BY THE ARCHITECT. REFER TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MINIMUM REQUIRED CLEARANCES FROM ADJACENT MATERIALS, AND WIRING REQUIREMENTS TO PREVENT VOLTAGE DROP. DO NOT EXCEED MANUFACTURER'S RECOMMENDATIONS REGARDING WIRE GAGE AND MAXIMUM WIRE RUN LENGTHS.
- FOR LUMINAIRES SPECIFIED WITH 0-10V DIMMING, 0-10V DIMMING DRIVER(S) REQUIRE ADDITIONAL LOW VOLTAGE CONTROL WIRES IN ADDITION TO STANDARD WIRING FOR POWER.
- EXTERIOR LUMINAIRES SHALL BE COLD WEATHER RATED FOR 0 DEG. F / -18 DEG. C., AND RATED FOR OUTDOOR USE.

SPECIFIC NOTES:

- 

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE	Illuminance	Fc	0.55	9.7	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.07	0.9	0.0	N.A.	N.A.
PROPERTY LINE +20FT	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.
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PAVILION	Illuminance	Fc	7.06	9.7	2.1	3.36	4.62

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**LIGHTING CUTSHEETS** 20 of 21

SHEET NUMBER:  
**20**



# Hiawatha Gardens Ecological Characterization Study Manitou Springs El Paso County, Colorado

***On Behalf of:***

City of Manitou Springs  
606 Manitou Avenue  
Manitou Springs, CO 80829

***Prepared by:***



2435 Research Parkway  
Suite 300  
Colorado Springs, CO 80920

**October 24, 2024**

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## 1.0 Introduction

Matrix Design Group, Inc. (Matrix) prepared this Ecological Characterization Study per Manitou Springs Code Ordinance 18.03.10.5 on behalf of the City of Manitou Springs for the proposed drainage improvements at the historic Hiawatha Gardens building, located in Manitou Springs, El Paso County, Colorado. The proposed project includes concept level parking and pedestrian improvements, landscape improvements, and potential improvements to the adjacent Fountain Creek channel and floodplain.

## 2.0 Methods

For this assessment, Matrix first conducted a desktop analysis of the project area to determine whether known federal threatened and endangered species or critical habitat have been documented within or immediately adjacent to the proposed project area. Matrix queried the following sources to gain more information about the project area:

- The U.S. Fish and Wildlife Service (USFWS), Information for Planning and Consultation (IPaC) Official Species List for candidate, threatened, or endangered species, and their critical habitat for the project area (USFWS, 2022b)
- The Colorado State Wildlife Action Plan (CSWAP) and Colorado's Conservation Data Explorer (CODEX) for state listed Species of Greatest Conservation Need (SGCN) (CODEX, 2023)
- The U.S. Geological Survey (USGS) National Hydrography Dataset (NHD) stream and waterbody data for a list of streams, waterbodies, and watersheds that intersect with the project area (USGS, 2022).
- The USFWS National Wetland Inventory (NWI) for a list of wetland and open water habitat that intersect with the project area (USFWS, 2022a).

A literature review was conducted for pertinent information on each USFWS federally listed species and Colorado state-listed species regarding their habitat preferences, life history requirements, distinguishing features, mobility/home-range requirements, reproductive needs, and sensitivity to anthropogenic disturbances.

A subsequent field review of the project area was conducted by Matrix staff on September 18th, 2024. In accordance with Code Ordinance 18.03.10.5, Matrix assessed the following:

- wetlands and perennial streams
- native and non-native vegetation communities
- locate and identify trees greater than 3 inches indicating their size and health
- passively record wildlife observed

The findings of the desktop analysis and field visit are summarized below. Features observed and recorded in the project area were located using a handheld GPS unit with sub-foot accuracy. This includes trees, ordinary high-water mark, top of bank, and shoreline.

## 3.0 Results

### 3.1 Wildlife Use of the Area and Habitat Value

The Endangered Species Act (ESA) of 1973 is administered the U.S. Fish and Wildlife Service (USFWS) and protects threatened and endangered species and their habitats. Potentially significant adverse effects

to federally listed species and/or their habitats require consultation with USFWS under Section 7 or Section 10 of the ESA. Effects on candidate species do not require formal consultation. USFWS serves as the deciding authority on the designation and development of species-specific conservation banks.

Under the ESA it is unlawful for any person to “take” an endangered species, including any significant habitat modifications that could alter species behaviors, such as mating or foraging, or other actions that may result in the further decline of that species. Therefore, a preliminary desktop analysis for any federally listed species that could occur at or near the project area was conducted. The IPaC report identified eight federally threatened, endangered, or candidate species that may be impacted by activities at or near the project, which are listed in [TABLE 1](#). Only species with the potential to occur will be evaluated for any constraints to development.

**Table 1. Threatened and Endangered species with potential to occur in project area**

Scientific Name	Common Name	Species Type	USFWS Status	Potential to Occur
<i>Canis lupus</i>	gray wolf	mammal	Experimental in CO	No
<i>Charadrius melodus</i>	piping plover	bird	Threatened	No
<i>Danaus plexippus</i>	monarch butterfly	insect	Candidate	No
<i>Laterallus jamaicensis</i>	eastern black rail	bird	Threatened	No
<i>Perimyotis subflavus</i>	tricolored bat	mammal	Proposed endangered	Yes
<i>Scaphirhynchus albus</i>	pallid sturgeon	fish	Endangered	No
<i>Spiranthes diluvialis</i>	Ute ladies'-tresses	plant	Threatened	No
<i>Strix occidentalis lucida</i>	Mexican spotted owl	bird	Threatened	No, final critical habitat

USFWS defines critical habitat as an area of land and water with physical and biological features that are essential for the conservation of a threatened or endangered species that may require special management considerations or protections (USFWS, 2004) The project area lies within final critical habitat for the Mexican spotted owl (*Strix occidentalis lucida*) (MSO) as defined by USFWS. MSO prefer both forested and rocky-canyon habitats, disconnected from human encroachment (USFWS, 2023a). Following correspondence with local USFWS biologist, Kyle Lemaire, due to the urbanization and high human traffic throughout the City of Manitou Springs, MSOs are not expected to inhabit the project area, nor the surrounding area; therefore, this project is not expected to have adverse impacts on MSOs nor will there be any restrictions or limitations to the project construction due to the designated critical habitat.

The tricolored bat (*Perimyotis subflavus*) (TCB) is one of the smallest bats that is native to North America and can be found roosting in forests, caves, mines and/or human structures, such as barns, porch roofs, and bridges. In the winter months (November to April), they are known to hibernate in caves, mines, and the occasional road-associated culvert and/or bridge, where caves are less abundant. Their preferred prey items include small insects such as caddisflies, moths, beetles, wasps, and flies and are usually found foraging in the early evening along forest edges and over waterways. During the site visit, Matrix biologists observed suitable habitat throughout the project area, including large trees and various bridge and culvert structures that could potentially be utilized as roosting locations.

Following correspondence with local USFWS biologist, Kyle Lemaire, an informal decision of “may affect, not likely to adversely affect” determination was discussed. Due to the potential adverse effects to a

federally listed species and their habitat, the project will likely require consultation with USFWS under Section 7 or Section 10 of ESA (USFWS, 2022b) in the form of a Biological Assessment with a corresponding response in the form of a Biological Opinion, from USFWS.

When planning for the construction of the project, it is recommended that development activities follow the proposed *Voluntary Environmental Review Process for Development Projects* developed by the USFWS to limit any potential impacts to the TCB or their habitat, during the disturbance. Due to the TCB being listed as proposed endangered, minimal conservation measures have been outlined by USFWS. Through conversations with USFWS and internal research, Matrix’s recommendations include, but are not limited to, a qualified biologist completing bat presence/absence surveys within culverts and under bridges, prior to construction, in addition to restricting the removal of suitable roosting trees and shrubs during the summer months, outside of hibernation and active pup season (April to July), when individuals have the ability to depart from their potential roosting areas (USFWS, 2024).

### 3.2 Migratory Bird Treaty Act

The Migratory Bird Treaty Act (MBTA) protects all migratory birds, raptors, and their active nests. The MBTA prohibits the removal or disturbance of active nests that would result in the loss of eggs or young. Migratory birds and raptors could potentially be impacted by the project, both directly through habitat loss and indirectly due to sound disturbance related to construction activities. Colorado Parks and Wildlife (CPW) recommends all construction-related disturbances occur outside of the migratory bird and raptor nesting season, January 15 through September 30. If disturbance occurs within the nesting season, it is recommended that a qualified biologist conduct a survey of the project area for nesting migratory birds within seven (7) days prior to clearing/grubbing or other construction activities. Desktop analyses identified twelve birds of conservation concern that may be impacted by activities around the project, which are listed in TABLE 2.

**Table 2. Migratory bird species of concern with potential to occur in project area**

Scientific Name	Common Name	State Status*	SWAP** Tier	Potential to Occur
<i>Haliaeetus leucocephalus</i>	bald eagle	Eagle Act		No
<i>Selasphorus platycercus</i>	broad-tailed hummingbird	BCC		Yes
<i>Larus californicus</i>	California gull	BCC		No
<i>Haemorhous cassinii</i>	Cassin’s finch	BCC	Tier 2	No
<i>Nucifraga Columbiana</i>	Clark’s nutcracker			No
<i>Coccothraustes vespertinus</i>	evening grosbeak	BCC		Yes
<i>Psiloscops flammeolus</i>	flamulated owl	BCC		No
<i>Aquila chrysaetos</i>	golden eagle	Eagle Act	Tier 1	No
<i>Melanerpes lewis</i>	Lewis’s woodpecker	BCC	Tier 2	Yes
<i>Contopus cooperi</i>	olive-sided flycatcher	BCC	Tier 2	No
<i>Gymnorhinus cyanocephalus</i>	pinyon jay	BCC		No
<i>Leiothlypis virginiae</i>	Virginia’s warbler	BCC	Tier 2	No

\*BCC = Bird of Conservation Concern, \*\*SWAP = State Wildlife Action Plan

There are three species of migratory birds that have the potential to be present at the project area, broad-tailed hummingbirds, evening grosbeaks, and Lewis’s woodpecker. Construction timing should aim to occur outside of active nesting times for each species. Nesting for the identified species occurs from April to September. All vegetation removal, thinning, or other construction activities that impact vegetation should occur outside of the nesting window to prevent damage to nesting trees or direct take of adults, chicks, or eggs. If construction activities cannot occur outside of this window Matrix recommends for surveys to be conducted by a qualified biologist no fewer than five (5) days prior to construction activities to determine the presence/absence of the species noted. If active nests or nesting behaviors are observed, precautionary measures like buffer zones for work should be implemented to reduce any adverse impacts to the nesting birds. More information on [Nationwide Standard Conservation Measures](#) are provided by USFWS to reduce stress on nesting birds during development.

### 3.3 State and Local Protections and Considerations CODEX

Colorado’s Conservation Data Explorer (CODEX) considers biological diversity, lands, hydrology, and other natural resources including potential impacts to threatened, endangered, and special concern species and their habitat within project areas. During our CODEX review, which includes a one-mile buffer of the project area, five Tier 1 Species of Greatest Conservation Need (SGCN) were noted to potentially occur within the project area, which are listed in [TABLE 3](#).

**Table 3. SWAP Tier 1 species of concern with potential to occur in project area**

Scientific Name	Common Name	Species Type	SWAP Tier	Potential to Occur
<i>Zapus hudsonius preblei</i>	Preble’s meadow jumping mouse	mammal	Tier 1	No
<i>Corynorhinus townsendii pallenscens</i>	Townsend’s big-eared bat	mammal	Tier 1	Yes
<i>Leucosticte australis</i>	brown-capped rosy-finch	bird	Tier 1	Yes
<i>Myotis lucifugus</i>	little brown myotis	mammal	Tier 1	Yes
<i>Myotis thysandodes</i>	fringed myotis	mammal	Tier 1	Yes

The brown-capped rosy-finch can be found in higher alpine areas near meadows where they forage for seeds and insects along the edges of areas with melting snow. In the winter, they move to lower elevations to more forested habitats. Nests for this species have been found as high as 14,000 ft and are typically made in cliffs, caves, and old rockslides. This species has the potential to occur in this area during the winter months, however, there is no breeding habitat in the area so it is unlikely that they would be impacted by construction activities.

Townsend’s big-eared, Mexican free-tailed (*Tadarida brasiliensis*), and myotis bat winter hibernacula habitat was identified within 1-mile of the project area. It is unlikely that construction activities will impact these species. However, removal of potential roosting trees should be minimized as possible, therefore, Matrix recommends that the removal, thinning, or alteration of any vegetation should be timed in accordance with the limits already set by the tricolored bat.

### 3.4 Habitat Considerations

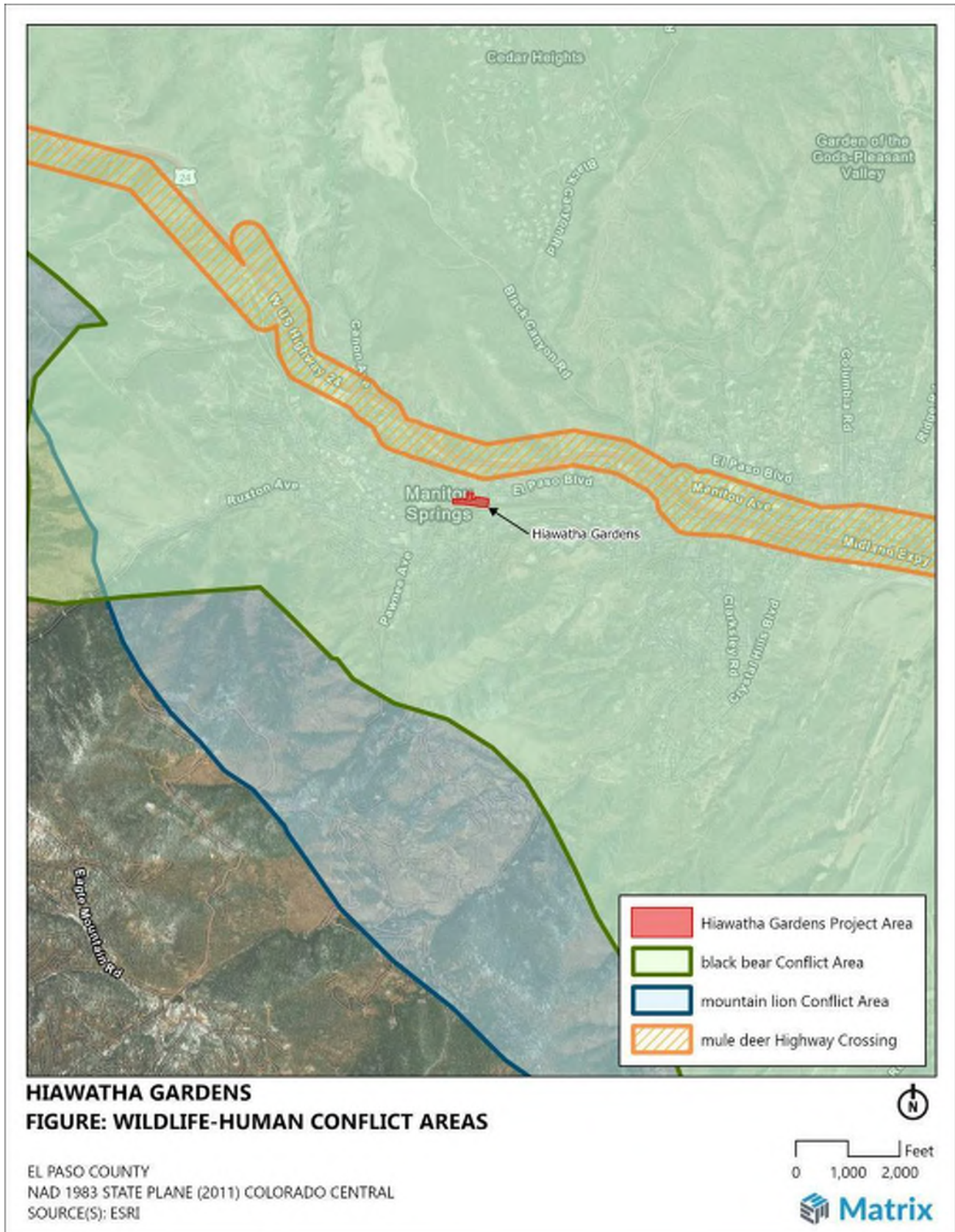
The project area is located along Fountain Creek which likely provides a movement corridor for large and small wildlife species [e.g., amphibians, reptiles, small mammals, and arthropods (insects and spiders, including pollinators), mule deer, and coyotes]. Signs of mule deer, including tracks and scat, were

observed along Fountain Creek during the visit to the project area. Other observations included black-capped chickadee (*Poecile atricapillus*), American crow (*Corvus brachyrhynchos*), hairy woodpecker (*Dryobates villosus*), and black-billed magpie (*Pica hudsonia*). A common garter snake (*Thamnophis sirtalis*) was observed near the creek during the visit which suggests the use of the area by this species. Due to the current conditions of the project area being an existing parking lot with an existing building and pedestrian and vehicular traffic moving through the site at regular intervals, it is unlikely that any species, beyond migratory birds, is spending a considerable amount of time within the project area for cover, nesting, or roosting. It is likely that Fountain Creek, and the associated vegetation, provides enough cover for wildlife to use the southern boundary of the project area as a movement corridor and short-term stopping place for water and foraging.

This area has been identified as a black bear and mountain lion human-wildlife conflict area by CPW (FIGURE 1). In developing the land adjacent to Fountain Creek there are opportunities to reduce conflict with nuisance wildlife species (e.g., prairie rattlesnake, raccoons, red fox, coyote, and mule deer) from negative interactions with people, their pets, and vehicles. Revegetation and landscape design in the project area should focus on reducing human-wildlife conflicts by keeping dense vegetation away from the surrounding commercial properties. CPW provides guidance for developers to reduce conflicts with wildlife: [Colorado Parks & Wildlife - Developing with Wildlife in Mind \(state.co.us\)](http://state.co.us). This will help to keep species moving through the area near the floodplain of Fountain Creek and discourage movement through adjacent properties. Any changes to culverts, storm outfalls, or other structures potentially used for wildlife movement should be evaluated and the design will be adjusted to maintain or improve the safe passage of wildlife through the greater corridor while remaining mindful of human and wildlife safety.

To the North of the project area, CPW has identified a mule deer highway crossing area across State Highway 24 (FIGURE 1). While we can assume mule deer are present within the Fountain Creek corridor, and thus likely use a portion of the project area as a movement corridor, there are no impacts to development because of the designated mule deer highway crossing. It is recommended that CPW's [Developing with Wildlife in Mind](http://state.co.us), linked above, be utilized as a guide for design, and that careful consideration be given to the planting palette for landscape design to deter deer from becoming a nuisance within the new development.

Figure 1. Wildlife-Human Conflict Areas



### 3.5 Wetland Boundary and Ecological Function

The project area is located within the Fountain Hydrologic Unit Code (HUC) 11020003, an approximately 594,176-acre watershed (FEMA, 2023). Based on a review of the USFWS National Wetlands Inventory (NWI), the project area contains Fountain Creek, which is classified as riverine unknown perennial, unconsolidated bottom, permanently flooded (R5UBH) (USFWS, 2023b). (FIGURE 2).

**Figure 2. Fountain Creek at Hiawatha Gardens**



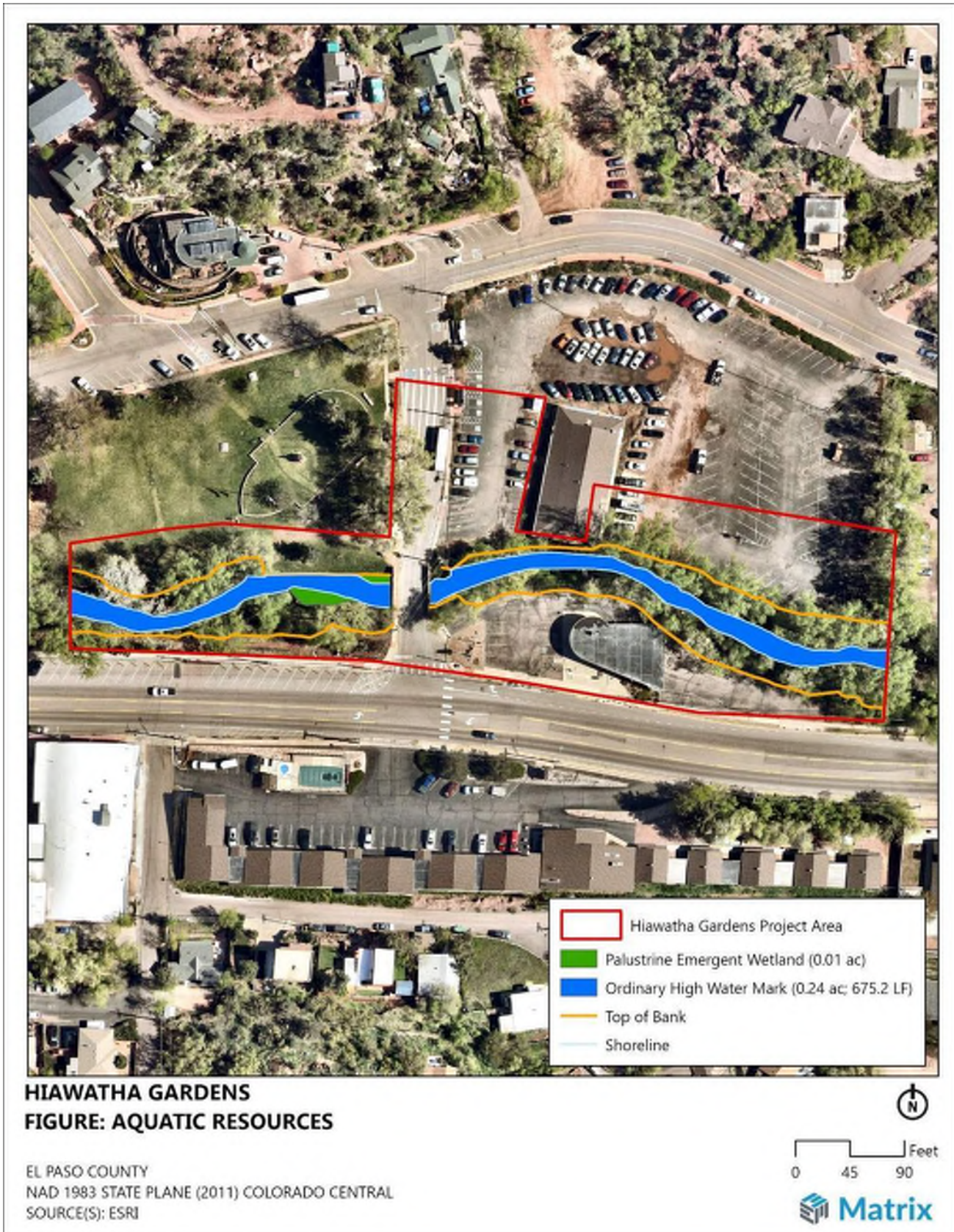
Matrix staff visited the project area to delineate the limits of aquatic resources, including wetlands and the ordinary high-water mark (OHWM) that may be subject to CWA Section 404 jurisdiction (Waters of the U.S. or “WOTUS”). Additionally, the top of bank and shoreline were delineated as required by the City of Manitou Springs Code Ordinance 18.03.10.5. Approximately 0.01 acre of palustrine emergent (PEM) wetlands were mapped within the project area and contained hydrophytic vegetation, hydric soils, and indicators of hydrology. These wetlands are assumed to be sustained by Fountain Creek continuous flows and seasonal flooding. Emergent wetlands were primarily dominated by reed canarygrass (*Phalaris arundinacea*, Facultative Wetland [FACW]), bluejoint (*Calamagrostis canadensis*, FACW), and orchardgrass (*Dactylis glomerata*, Facultative Upland [FACU]). Wetlands were primarily confined to the fringe and floodplains of Fountain Creek. Wetland/upland transitions were delineated based on changes in vegetation community composition and presence or lack of wetland hydrology indicators. Two data points were collected along the wetland/upland transitions during the delineation to characterize the changes in vegetation, soil, and hydrology. Soils within the wetlands were recorded as 2.5YR 4/4, 7.5YR 3/2, and 10YR 2/1, fitting the Hydrogen Sulfide (A4) hydric indicator. Soil textures within wetlands consisted primarily of gravel and sand. Indicators of wetland hydrology included the primary indicators of Saturation (A3) and Hydrogen Sulfide Odor (C1). Secondary hydrology indicators observed included Drainage Patterns (B10), Geomorphic Position (D2), and FAC-Neutral Test (D5). These wetlands provide minimal ecological function through small amounts of filtration during high flow events, by improving water quality through the removal of pollutants and sediment within the channel.

Fountain Creek is shown as a perennial tributary to the Arkansas River on the USGS Fountain, CO Quadrangle Map and USGS NHD. Field observations confirmed the location and extents of Fountain Creek, running parallel to Manitou Ave and flowing from west to east, below Old Mans Trail, through the center of the project area.

The OHWM was primarily delineated based on water staining on the retaining walls, changes in slope, and changes in vegetation species and cover. This section of Fountain Creek is largely constricted by retaining walls, development, and high levels of foot traffic. Based on the OHWM delineation, approximately 0.24 acres and 675.2 linear feet of Fountain Creek were mapped within the project area.

All mapped resources, including delineated wetlands, OHWM, shoreline, and top of bank, per City of Manitou Springs Code Ordinance 18.03.10.5, can be referenced in [FIGURE 3](#).

Figure 3. Ordinary High Water Mark, Top of Bank, and Shoreline



### 3.6 Prominent Views

Views from the project area include Pike’s Peak, the Manitou Incline, Fountain Creek, and the historic Hiawatha Gardens building (FIGURE 4). From the parking area, there are clear views of Pike’s Peak and the Manitou Incline to the west. In the center lies the historic Hiawatha Gardens building with a painted mural. Fountain Creek runs west to east through the project area and multiple trails allow access near the creek and provide views of the waterway and large shade trees. Design plans should consider these views and creek access when proposing vegetation and general design to maintain or enhance these characteristics.

**Figure 4. Representative photos of the site including views of Pike’s Peak, Manitou Incline, the historic Hiawatha Gardens building, and Fountain Creek**



### 3.7 Vegetation Communities

Vegetation in the project area is heavily associated with Fountain Creek with most plants occurring along its banks. There are little to no plants within the parking area of Hiawatha Gardens apart from a few juniper (*Juniperus sp.*) and pine (*Pinus sp.*) species near the current bus stop on Old Mans Trail and along El Paso Blvd to the north of the project area where there are other shrubs including rubber rabbitbrush (*Ericameria nauseosa*), and various forbs including annual sunflower (*Helianthus annuus*), Rocky Mountain beeplant (*Cleomella serrulata*), and ornamental grasses. Along the southern end of the parking area, along Fountain Creek there are large crack willows, Siberian elms, and cottonwood trees providing shade for the creek and a portion of the parking lot, while also providing a visual barrier between the project area and Manitou Avenue.

Although many of the large trees are considered invasive or noxious species by the Colorado Department of Agriculture, these mature and healthy trees provide much needed shade to the area, screening, and

habitat for various songbird species in the area. This higher vegetation coverage near the creek helps to keep wildlife moving through the project area and reduces the likelihood of them venturing into the surrounding properties or onto Manitou Avenue. Design plans should consider saving trees along Fountain Creek while still accommodating necessary channel improvements. While not an exhaustive list, the TABLES 4 AND 5 below list the species observed within the project area.

**Table 4. Native species observed in the project area**

Scientific Name	Common Name	Category	Wetland Status
<i>Cleome serrulata</i>	Rocky Mountain beeplant	Forb	FACU
<i>Ericameria nauseosa</i>	rubber rabbitbrush	Shrub	NI
<i>Fraxus pennsylvanica</i>	green ash	Tree	FAC
<i>Helianthus annuus</i>	common sunflower	Forb	FACU
<i>Juniperus scopulorum</i>	Rocky Mountain juniper	Tree	NI
<i>Populus deltoides</i>	plains cottonwood	Tree	NI
<i>Robinia pseudoacacia</i>	black locust	Tree	FACU
<i>Rosa woodsii</i>	Woods' rose	Shrub	FACU
<i>Salix amygdaloides</i>	peachleaf willow	Tree	FACW
<i>Symphoricarpos albus</i>	common snowberry	Shrub	FACU

**Table 5. Non-native and invasive species observed in the project area**

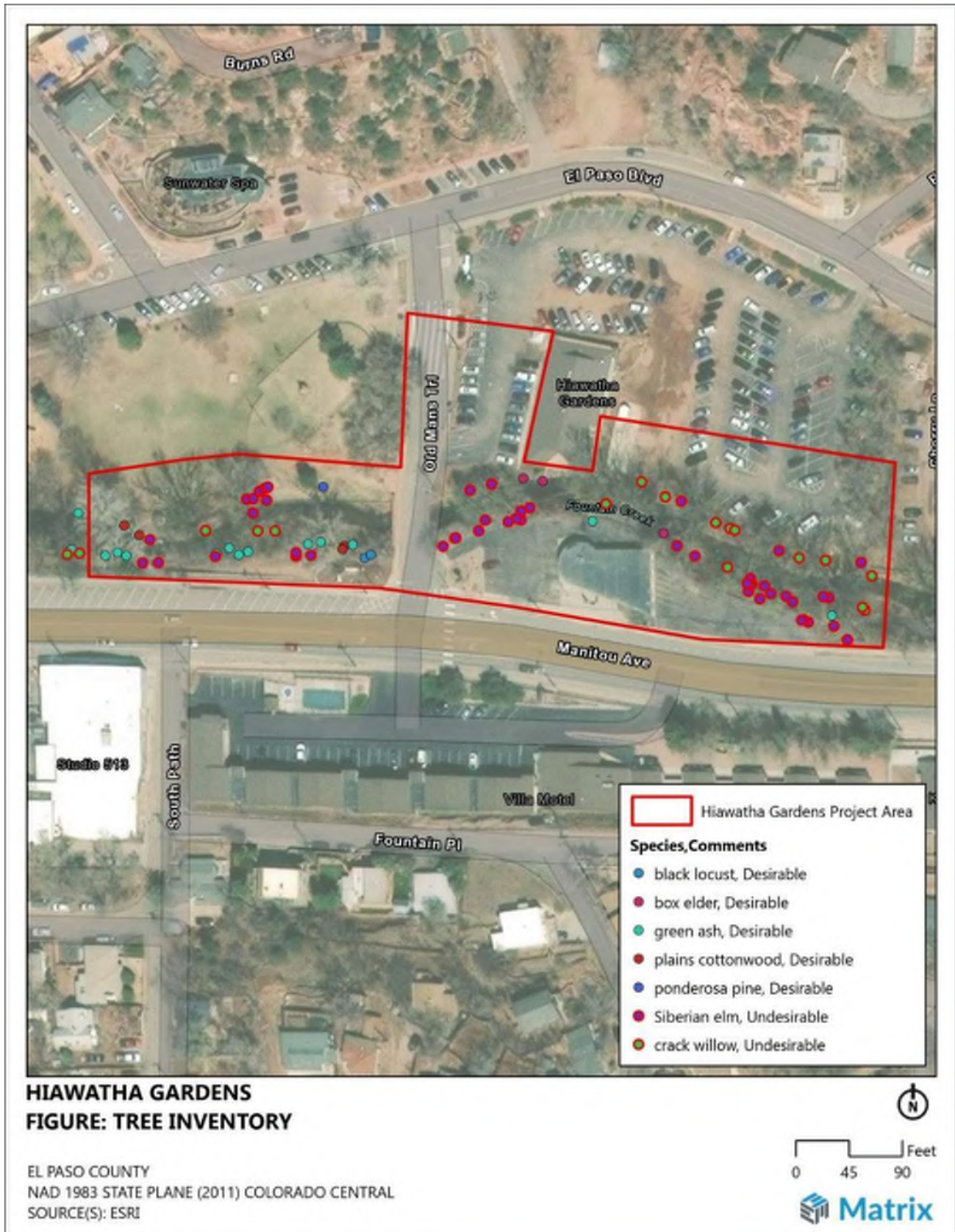
Scientific Name	Common Name	Category	Plant Status
<i>Agrostis gigantea</i>	redtop	Grass	Introduced
<i>Dactylis sp.</i>	orchardgrass	Grass	Introduced
<i>Melilotus officinalis</i>	sweet clover	Forb	Introduced
<i>Cirsium arvense</i>	canada thistle	Forb	List B Noxious
<i>Saponaria officinalis</i>	bouncing bet	Forb	List B Noxious
<i>Artium sp.</i>	common burdock	Forb	List C Noxious
<i>Elmus pumila</i>	Siberian elm	Tree	List C Noxious
<i>Salix fragilis</i>	crack willow	Tree	Invasive

### 3.8 Habitat Features and Ecological Function

Most of the project area includes an existing historic building, unpaved parking lot, the edge of a city park, and a small social trail system along Fountain Creek. Memorial Park is a traditional Kentucky bluegrass (*Poa pratensis*) lawn park with sparse, large plains cottonwood and various pine and spruce (*Picea sp.*) trees. The creek is lined with large crack willows and an understory of smaller trees and large shrubs. There were palustrine emergent (PEM) wetlands identified along Fountain Creek within the project area near the crossing at Old Mans Trail. The parking area has small pockets of vegetation along El Paso Blvd that could support a small population of pollinators given the species observed. The large trees and more dense vegetation observed along Fountain Creek provide cover, foraging opportunities, and possible nesting opportunities for birds and small mammals. Fountain Creek could also provide foraging habitat for various amphibians and reptiles. Design plans should aim to protect existing vegetation in place as

design allows and provide additional pockets of native vegetation, specifically selected to provide forage for pollinators and birds. The following map provides locations for trees observed in the project area greater than 3 inches in diameter and whether the species are considered “Desirable” (native) or “Undesirable” (invasive or noxious). Matrix recognizes the benefits of keeping certain trees even if they are invasive or noxious due to the benefits they provide to the project. Additionally, while green ash is a native species, because of the emerald ash borer (*Agrilus planipennis*), these trees are susceptible to dying if they have not been inoculated and should therefore not be prioritized for avoidance.

Figure 7. Tree Inventory



### 3.9 Timing of Development and Mitigation

The proposed project would include improvements to the Fountain Creek channel to reduce flood danger and provide improvements to the parking area at the historic Hiawatha Gardens building. Based on review of the USFWS IPaC, CODEX report, and field conditions, Matrix determined there are potential impacts to various species or their habitats in the project area. Design and construction planning should consider the species and characteristics of the project area discussed above and summarized below.

- The project area is located within a critical habitat designation for Mexican spotted owls; however, no adverse impacts are anticipated;
- Black bear- and mountain lion-human conflict zones should be considered during design to reduce the chances of any conflicts following guidelines set by CPW;
- As design allows, healthy trees identified along Fountain Creek should be protected to maintain the wildlife movement corridor and provide shade and aesthetic value to the project;
- Due to the possible presence of the tricolored bat (proposed endangered) and the three identified migratory birds listed as Birds of Conservation Concern, trees should only be removed or thinned between October 15<sup>th</sup> and December 15<sup>th</sup> to prevent any “take” of those species or their habitats.
  - This time frame for vegetation removal and thinning is also beneficial for the other bat species identified in the report;
- Disturbances within the project area could result in the “take” of the tricolored bat due to the removal of trees that may be used as roosting trees during migration, mating, and pup-rearing periods. The project will likely require consultation with USFWS under Section 7 or Section 10 of ESA in the form of a Biological Assessment with a corresponding response in the form of a Biological Opinion, from USFWS.
- Potential occurrence of three migratory birds listed as Birds of Conservation Concern limits timing of development to occur outside of nesting seasons (April-September) or conduct nesting surveys by a qualified biologist five (5) days prior to any work.

## 4.0 References

- [CBAP] Colorado Bird Atlas Partnership. 2016. Colorado Breeding Bird Atlas.
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- [USFWS] Northern Long-eared Bat and Tricolored Bat Voluntary Environmental Review Process for Development Projects Version 1.0. 2024. Available at: Northern Long-eared Bat and Tricolored Bat Voluntary Environmental Review Process for Development Projects Accessed October 2024.
- [USFWS] U.S. Fish and Wildlife Service. 2023b. National Wetlands Inventory (NWI). Available at: <https://www.fws.gov/wetlands/>. Accessed: October 2024.
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- Wickersham, Lynn E. (Editor). 2016. The Second Colorado Breeding Bird Atlas. Colorado Bird Atlas Partnership and Colorado Parks and Wildlife. Denver, Colorado.

## 5.0 Representative Photos



*Photo 1. Fountain Creek looking East towards Old Mans Trail from project area boundary*



*Photo 2. PEM designated wetlands along Fountain Creek looking West from Old Mans Trail*



Photo 3. Fountain Creek looking West from edge of project area and large crack willow along bank



Photo 4. Hiawatha Gardens parking area



Photo 1. Parking area looking Northeast towards El Paso Blvd

## **Detailed Review: Landscaping and Fencing**

### **18.03.5 Fencing and Retaining Walls. – All Requirements met, pending answers to comments below.**

- 18.03.5.3
  - Fences and railings shown will not impede drainage. The fence at the trash enclosure will have the finished side facing publicly accessible spaces.
- 18.03.5.4
  - No prohibited fencing materials are being proposed.
- 18.03.5.5
  - Fence and retaining wall locations have been review by Public Works and no conflicts were observed.
- 18.03.5.6
  - The application shows fence around the perimeter of the trash enclosure only. The fencing is proposed as cedar blank 8’ tall to screen the trash receptacles from public view. Railings are present in the proposed plans at the ramp on the north property and along the creek wall on the southern property boundary.
- 18.03.5.7
  - No walls are shown in excess of 10 feet.
  - A condition of approval will be if the final grading of the bio-retention facility on the southern portion of the site exceeds 30” a railing of 42” will be added where that is adjacent to a pedestrian walkway.
- 18.03.5.8
  - Retaining walls are proposed as integral color concrete or concrete with a stone veneer. No prohibited materials are being proposed.

### **18.03.6 Landscaping and Screening. – Condition Needed**

- 18.03.6.3 A – Existing Plants to Remain
  - Yes, where existing plants are to be retained, drainage is not being altered.
- 18.03.6.3 B – Disturbed Areas
  - Yes, disturbed areas are being stabilized and replanted with native plants.
- 18.03.6.3 C – Waterwise Principles
  - Yes, 18” of planting soil with organic matters is being proposed in all planting areas. Bio-retention facilities are being utilized to filter run-off from the proposed parking lot.
- 18.03.6.3 D – Plant Species
  - Yes this requirement is met
- 18.03.6.3 E – Plant List Alternatives
  - Yes this requirement is met
- 18.03.6.3 F – Invasive Species
  - Yes, this requirement is met. No noxious and invasive trees are being proposed as part of this MDP
- 18.03.6.3 G – Plant Coverage – Condition of approval
  - Perimeter Zone
    - Partially, a 5’ perimeter of inorganic matter has been maintained on the N, S, and W edges of the pavilion. A condition of approval will be the extension of the

buffer along the eastern edge of the pavilion from approximately 2' to 5'. The buffer is maintained on all four sides of the restroom pavilion

- 75%
  - Yes, this requirement is met.
- Tree Canopy
  - Yes, this requirement is met.
- 18.03.6.3 H – Tree Substitution
  - No substitution is being requested by the application
- 18.03.6.3 I – Minimum Plant Sizes
  - Yes this requirement is met
- 18.03.6.3 J – Plants in Site Distance Triangles
  - Yes, this is met and will be reconfirmed in the final landscape plan submission prior to notice to proceed.
- 18.03.6.3 K – Tree and Utility Proximity
  - Yes, this condition is met and will be reconfirmed with Public Works prior to final tree placement during construction.
- 18.03.6.3 L – Mulch
  - Yes, organic mulch is proposed with no weed barrier.
- 18.03.6.3 M – Soil Amendments
  - Yes, 6” depth of amended soil is proposed for areas shown as turf and native seed, 18” depth of amended soil is proposed for planting bed areas.
- 18.03.6.3 N – Plant Quality
  - Yes, this is met.
- 18.03.6.3 O – Irrigation
  - Yes this is met
- 18.03.6.3 P – Guarantee of installation
  - Yes, this is met
- 18.03.6.3 Q – Financial Surety
  - Not required separately as part of City Projects.
- 18.03.6.3 R – Maintenance
  - Not applicable, City Project and Property

#### **18.03.6.5.B Vegetation Preservation Standards – All Requirements met**

- Yes, these requirements are met. Based on the tree removals proposed by the Tall Timbers report and recommendations made by City Council on September 9th, seven trees are removed due to construction activities in Phase 1 seven trees would be removed. In Phase 2, trees 38, 39, 40, and 41 would be removed. Proposed thinning would occur with the removal of thirteen trees/tree groups as indicated on the Tall Timbers report. Mitigation required per code section 18.03.6.5.B.2 would require replacement of these trees with a total thirty five trees of two inch caliper. This quantity requirement is satisfied by the existing trees being preserved during construction.
- Seventeen trees are shown to be preserved during construction with minimal disturbance observed in their critical root zones in accordance with Tall Timbers recommendations.

#### **18.03.6.6 Streetscape Landscape Standards - - All Requirements met**

- Yes, based on a lot frontage of 576 linear feet, fourteen street trees would be required. Due to the proposed preservation of existing trees and proposed new trees, the proposed plans show their intent to meet this requirement.

**18.03.6.7 Commercial, Mixed-Use, and Multi-Household Development Landscape Standards – Corrections and/or Conditions Needed**

- Partially, the plans show a plant list that contains 20% high water usage.
- Yes, based on a building perimeter calculation of 159 LF four trees would be required. Due to the proposed preservation of existing trees and proposed new trees, the proposed plans show their intent to meet this requirement.
- Partially, based on a building perimeter calculation of 159 LF sixteen shrubs would be required. Staff suggests final approval be conditioned upon those sixteen shrubs being called out on the final landscape plan submitted for building permit approval.

**18.03.6.9 Parking Lot Landscape Standards – Corrections and/or Conditions Needed**

- **18.06.6.9.C**
  1. Partially, refer to staff comments on 18.03.6.7.C.1
  2. Yes, this requirement is met, 12 planting islands have been provided, 10 islands were required. All islands are proposed to contain 75% of live plant material cover.
  3. Yes, perimeter has been provided on all parking lot perimeters meetings exceeding 10 feet.
  4. Yes, headlight screening is provided on all parking lot edges per code. On the northern side of the parking lot, screening is provided by the combination of a berm and shrubs, on the east side the property maintaining existing vegetation and use of understory species will provide a 30” tall, vegetated screen, on the south side of the parking lot, the bio retention and area and existing plantings will provide a 30” vegetated screen.

**18.03.6.10.C (4) Screening and Buffering – All Requirements met**

- Per Code section 18.03.6.7 landscape buffers are required along commercial property lines along the side and rear. This recommends the following for the Hiawatha property which would recommend the east boundary to have Buffer Type A and on the southern boundary to have Buffer type A. The north and west boundary would not be recommended to have a buffer under this code section. These buffers are not required for Public Facilities parcels.
- 18.06.6.10.C.4 – Buffer Type A
  - The total linear footage for the East and South Property Line is 641 linear feet, which requires six trees and sixty four shrubs or large ornamental grasses.
  - Plans show a buffer of approximately 25’ on average on the eastern edge and 20’ on average on the southern edge of the property. There is not a proposed vegetated buffer between the pavilion and the southern property line as the building is existing and no buffer exists.

Tree and Shrub Calculations as summarized by staff based on data provided by the Tall Timbers Report and September 9<sup>th</sup>, City Council Work Session

Code Section	Trees Credit	Trees Needed	Shrubs Credited	Shrubs needed

<b>18.03.6.5.B Vegetation Preservation</b>	45 Trees	35 at 2" Caliper	?	N/A
18.03.6.6 Streetscape Landscape Standards		14		
18.03.6.7.C Commercial, Mixed-Use, and Multi-Household Development Landscape Standards		4		16
18.03.6.10 Screening and Buffering		6		64
Trees Shown on Plans to be Planted	63			
Total:	108 – (Exceeding the Trees needed by 39)	69		- 98 shrubs and ornamental grasses



**Title:** Title 18 Miscellaneous Code Revisions  
**From:** Fred Rollenhagen  
**To:** City Planning Commission  
**Address of Proposal:**  
**Applicant:**

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October 8, 2025

**Proposal:**

The purpose of this work session is to begin the discussion on a number of policy questions for potential revisions to Section 18; the Land Use and Development Code. The Land Use and Development Code was recently revised in 2023. As with any major update, a revised code should be periodically reviewed to identify and address errors, inconsistencies, or unintended consequences that reveal themselves during the Code's application.

**Zone District:**

**Background & Existing Conditions:**

**Variations**

The Planning Commission has asked to review its process and criteria for granting variances to assure it is performing its intended function. The purpose of granting a variance is to provide relief to property owners where the strict application of the Code would cause an undue hardship or practical difficulty due to unusual circumstances of the land. Therefore, variances are granted to allow a property to be used in a manner that is not otherwise allowed by the Code, but ensuring that the purposes of the Code are not compromised. Generally, a variance would not be granted due to a self-imposed hardship, and is usually not granted to address an economic hardship. Most variance criteria also address the need to avoid negative adverse impacts on adjacent properties and/or the neighborhood.

**Residential Zoning Densities**

The Planning Commission had asked to review the existing maximum residential densities in the City's various zoning districts to assure that they are appropriate.

**Application Detail:**

**Variations**

Currently, the City's Code contains eight (8) criteria that address variance requests. Variations are required to meet two criteria, and then they must also meet a minimum of 4 of the latter 6 criteria as follows:

1. Not result in *development* of areas at risk of *natural hazards*, unless adequate mitigation is provided to the satisfaction of the Planning Director pursuant to the standards in [Chapter 18.03](#);



and

2.No adverse impact will result on adjacent properties;

Additionally, variance requests must meet a minimum of four (4) of the following criteria:

1.The applicant would suffer unnecessary hardship as a result of the application the LUDC, which hardship is not generally applicable to other lands or structures in the same zone district because of the unusual configuration of the applicant's property boundaries, unique circumstances related to the location of existing structures thereon, or the existence of exceptional topographic conditions thereon;

2.There are no design alternatives or alternative locations for structures that would eliminate the need for the requested variance or would reduce the amount of the variance required. The variance is the minimum variance that will make possible the reasonable use of the land or *structure*;

3.The enforcement of the provisions of the LUDC deprives the applicant of rights enjoyed by a majority of the other properties in the same zone district;

4.The need for the variance is not the result of from actions of previous property owners or is a an otherwise self-imposed hardship;

5.There is a disability affecting the owners or tenants of the property or any member of the family of an owner or tenant who resides on the property, which impairs the ability of the disabled person to utilize or access the property;

6.The variance request is required in order to preserve a contributing structure in a historic sub district.

Attached is additional information from a number of different sources about variances to help put them into context. Staff will refer to these in our discussion during the presentation and meeting on Wednesday.

### **Residential Zoning Densities**

The City's current densities for residential development are as follows:

<u>Zone District</u>	<u>Maximum residential Density</u>
Downtown	30 du/ac
Commercial	20 du/ac
Mixed Use Commercial	20 du/ac
General Residential	10 du/ac
Low Density Residential	5 du/ac
High Density Residential	15 du/ac

As a comparison, the following densities were found in the State of Colorado's Model Land Development Code:

Low Density Residential                      2 du/ac



Medium Density Residential	10 du/ac
Small-lot Residential	20 du/ac
Flex Residential	30 du/ac

Most commercial/industrial districts do not list maximum densities which implies the allowance to build as dense as desired within the parameters of any dimensional restrictions (setbacks/height) and/or any other development standards. Those districts that do list maximum densities are around 30 units per acre)

**Public Involvement:**

**Findings & Review Criteria:**

**Staff Recommendation:**

**Motion Language Options:**

# QUICKNOTES

## Zoning Ordinance Variances

### OVERVIEW

A variance is a form of administrative relief from zoning regulations. It allows for the construction of or change to a structure or land that is prohibited by a zoning ordinance. A variance is granted to render justice where the strict application of a zoning ordinance results in a hardship for a property owner. A hardship arises when highly unusual circumstances prevent a property owner from securing a reasonable return from or making a reasonable use of their property. Oddly shaped or sloping lots, for example, may make it difficult for a property owner to meet setback or height requirements. A granted variance stays with the land and passes to the next purchaser.

Zoning boards of appeal are delegated the authority to grant variances by state or municipal legislative bodies. The zoning boards are constrained by limitations on this power. For example, the board has no authority to determine the validity of the zoning law and must follow proper statutory procedures for granting variances. While the zoning boards are delegated a certain amount of discretion, they are usually directed by law to grant the minimum variance necessary and adequate to readdress the complained-of "hardship." The board must consider any impact on the community and devise a solution to accommodate the applicant and the community.

### TYPES OF VARIANCES

There are two types of variances: use and area. A use variance is requested when a zoning ordinance prohibits a particular use (e.g., a commercial building in a residential area). An area variance is requested if the zoning ordinance regulates a particular use (e.g., height restrictions). Eighteen states do not distinguish between use and area variances and instead set forth four basic common general criteria for granting variances: (1) the variance is not contrary to public interest; (2) there are special conditions pertaining to the parcel; (3) literal enforcement of the variance would result in unnecessary hardship; and (4) the spirit of the ordinance is observed and justice done.

#### Use Variances

Use variances should be difficult to obtain. In fact, 12 states prohibit zoning boards from approving use variances altogether. The rationale is that a legislative determination has been made that the proposed use is incompatible in the zoning district and therefore it can threaten adjacent land or the character of a neighborhood. This is why there is heightened scrutiny when reviewing request for relief from a legislative determination as to appropriate uses, and applicants typically have to prove that their hardship is unique and not likely to be experienced by nearby property owners. If a critical mass of property owners in the same locale start requesting use variances, the more appropriate remedy may be consideration of a rezoning.

The granting of a use variance usually requires that the applicant show unnecessary hardship. Establishing such hardship typically requires proving that the land in question cannot realize a reasonable return, that the hardship relates to circumstances unique to the parcel of land, and that granting of the variance would not adversely affect the neighborhood. Each element of the unnecessary hardship test in a particular jurisdiction must be satisfied for a variance to be granted. Some jurisdictions use the terms "undue hardship" or "unusual hardship" to refer to their specific test. There seems to be no substantive difference in the requirements. While there is some variation on how to establish the elements depending on the jurisdiction, the basic formulation of the test is similar.

A variance is granted to render justice where the strict application of a zoning ordinance results in a hardship for a property owner.



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## Area Variances

It is typically easier to obtain an area variance than a use variance. The test applied is usually “practical difficulties,” used in three ways: (1) synonymously with “unnecessary hardship”; (2) to denote a version of the “unnecessary hardship” standard where the standard of proof for the elements is relaxed—this standard probably represents the most common usage of the term, “practical difficulties”; and (3) to describe a balancing test where various factors are weighed against one another. Many factors are considered and under this type of standard, typically no factor outweighs the others in determining whether the variance should be granted. Rather, the benefit to the applicant is weighed against the potential negative effects granting the variances would have for each factor.

Among the factors considered in most typical variations of the balancing standard are: (1) whether the property in question has any beneficial use without the variance; (2) whether the variance is substantial; (3) whether the essential character of the neighborhood would be substantially altered or whether adjoining property would suffer detriment if the variance were granted; (4) whether the difficulty was self-created; (5) whether there are alternative means to obviate the owner’s predicament; and (6) whether the spirit of the ordinance can be observed and substantial justice done by granting a variance.

## CONDITIONS ON VARIANCES

Where recognized, zoning boards of appeal may attach conditions to a variance. Conditions must be used to reduce any adverse impacts of the land use, such as protecting nearby property. Boards cannot impose conditions that are not rationally related to minimizing the adverse impacts of granting a variance. Boards must clearly state any conditions in its decision to grant a variance. Zoning boards may also impose time conditions. For example, a board can grant a limited variance that will lapse if not acted upon within a specified time. They may not, however, limit a variance to the period of the applicant’s ownership since variances run with the land.

## ALTERNATIVES TO VARIANCES

In some instances, a rezoning may be more appropriate than a use variance. If the use is deemed appropriate in the zoning district, then the community should evaluate whether the use should be permitted by right or as a conditional use in that district. Permitting a use with conditions (also known as special uses or special exception uses) allows the local planning commission, zoning board, or city council to impose additional standards to ensure compatibility and can minimize the need for use variances.

Numerous requests for area variances in a specific zoning district may indicate that there is a poor fit between the dimensional standards for a particular zoning district and the existing building stock. This mismatch means that the district has a high number of nonconforming structures. In some cases the municipality may be actively trying to promote a transition to a different development pattern. In other cases, this mismatch reflects an outdated goal to recreate suburban development patterns in traditional urban neighborhoods. In the latter case the easiest way to avoid excessive area variance requests is to amend the district standards to match the historic fabric of the neighborhood.

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# Variance criteria

Thursday, October 2, 2025 10:48 AM

## Pueblo

- a. The granting of a variance will not: reduce the required light and air to adjacent properties; constitute a nuisance to the properties within one hundred (100) feet of the property for which the variance is requested; or substantially reduce the monetary value of properties within one hundred (100) feet of the property for which the variance is requested.
- b. The general planning of the City with respect to land use, density of use and the location of streets and highways will not be jeopardized.
- c. Strict adherence to this Title would not secure appropriate development of the property for which the variance is requested.
- d. The property for which the variance is requested suffers a unique or singular disadvantage, not common to other property in the district, through the operation of this Title.

From <[https://library.municode.com/co/pueblo/codes/code\\_of\\_ordinances?nodeId=TITXVIIZO\\_CH5AD\\_ARTIIIIZOBOAPPODU\\_S17-5-34VACOGOAPPR](https://library.municode.com/co/pueblo/codes/code_of_ordinances?nodeId=TITXVIIZO_CH5AD_ARTIIIIZOBOAPPODU_S17-5-34VACOGOAPPR)>

Encroachment into front yard setbacks. A new principal structure, or an addition to an existing principal structure, may encroach into the required front yard setback up to the **average** existing front yard setback of the existing principal structures on adjacent lots on the same street frontage

From <[https://library.municode.com/co/pueblo/codes/code\\_of\\_ordinances?nodeId=TITXVIIZO\\_CH4ZODIREUSIN\\_ARTIISUDIRE\\_S17-4-31PRENINYA](https://library.municode.com/co/pueblo/codes/code_of_ordinances?nodeId=TITXVIIZO_CH4ZODIREUSIN_ARTIISUDIRE_S17-4-31PRENINYA)>

## Colorado Springs

Administrative adjustment up to 15% of dimensional standard

[https://codelibrary.amlegal.com/codes/coloradospringsco/latest/coloradosprings\\_co/0-0-0-55010](https://codelibrary.amlegal.com/codes/coloradospringsco/latest/coloradosprings_co/0-0-0-55010)

From <[https://codelibrary.amlegal.com/codes/coloradospringsco/latest/coloradosprings\\_co/0-0-0-55009](https://codelibrary.amlegal.com/codes/coloradospringsco/latest/coloradosprings_co/0-0-0-55009)>

- References contextual standards (averaging setbacks, preserving trees, )

### Non-use variance criteria approval

E. Criteria for Approval: A Non-Use Variance may be approved if the Planning Commission determines that:

1. The application complies with any standards for the use in Part 7.3.3 (Use-Specific Standards);
2. The property has extraordinary or exceptional physical conditions that do not generally exist in nearby properties in the same zone district;
3. That the extraordinary or exceptional physical condition of the property will not allow a reasonable use of the property in its current zone in the absence of relief;
4. That the granting of the Non-Use Variance will not have an adverse impact upon surrounding properties; and

From <[https://codelibrary.amlegal.com/codes/coloradospringsco/latest/coloradosprings\\_co/0-0-0-55009](https://codelibrary.amlegal.com/codes/coloradospringsco/latest/coloradosprings_co/0-0-0-55009)>

## APA quicknote

<https://www.planning.org/publications/document/9007635/>

four basic common general criteria for granting variances:

- (1) the variance is not contrary to public interest;
- (2) there are special conditions pertaining to the parcel;
- (3) literal enforcement of the variance would result in unnecessary hardship; and
- (4) the spirit of the ordinance is observed and justice done

### Area variances

- (1) whether the property in question has any beneficial use without the variance;
- (2) whether the variance is substantial;
- (3) whether the essential character of the neighborhood would be substantially altered or  
(part of #3 but seems separate) whether adjoining property would suffer detriment if the variance were granted;
- (4) whether the difficulty was self-created;
- (5) whether there are alternative means to obviate the owner's predicament; and
- (6) whether the spirit of the ordinance can be observed and substantial justice done by granting a variance.

**"Numerous requests for area variances in a specific zoning district may indicate that there is a poor fit between the dimensional standards for a particular zoning district and the existing building stock. This mismatch means that the district has a high number of nonconforming structures. In some cases the municipality may be actively trying to promote a transition to a different development pattern. In other cases, this mismatch reflects an outdated goal to recreate suburban development patterns in traditional urban neighborhoods. In the latter case the easiest way to avoid excessive area variance requests is to amend the district standards to match the historic fabric of the neighborhood. "**

### **DOLA model land use code**

- (1) One of the following conditions is met:
  1. The variance is necessary because literal enforcement of the provisions of this Code will result an unnecessary, and unreasonable hardship to the applicant caused by a unique site condition that is not generally applicable to other lots in the surrounding area; or
  2. The variance will allow a structure that is reasonably necessary for the convenience or welfare of the public; or
  3. The variance is necessary to allow or improve access to sunlight for solar energy devices; and
- (2) The need for the variance was not knowingly created or created without investigation of Code provisions by the owner, lessor, or operator of the property; and
- (3) The grant of the variance will not prevent or impair the use of, or the supply of light and air to, adjacent conforming property within the same zoning district;
- ~~(4) The grant of the variance will not prevent or impair the use of, or the supply of light and air to, adjacent conforming property within the same zoning district; and~~ ( #3 and #4 are repeated)
- (5) The effect of granting the variance is to allow the applicant development potential similar to, but not greater than, other lots in the same zoning district in the surrounding areas.

# Variance criteria table

Thursday, October 2, 2025 12:49 PM

	APA	DOLA	Colorado Springs	Pueblo	Manitou
Number of Criteria	4	3 + 1/3	4	4	2 + 4/6
Allows Administrative /minor Adjustments			Yes	yes	
	(1) the variance is not contrary to public interest;	(1) One of the following conditions is met: 1. The variance is necessary because literal enforcement of the provisions of this Code will result an unnecessary, and unreasonable hardship to the applicant caused by a unique site condition that is not generally applicable to other lots in the surrounding area; or 2. The variance will allow a structure that is reasonably necessary for the convenience or welfare of the public; or 3. The variance is necessary to allow or improve access to sunlight for solar energy devices; and	1. The application complies with any standards for the use in Part 7.3.3 (Use-Specific Standards);	a. The granting of a variance will not: reduce the required light and air to adjacent properties; constitute a nuisance to the properties within one hundred (100) feet of the property for which the variance is requested; or substantially reduce the monetary value of properties within one hundred (100) feet of the property for which the variance is requested.	
	(2) there are special conditions pertaining to the parcel;	(2) The need for the variance was not knowingly created or created without investigation of Code provisions by the owner, lessor, or operator of the property; and	2. The property has extraordinary or exceptional physical conditions that do not generally exist in nearby properties in the same zone district;	a. The general planning of the City with respect to land use, density of use and the location of streets and highways will not be jeopardized.	
	(3) literal enforcement of the variance would result in unnecessary hardship; and	3) The grant of the variance will not prevent or impair the use of, or the supply of light and air to, adjacent conforming property within the same zoning District (repeat #3 and #4, typo?)	3. That the extraordinary or exceptional physical condition of the property will not allow a reasonable use of the property in its current zone in the absence of relief;	a. Strict adherence to this Title would not secure appropriate development of the property for which the variance is requested.	
	(4) the spirit of the ordinance is observed and justice done	(5) The effect of granting the variance is to allow the applicant development potential similar to, but not greater than, other lots in the same zoning district in the surrounding areas.	4. That the granting of the Non-Use Variance will not have an adverse impact upon surrounding properties; and	The property for which the variance is requested suffers a unique or singular disadvantage, not common to other property in the district, through the operation of this Title.	

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