



MANITOU SPRINGS HISTORIC PRESERVATION COMMISSION REGULAR MEETING AGENDA

All upcoming HPC meetings are scheduled to be hybrid,
Zoom (remote) or in-person at Memorial Hall.

In Person: Memorial Hall

606 Manitou Avenue

Manitou Springs, CO 80829

Remote: A link is provided on the City's Official Website at

<https://www.manitouspringsgov.com/544/All-Boards-and-Commissions>

September 3, 2025

5:30 PM

A. CALL TO ORDER

B. APPROVAL OF MINUTES

1. HPC Minutes - 05/7/2025
2. HPC Minutes - 08/6/2025

C. PUBLIC COMMENT ON NON-AGENDA ITEMS

D. NOTICE OF COUNCIL ACTION

E. UNFINISHED BUSINESS

F. NEW BUSINESS

1. MCAC 2507 - 720 Manitou Avenue (Exterior alterations, siding and stairs)
2. MCAC 2508 - 310 Michigan Ave (Exterior Alterations, Deck Rebuild)
3. MCAC 2509 - 606 Manitou Avenue (Exterior Alterations, City Hall Windows)
4. MCAC 2510 - 106 Deer Path Avenue (Exterior Alterations, Windows)
5. MCAC 2511 - 190 Chelton Road (Exterior Alterations, Windows, reface foundation)

G. OTHER BUSINESS

H. ADJOURNMENT

Commissioners:

Laura Kindseth, Chair (03/31/2027)
Matthew Rose, Vice Chair (03/31/2028)
Erin Handlin (03/31/2029)
Matthew Murphy (03/31/2028)
Ann Nichols (03/31/2029)
Joy Porter(3/31/2029)
Tammila Wright, Alternate Member (03/31/2028)

Staff and Liaisons:

Michelle Whetherhult, City Council Liaison
Fred Rollenhagen, Planning Director
Chelsea Royston, Senior Planner
Erin Ringsred, Planner and Landscape Architect II
Zachary Davison, Planner I

1 regular and 2 alternate positions available

The City of Manitou Springs does not discriminate on the basis of disability in the admission to, access to, or operations of programs, services or activities. Reasonable accommodation will be provided to ensure equal access to all. Individuals who would like to request auxiliary aids or services should contact the ADA Coordinator at (719) 685-5481 or jfryer@manitouspringsco.gov. You may also contact the City Clerk's Office at cityclerk@manitouspringsco.gov or (719) 685-2554. Please provide a minimum of 3-5 days advance notice.

Interested citizens are invited to serve on any of the City's Boards or Commissions. Please contact the City Clerk's Office for more information or visit our website at: www.manitouspringsgov.com.



**CITY OF MANITOU SPRINGS
HISTORIC PRESERVATION COMMISSION**
Regular Meeting Minutes
Hybrid Meeting via Zoom and at Memorial Hall
May 7, 2025

I. CALL TO ORDER

A Regular Meeting of the Manitou Springs Historic Preservation Commission (HPC) was held at Manitou Springs Memorial Hall, 606 Manitou Avenue. Chair Kindseth called the meeting to order at 5:30 PM and declared a quorum present.

COMMISSIONERS PRESENT FOR ROLL CALL:

Chair Laura Kindseth
Commissioner Matthew Murphy
Commissioner Ann Nichols

COMMISSIONERS ABSENT FOR ROLL CALL:

Vice Chair Matthew Rose
Commissioner Joy Porter
Alternate Commissioner Tammila Wright

STAFF PRESENT:

Planning Director Frederick Rollenhagen
Planner Zachary Davison
Planner Erin Ringsred

II. APPROVAL OF MINUTES

1. April 2, 2025 Regular Meeting Minutes

Commissioner Nichols moved to approve the minutes as presented. Commissioner Murphy seconded the motion. The motion was carried (3-0).

III. PUBLIC COMMENT ON NON-AGENDA ITEMS

There was no public comment.

IV. NOTICE OF COUNCIL ACTION

Planner Ringsred announced the approval of the Hiawatha Garden contracts.

V. UNFINISHED BUSINESS

2. MCAC 2503 – 528 Canyon Avenue – Exterior Alterations

Planner Davison noted that during the last meeting it was recommended that the applicants return with more information on the condition of their existing windows. The purpose of the Material Change of Appearance Certification (MCAC) is to replace the wood and vinyl windows with Fibrex wood composite windows, matching the original design and layout. Existing conditions were shown, including storm windows on the exterior of the house, and original windows underneath. Planner Davison presented the proposed windows which were green on the outside and white on the inside matching the original color scheme.

There was a brief discussion about whether the existing storm windows would be staying on the house, to which Planner Ringsred stated that her understanding was that the new windows would eliminate need for the storm windows.

Sandy Disney and Ann Edinger residents of 528 Canon Avenue.

Chair Kindseth asked if there was any change on the condition of the windows since the last meeting

Sandy Disney, owner of 528 Canon Avenue, explained that the windows are thin and that the storm windows are not as efficient as the newer windows. The owner added that the price was increased because of the required grid design, and that was a factor in deciding whether to replace the windows or not. It was stated that efficiency was their goal.

Chair Kindseth recommended that they seek a window restoration specialist to cover the condition of the windows and stated that the old growth wood would be just as energy efficient as the fiberglass.

There was a brief discussion about window restoration specialists, during which Planner Ringsred advised that staff do not make company recommendations.

Chair Kindseth suggested that a list of every known window restoration specialist could be provided.

Planner Ringsred recommended that because of the lack of information provided, the application should be denied, and a new application could be provided at another time. Planner Ringsred confirmed that a list of window restoration specialists can be prepared.

Chair Kindseth moved to deny MCAC 2503 at 528 Canon Avenue, based upon the findings that the request does not meet the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050(B)(5). The motion was seconded by Commissioner Murphy. The motion was carried (3-0).

VI. NEW BUSINESS

3. MCAC 2504 - 606 Manitou Avenue – Exterior and Interior Alterations

Planner Davison presented MCAC 2504 and explained that the request is for an installation of a concrete pad, perimeter fencing, air ducts, removal of gas heaters, installation of ceiling cassette units, installation of energy recovery ventilation, VRF system installation, roof penetrations and installation of CO2 sensors. It was noted that the address is in the commercial core subdistrict and is zoned public facilities. The existing conditions were reviewed, including Heating, Ventilation, and Air Conditioning (HVAC) locations, electrical panels, along with a site mockup for the new HVAC units.

There was a brief discussion about whether the HVAC would be completely enclosed, in which Planner Davison confirmed that it would not be visible.

Kate Sipla, Program Manager with Schneider Electric, the contractor representing the applicant, the City of Manitou Springs, explained that this project was part of a larger project with the city. It was added that the energy efficiency project has City Council support. Program Manager Sipla stated that adding heating and cooling to 606 Manitou Avenue would add to the resilience of the building.

Rob Livingston, Construction Services Manager with Schneider Electric, confirmed that the new HVAC system will not be more visible than the current system.

There was further discussion about the visibility of the new HVAC system, during which Project Manager Sipla confirmed that the HVAC units would be located next to a ramp on the property and Construction Services Manager Livingston confirmed that the units would be surrounded by railing but would not be covered.

Chair Kindseth moved to approve MCAC 2503 at 606 Manitou Avenue, based upon the findings that the request meets the review criteria for granting a MCAC as set forth in City Code Section 17.04.050(B)(5). The motion was seconded by Commissioner Murphy. The motion was carried (3-0).

VII. OTHER BUSINESS

Planner Ringsred shared that HPC award invitations were sent out and that they are in the process of inviting additional city representatives and other groups that are part of city applications. Planner Ringsred clarified that 10 invitations were sent out and provided the option to bring guests. She added that the City Council, the Police Department, and the Mineral Springs Foundation are being invited. Planner Ringsred confirmed that the deadline to confirm attendance by May 25, 2025.

Chair Kindseth stated that she was pleased with the Architectural Treasures Hunt contest entry form.

Director Rollenhagen shared that the City Council approved Plan Manitou 2.0.

VIII. ADJOURNMENT

Chair Kindseth moved to adjourn the meeting. The motion was seconded by Commissioner Porter. The motion was carried (3-0).
The meeting adjourned at 6:02 PM.

If you need this document in an alternative format, such as large print, accessible PDF, or Braille, please contact the City Clerk's Office at cityclerk@manitouspringsco.gov or (719) 685-2554.



**CITY OF MANITOU SPRINGS
HISTORIC PRESERVATION COMMISSION**
Regular Meeting Minutes
Hybrid Meeting via Zoom and at Memorial Hall
August 6, 2025

A. CALL TO ORDER

A Regular Meeting of the Manitou Springs Historic Preservation Commission (HPC) was held at Manitou Springs Memorial Hall, 606 Manitou Avenue. Chair Kindseth called the meeting to order at 5:30 PM and declared a quorum present.

COMMISSIONERS PRESENT FOR ROLL CALL:

Chair Laura Kindseth
Vice Chair Matthew Rose
Commissioner Matthew Murphy
Commissioner Ann Nichols
Commissioner Joy Porter
Commissioner Erin Handlin

COMMISSIONERS ABSENT FOR ROLL CALL:

Alternate Commissioner Tammila Wright

STAFF PRESENT:

Senior Planner Chelsea Royston
Deputy City Clerk Kristen Dukoi
Project Manager Erin Ringsred

B. APPROVAL OF MINUTES

1. June 4, 2025
2. July 2, 2025

Commissioner Nichols moved to approve the minutes as presented. Commissioner Nichols seconded the motion. The motion was carried (5-0).

C. PUBLIC COMMENT ON NON-AGENDA ITEMS

There was no public comment.

D. NOTICE OF COUNCIL ACTION

There was no notice of council action.

E. UNFINISHED BUSINESS

There was no unfinished business.

F. NEW BUSINESS

There was no new business.

G. OTHER BUSINESS

1. Board and Commission Training

Clerk Dukoi presented a training on Colorado Sunshine Law, more specifically Open Meetings Law under C.R.S. 24.6.401 to 24.6.402. She explained that three or more members of any local public body where any public business is discussed must be open to the public. The various types of meetings were defined, including when public notice and minutes are required. She clarified that executive sessions are held during regular or special meetings. Best practices for meetings and emails were recommended, along with a review of what circumstances trigger Open Meetings Law.

A short quiz was given to the commission on Open Meetings Law.

Clerk Dukoi also presented on the Colorado Open Records Act (CORA) under C.R.S. 24.72.201 et. seq. and city processes. The law states that all public records shall be open for inspection by any person at reasonable times. The term public records was defined and shown to include correspondence of elected officials and appointed members. She shared that CORA allows the City Clerk to create rules for protection of records and prevention of interference of the regular duties of the clerk's office. The City of Manitou Springs public records policy was defined to make all records available unless the records are protected by law and it was noted that the full policy is on the city's website. Clerk Dukoi gave a brief overview on how to make a records request and the policies around responding to requests. The commission was informed that correspondence over text and email about public matters falls under CORA law.

2. Hiawatha Gardens Scope of HPC Review

Planner Royston presented a summary of applicable code requirements and the review process for the Hiawatha Gardens project. An overview of the Municipal review process was given to clarify the steps specific to the project. The Municipal Review Entitlements were outlined, which define the roles of relevant staff and commissions to the project in terms of final approval, recommendations, and preliminary review. Planner Royston clarified that Hiawatha Gardens is currently zoned as commercial, but it is anticipated

that it will be rezoned to public facilities. A breakdown was provided of what each reviewing body regulates, including City Staff, HPC, the City Planning Commission (CPC), the City Council, and the Pikes Peak Regional Building Department (PPRBD). Building regulations were addressed, including what falls within and outside of the scope of HPC. The project was defined as a rehabilitation of Hiawatha Gardens and site improvement areas on the property were shown.

Project Manager Ringsred shared why some terms in the scope of review were not in the purview of HPC.

There was a discussion about removing the flooring in the open-air pavilion, during which Project Manager Ringsred explained that the change to the flooring is more due to practical implications of having being in a flood plain, than rehabilitation. It was clarified that the proposed floor would be concrete, though the design and color are unknown. Project Manger Ringsred stated that she did not know what percentage of the flooring was ruined by water, but she did know that not all of it could be salvaged. She also confirmed that the flooring has not been removed.

There was a brief discussion about historic photos or documents of the pavilion to which Project Manager Ringsred referred to the Hiawatha Gardens project webpage on the city's website.

3. 717 Duclo Avenue – Administrative Demolition (Retroactive 2023)

Planner Royston explained that city staff was approached by a citizen about an illegal demolition of a cottage on the site of the Bonnie Castle. She added that the project was approved by PPRBD, but it was not routed to Manitou Springs. The owners indicated that previous staff told them they could demolish the structure since it was not the historic structure on the site. She noted that the owners have been working to comply, and that it would have been in staff's purview to implement a 10-year building permit moratorium. Planner Royston explained that the sentence would be too drastic as the main structure needed support. After further research it was found that the demolished structure was not a contributing factor to the site, nor was it original. Staff then approved the administrative demolition of the structure.

Commissioner Porter asked why PPRBD did not inform the city of the demolition.

Planner Royston stated that she did not know why the city was not informed, but that she would follow up. It was clarified that the matter was brought up to provide a clean slate for the owners before a Material Change of Appearance (MCAC) for the property is proposed.

H. ADJOURNMENT

Chair Kindseth moved to adjourn the meeting. The motion was seconded by Commissioner Porter. The motion was carried (5-0).
The meeting adjourned at 6:43 PM.

If you need this document in an alternative format, such as large print, accessible PDF, or Braille, please contact the City Clerk's Office at cityclerk@manitouspringsco.gov or (719) 685-2554.



Title: MCAC 2507 - 720 Manitou Avenue (Exterior alterations, siding and stairs)
From: Chelsea Royston
To: Historic Preservation Commission
Address of Proposal: 720 Manitou Avenue
Applicant: ST Properties - Owner

September 3, 2025

Proposal:

The applicant is requesting a Material Change of Appearance Certification (MCAC) for exterior alterations. The project consists of replacing exterior siding and reconstructing an exterior staircase.

Zone District:

Downtown (DWTN)

Historic Subdistrict:

Commercial Core

Background and Existing Conditions:

The owner seeks to replace the siding on an existing commercial building. The existing siding on the north facade of the building is wood horizontal lap siding with approximately four to six-inch reveals, and on the west side is vertical wood siding with approximately ten to twelve inch spacing between wooden seams. Both facades are proposed to be replaced with cement fiber horizontal lap siding with four-inch reveal.

The ground floor and second floor of the north and west facades are the only proposed sides to be reclad, as a similar scope of work for the east facade was completed in 2022. The work in 2022 began without permits but was eventually completed under MCAC 2209. The stone basement level facade along Fountain Creek is not proposed to be renovated. There is no proposed alterations to the primary facade, which faces south towards Manitou Avenue. The exterior staircase on the western facade serves the second-floor dwelling unit. The stairs exist in an easement that allow them to overhang the property boundary. The proposed reconstruction of the stairs would consist of wood framing with composite tread.

Public Involvement:

The application was noticed via postcards to properties within 300 feet of the property boundaries, in the newspaper, and via a poster posted on site. No comments have been received as of the publication of this report.

Findings and Review Criteria:

A 1991 Historic Inventory Report (attached) identified the structure as Contributing to the



Historic District. Therefore, the Secretary of the Interior's Standards for the Treatment of Historic Properties; Guidelines for Rehabilitating Historic Buildings have been consulted. These Guidelines identify "Replacing in kind an entire wood feature that is too deteriorated to repair (if the overall form and detailing are still evident) using physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. Examples of such wood features include a cornice, entablature, or a balustrade. If using wood is not feasible, then a compatible substitute material may be considered" (p.92) as a recommended rehabilitation treatment. Staff finds that the materials proposed are compatible based on the approval of MCAC 2209 which approved the same siding materials.

The exterior stairs were not identified on the Historic Inventory Report, so it is unknown when the stairs were added. Since the existing stairs and railings are not decorative, replacement of the staircase meets the recommended treatment guideline "Replacing in kind extensively deteriorated or missing components of entrance and porch features when there are surviving prototypes, such as railings, balustrades, cornices, columns, sidelights, stairs, and roofs, or when the replacement can be based on documentary or physical evidence. The new work should match the old in material, design, scale, color, and finish." (p.50)

Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to grant the Material Change of Appearance Certification, staff does not recommend any conditions.

Motion Language Options:

Approve the MCAC at 720 Manitou Avenue, based upon the findings that the request meets the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050.B.5 as presented.

Approve the MCAC at 720 Manitou Avenue, based upon the findings that the request meeting the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050.B.5, with an alteration to staff's conditions as follows...

Deny the MCAC at 720 Manitou Avenue, based upon the findings that the request does not meet the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050.B.5.

Postpone the MCAC at 720 Manitou Avenue to October 1, 2025 for further consideration.

ACCESS EASEMENT AGREEMENT

THIS ACCESS EASEMENT AGREEMENT (this "Agreement") is made and entered into this 26TH day of December, 2012 by and between RAYMOND G. WOLFE and SUSAN SPEARS WOLFE of 9950 Schubarth Trail, Woodland Park, Colorado 80863 ("Grantor") and HAKAN BATAN of 5305 Holmes Place, Boulder, Colorado 80303 ("Grantee"). Said parties to this Agreement are sometimes referred to herein as the "Parties" and individually as the "Party".

RECITALS

WHEREAS, Grantor is the owner of the real property located at 722 Manitou Avenue, Manitou Springs, Colorado 80829, in the County of El Paso, State of Colorado and more particularly described on Exhibit A, attached hereto and made a part hereof by this reference (the "Grantor's Property").

WHEREAS, Grantee is the owner of certain real property located at 720 Manitou Avenue, Manitou Springs, Colorado 80829, in the County of El Paso, State of Colorado and more particularly described on Exhibit B, attached hereto and made a part hereof by this reference (the "Grantee's Property").

WHEREAS, a portion of the building currently constructed on the Grantee's Property (the "720 Manitou Avenue Building") encroaches onto the Grantor's Property; namely the staircase and landing (the "Stairs") attached to the West side of the 720 Manitou Avenue Building and used to access the second floor of such building. The portion of Grantor's Property upon which the Stairs encroach is more particularly described on Exhibit C, attached hereto and made a part hereof by this reference (the "Easement Parcel").

WHEREAS, as fulfillment of a condition to Grantee's purchase of the Grantee's Property from Off The Grid, LLC, Grantor has agreed to grant a non-exclusive, limited easement over the Easement Parcel for the purpose of allowing the Stairs to continue to exist on the Easement Parcel and to allow the Stairs to be used to access the second floor of the 720 Manitou Avenue Building, subject to the terms and conditions set forth herein.

NOW, THEREFORE, for and in consideration of One Dollar (\$1.00) and the mutual covenants set forth in this Agreement and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties hereto agree as follows:

1. **Recitals**. The Parties hereby agree and acknowledge that the above Recitals are true and correct and are hereby incorporated into the body of this Agreement by this reference.
2. **Grant of Easement**. Subject to the terms hereof, Grantor hereby grants and conveys to Grantee and his respective heirs, successors and assigns, a non-exclusive, limited easement for the purpose of allowing Grantee to continue to use and maintain in place the Stairs located on the Easement Parcel for pedestrian access only to the second floor of the 720 Manitou Avenue Building for normal residential purposes only, and for no other purpose. Subject to the terms hereof, the easement granted herein shall be for the benefit of, and is appurtenant to, Grantee's Property. The easement shall only apply to the Stairs as they currently exist and shall not be expanded in any way. The Easement Parcel shall not be used for storage or any other

purpose by Grantee. Grantee shall not use or permit the use of the easement granted herein for any use prohibited by applicable laws, rules, regulations or codes.

3. **Reservation of Rights.** Grantor hereby reserves the right to use the Stairs and Easement Parcel for any and all purposes not inconsistent with the rights of Grantee as granted herein, and to grant other use rights therein that are not inconsistent with Grantee's easement rights. This will include the right of the owners of the Grantor's Property and their tenants, and their respective invitees, licensees, contractors, guests, employees, agents, representatives, successors, and assigns (collectively "Grantor's Tenants") to use the Stairs and Easement Parcel in common with Grantee to access the second floor of any building subsequently built on the Grantor's Property. Nothing herein shall be deemed to confer on Grantee a right of use of any of Grantor's Property other than the Easement Parcel. Grantee agrees not to assert any claim, right, title or interest in or to the Easement Parcel or Grantor's Property due to the use of the Stairs and the Easement Parcel by Grantee. It is the intent of the Parties that Grantee will not acquire any rights, title or interest in and to Grantor's Property by virtue of Grantee's use of the Easement Parcel or the Stairs or due to any use of or encroachment upon Grantor's Property by Grantee (or their tenants, employees, invitees or licensees).

4. **Maintenance and Improvements.** Grantee will be solely responsible for maintaining the Stairs and Easement Parcel in good order and repair, and in a safe, clean and sanitary condition, and as required by any applicable governmental rules, regulations, laws, ordinances or codes. This will include maintaining the structural integrity of the Stairs, including replacement and/or repair of all stairs, landings, supports and other construction materials as necessary, and maintaining the Easement Parcel in a safe, clean, uncluttered, orderly and sanitary condition. This will also include maintaining appropriate lighting and keeping the Stairs and Easement Parcel free from snow, ice, dangerous conditions, hazards and obstructions. If Grantee fails to perform his maintenance and repair obligations set forth herein, then Grantor (or their successors and assigns) may (but will not be obligated to) perform such work and Grantee will reimburse them for the costs of performing such work within thirty (30) days of notice of payment of such costs, together with interest thereon at the rate of 18% per annum. Any maintenance or repair work done shall be performed in a manner as to cause the least interference with the use of the Grantor's Property and Grantee shall give Grantor ten (10) days notice prior to making nonemergency repairs. Grantee shall promptly repair any damage done by, or resulting from the actions, omissions or operations of, Grantee, and his tenants and their respective invitees, licensees, contractors, guests, representatives, owners, employees, agents, successors or assigns (collectively, "Tenants") to the Easement Parcel or Grantor's Property. Grantee shall promptly repair all damages caused to the Easement Parcel and Grantor's Property due to the repair, replacement or removal of the Stairs by Grantee.

5. **Insurance/Indemnity.** Grantee will maintain commercial liability insurance coverage with limits of not less than \$1,000,000 per occurrence and \$1,000,000 aggregate with an insurance company reasonably acceptable to the Grantor, covering any events that may occur on the Stairs and Easement Parcel on an occurrence basis, naming the Grantor (and their heirs, tenants, successors and assigns) as additional insureds, and will provide proof thereof upon request. Such insurance shall require thirty (30) days written notice to all insureds before modification or cancellation. Grantee hereby releases and agrees to indemnify, defend and hold Grantor harmless from and against any losses, claims, damages, suits, penalties, actions and liabilities (including reasonable attorneys' fees and costs) of whatever kind or nature arising out

of Grantee's or its Tenants' use of the Stairs and Easement Parcel or from the existence of the Stairs on the Easement Parcel or from a breach by Grantee hereof.

6. **Termination/Removal.** This easement will terminate, and be of no further force and effect at such time as the 720 Manitou Avenue Building or its second floor is demolished, condemned or is no longer being used or occupied for a period of six months; or if alternate access to the second floor of such building is constructed or obtained in the future, or upon cessation of such use by Grantee, or if any structural changes are made to such building. Upon such termination, and following written request from Grantor, Grantee agrees to remove the Stairs from the Easement Parcel at his sole expense within twenty (20) days. If Grantee shall fail or refuse to remove any encroachment from the Easement Parcel upon termination of this Agreement, then Grantor may (but shall not be obligated to) remove the encroachment from Grantor's Property and shall be entitled to reimbursement for all reasonable costs incurred for such removal from Grantee upon presentation of all invoices for such removal. Payment shall be due within ten (10) days after receipt of such invoices. Any payment not received within such time shall accrue interest at the rate of eighteen percent (18%) per annum until paid. The remedies provided herein shall not limit Grantor from pursuing any other remedies available to Grantor at law or in equity.

7. **Relocation/Improvements.** The Stairs and Easement Parcel may be relocated by Grantor to another location upon the Grantor's Property provided that the substituted easement parcel and stairs provide substantially equivalent access as provided hereunder. This may include relocation to the interior of any building subsequently built on the Grantor's Property. In the event of such relocation, Grantor shall amend this Agreement to change the legal description of the Easement Parcel to the new description. No other improvements besides the Stairs shall be made by Grantee to the Easement Parcel without Grantor's prior written approval.

8. **Noninterference.** The easement, rights and privileges hereinbefore granted shall be used and enjoyed in such a manner as to cause the least possible interference with the conduct and operations of any business at any time existing on the Grantor's Property.

9. **Mechanic's Liens.** Grantee shall not permit any mechanics liens to be placed upon the Easement Parcel for any work performed on such parcel. Should any liens be filed against the Easement Parcel, Grantee shall cause such lien to be removed within thirty (30) days or shall cause a bond to be filed with the appropriate court to obtain a release of the lien. If the lien is not removed or bonded by Grantee, Grantor may file a bond for the removal of the lien, and shall be reimbursed for the full costs of such bond by Grantee upon request.

10. **Failure to Perform.** If there is a failure by either party to perform, fulfill or observe any agreement contained within this Agreement, to be performed, fulfilled or observed by it continuing for thirty (30) days, or in situations involving potential danger to the health or safety of persons in, on or about the Stairs and/or Easement Parcel or substantial deterioration of the Stairs and/or Easement Parcel, in each case after written notice, the other party may, at its election, cure such failure or breach on behalf of the defaulting party. Any amount which the party so electing shall expend for such purpose, or which may otherwise be due by either party to the other, shall be paid to the party to whom due on demand, without contest, upon delivery of its invoice, together with interest at the rate of eighteen percent (18%) per annum, from the date of the expenditure or the date when it shall have become due to the date of payment in full.

11. **Notice.** Any notice provided for or concerning this Agreement shall be in writing, and shall be deemed sufficiently given (a) three days after being mailed when sent by certified or registered U.S. mail, return receipt requested, to the respective address of each party, as set forth at the beginning of this Agreement; or (b) on the date of delivery when personally delivered; or (c) on the next day, if delivered by commercial overnight courier addressed to the respective party at their address set forth at the beginning of this Agreement. Any Party may designate a different address for notice by providing written notice of such new address to the other Party hereto in accordance with this notice provision.

12. **Governing Law.** It is agreed that this Agreement shall be governed by, construed, and enforced in accordance with the laws of the State of Colorado. The parties agree that the Courts in El Paso County, Colorado, shall have proper venue and jurisdiction for any action brought hereunder. In the event any legal action or arbitration proceeding is brought in connection with this Agreement or the easement granted hereunder, then the prevailing party shall be entitled to recover its reasonable attorney's fees and costs associated with such dispute.

13. **Successors and Assigns.** This Agreement and the rights and obligations granted hereby shall "run with the land" and will inure to the benefit, and bind alike, the heirs, devisees, personal representatives, principals, agents, tenants, successors, and assigns of the parties or any party who shall, after the date hereof, acquire title to the properties subject hereto. Accordingly, the terms "Grantor" and "Grantee" shall refer to their respective personal representatives, principals, agents, tenants, heirs, successors and assigns. The easement granted herein is appurtenant to the Grantee's Property and may not be assigned or conveyed apart or separately from such Property. However, the easement granted hereunder may be used by Grantee's Tenants, provided they agree to the terms hereof.

14. **Arbitration.** Any controversy or claim arising out of or relating to this Agreement, or its making, interpretation or performance, shall be settled by binding arbitration in Colorado Springs, Colorado, conducted in accordance with the existing rules of the Colorado Uniform Arbitration Act (C.R.S., § 13-22-201), and judgment on the arbitration award may be entered in any court of proper jurisdiction. If the parties to the dispute cannot agree upon an arbiter within ten (10) days after notice of arbitration is given by one of the parties to the other, the Judicial Arbitrator's Group ("JAG") shall be used. If JAG is not then in existence, the chief judge for the Fourth Judicial District shall select the arbiter. However, this arbitration provision shall not preclude any party from seeking injunctive relief from any court of competent jurisdiction in the event of a breach or violation of this Agreement, or from pursuing legal action to enforce this arbitration provision. Unless the arbiter finds exceptional circumstances justify delay, the arbitration proceeding shall be completed and an award rendered within ninety (90) days of filing the dispute with the arbiter, and discovery procedures shall be expedited to accommodate such schedule.

15. **Recording.** This Agreement shall be recorded in the real estate records of El Paso County, Colorado.

16. **Construction/Miscellaneous.** This Agreement contains the entire agreement between the Parties, and may only be amended or waived by writing signed by the Parties hereto, or their respective successors and/or assigns. Any provision of this Agreement found to be

EXHIBIT A

Grantor's Property/Wolfe's Property

Part of Lot 10, C. R. Standish's Subdivision of Lots numbered 20, 21 and Parts of lots 19, 22 and 23 in Block C, Manitou Springs bounded on the Westerly side by the Easterly line of tract conveyed by Book 565-362, and bounded on the Easterly side by the Westerly line of tract conveyed by Book 565-244.

Also known as: 722 Manitou Avenue, Manitou Springs, CO 80829

EXHIBIT B

Grantee's Property

PROPERTY DESCRIPTION:

PARCEL A:

THAT PORTION OF LOT 10, C.R. STANDISH'S SUBDIVISION OF LOTS NUMBERED 20, 21 AND PARTS OF LOTS 19, 22 AND 23 IN BLOCK C OF THE TOWN OF MANITOU, NOW A PART OF THE CITY OF MANITOU SPRINGS, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID LOT, 25 FEET WESTERLY FROM THE SOUTHEAST CORNER THEREOF, THENCE WESTERLY ALONG SAID SOUTHERLY LINE 49 FEET, THENCE NORTHERLY TO A POINT ON THE NORTHERLY LINE OF SAID LOT, 77 1/2 FEET WESTERLY FROM THE NORTHEAST CORNER THEREOF, THENCE EASTERLY ALONG SAID NORTHERLY LINE 52 1/2 FEET, THENCE SOUTHERLY TO THE PLACE OF BEGINNING, EL PASO COUNTY, COLORADO.

PARCEL C:

THAT PORTION OF THE EASTERLY 25 FEET OF LOT 10 IN C.R. STANDISH'S SUBDIVISION OF LOTS NUMBERED 20, 21 AND PARTS OF LOTS 19, 22 AND 23 IN BLOCK C OF THE TOWN OF MANITOU, NOW A PART OF THE CITY OF MANITOU SPRINGS LYING WESTERLY OF THE EXISTING BRIDGE OVER FOUNTAIN CREEK MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID LOT, A DISTANCE OF 5.6 FEET WESTERLY FROM THE SOUTHWEST CORNER OF THAT TRACT SURVEYED BY GLENN H. CONARD NOVEMBER 28, 1972; THENCE WESTERLY ALONG SAID SOUTHERLY LINE 23.97 FEET TO THE SOUTHEAST CORNER OF THAT TRACT OF LAND DESCRIBED IN DEED TO C.A. SMISCHNY AND DONALD D. BAKER, RECORDED MAY 18, 1971 IN BOOK 2409 AT PAGE 265 OF THE RECORDS OF EL PASO COUNTY, COLORADO; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID TRACT 39.72 FEET TO THE NORTHEAST CORNER OF SAID TRACT, WHICH IS ALSO ON THE NORTHERLY LINE OF SAID LOT 10; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 10, 24.88 FEET; THENCE SOUTHERLY 29.59 FEET TO THE POINT OF BEGINNING, IN EL PASO COUNTY, COLORADO.

Also known as: 720 - 718 Manitou Avenue, Manitou Springs, Colorado 80829

EXHIBIT C

Easement Parcel

LWA Land Surveying, Inc.

2906 Beacon Street, Suite B
Colorado Springs, CO 80907
719-636-5179
719-636-5199 fax

EASEMENT DESCRIPTION - SECOND STORY ACCESS TO 720 MANITOU AVENUE

A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN ACCESS OVER AND ACROSS A PORTION OF LOT 10, C.R. STANDISH'S SUBDIVISION OF LOTS NUMBERED 20, 21 AND PARTS OF LOTS 19, 22 AND 23 IN BLOCK C OF THE TOWN OF MANITOU, IN THE CITY OF MANITOU SPRINGS, EL PASO COUNTY, COLORADO, BEING A PORTION OF THE TRACT OF LAND DESCRIBED IN BOOK 2598 AT PAGE 640 OF THE EL PASO COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 1, THE STAGECOACH INN SUBDIVISION AS SHOWN ON THE SUBDIVISION PLAT THEREOF RECORDED UNDER RECEPTION NUMBER 203122284 OF THE EL PASO COUNTY RECORDS;

THE BASIS OF BEARINGS FOR THIS DESCRIPTION IS THE WEST LINE OF LOT 1, N12°39'57"W - 38.00 FEET. THE DIRECTION IS BASED ON THE RECORDED PLAT AND THE LINE IS MONUMENTED BY A PK NAIL AND WASHER "LWA PLS 28658" ON BOTH ENDS

THENCE WESTERLY ON THE NORTHERLY RIGHT OF WAY OF MANITOU AVENUE ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 300.00 FEET THROUGH A CENTRAL ANGLE OF 12°11'24" AN ARC DISTANCE OF 63.83 FEET, THE LONG CHORD OF WHICH BEARS N80°48'36"W A DISTANCE OF 63.71 FEET, TO A CROSS IN THE CONCRETE REFERENCED TO A SURVEY BY COX IN 1972;

THENCE N70°13'W A DISTANCE OF 78.5 FEET, MORE OR LESS, TO A POINT ON THE NORTHERLY RIGHT OF WAY OF MANITOU AVENUE AND THE SOUTHEAST CORNER SAID TRACT OF LAND DESCRIBED IN BOOK 2598 AT PAGE 640, SAID POINT BEING THE POINT OF BEGINNING OF THE TRACT DESCRIBED HEREIN.

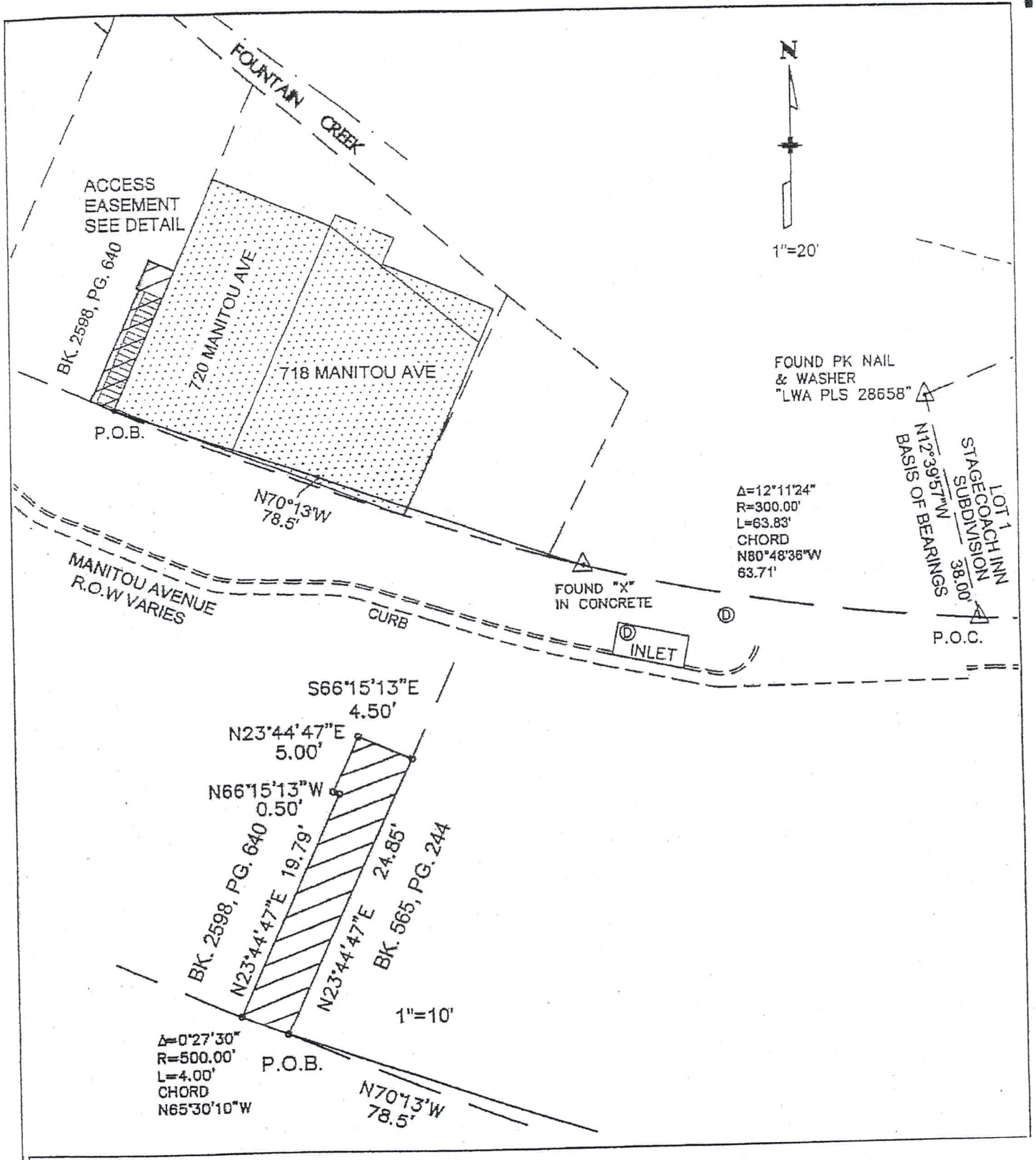
THENCE NORTHWESTERLY ALONG SAID NORTHERLY RIGHT OF WAY AND THE SOUTHERLY LINE OF SAID TRACT ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 500 FEET THROUGH A CENTRAL ANGLE OF 0°27'30" AN ARC DISTANCE OF 4.00 FEET, THE LONG CHORD OF WHICH BEARS N65°30'10"W;
THENCE N23°44'47"E A DISTANCE OF 19.79 FEET;
THENCE N66°15'13"W A DISTANCE OF 0.50 FEET;
THENCE N23°44'47"E A DISTANCE OF 5.00 FEET;
THENCE S66°15'13"E A DISTANCE OF 4.50 FEET TO A POINT ON THE EASTERLY LINE OF SAID TRACT; THENCE S23°44'47"W ALONG SAID EASTERLY LINE A DISTANCE OF 24.85 FEET TO THE POINT OF BEGINNING;

THE DESCRIBED TRACT CONTAINS 102 SQUARE FEET, MORE OR LESS.



EXHIBIT C

Easement Parcel





MANITOU SPRINGS DEVELOPMENT REVIEW APPLICATION

606 Manitou Avenue, Manitou Springs, CO 80829 (719) 685-4398 Phone (719) 685-5233 Fax

ACTION NUMBER(S) _____
DEPOSIT SUBMITTED \$ _____ FEE(s): _____

+ 50.00 Documents Fee per request

REQUEST(s)

- | | | |
|---|---|--|
| <input type="checkbox"/> Major Conditional Use | <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Minor Development |
| <input type="checkbox"/> Minor Conditional Use | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Vacation of R-O-W |
| <input type="checkbox"/> Vacation Plat | <input type="checkbox"/> Subdivision Waiver | <input type="checkbox"/> Easement Vacation |
| <input type="checkbox"/> Minor Annexation | <input type="checkbox"/> Major Annexation | <input type="checkbox"/> Floodplain Variance |
| <input type="checkbox"/> Major Development Plan | <input type="checkbox"/> Concept Plan | |

Major Subdivision (specify type)

- | | | |
|--------------------------------------|---|-------------------------------------|
| <input type="checkbox"/> Master Plan | <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Final Plat |
|--------------------------------------|---|-------------------------------------|

Variance (specify type and dimension/#)

- Front ___ Side ___ Rear ___ Height ___ Sign ___ Parking ___ Lot Size/Density ___

Material Change of Appearance Certification

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Exterior Alteration or Remodel | <input type="checkbox"/> New Construction | <input type="checkbox"/> State Tax Credits |
| <input type="checkbox"/> Demolition Recommendation | <input type="checkbox"/> District Designation | <input type="checkbox"/> Property Designation |
| ___ Commercial ___ Residential | ___ Local ___ Nat. Register | ___ Local ___ Nat. Register |

Appeals (Not subject to Documents Fee)

- | | |
|--|---|
| <input type="checkbox"/> Appeal to Planning Commission | <input type="checkbox"/> Historic Sign Designation |
| <input type="checkbox"/> Appeal to City Council | <input type="checkbox"/> Appeal to Historic Preservation Commission |

PROPERTY ADDRESS: 720 Manitou Ave. Manitou Springs, CO 80829

CURRENT ZONE DESIGNATION: Downtown

***** Please read about the process on the back -- initial where indicated *****

APPLICANT NAME AND ADDRESS

ST Properties
 925 Manitou Ave.
 Manitou Springs, CO 80829
 Phone () 719.209.8693 Fax () _____
 Email flyingeagle946@gmail.com
 Cell phone () 719.209.8693

OWNER NAME AND ADDRESS

ST Properties
 925 Manitou Ave.
 Manitou Springs, CO 80829
 Phone () _____ Fax () _____
 Email flyingeagle946@gmail.com
 Cell Phone () 719.209.8693

APPLICANT'S STATEMENT: I UNDERSTAND THE PROCEDURES THAT APPLY TO MY REQUEST AND ACKNOWLEDGE AN INCOMPLETE APPLICATION SHALL NOT BE PROCESSED OR SCHEDULED FOR PUBLIC HEARING UNTIL SUCH TIME AS IT IS COMPLETE. CITY ACCEPTANCE OF THE APPLICATION, FEE AND ANY ACCOMPANYING MATERIALS DOES NOT CONSTITUTE COMPLETENESS. I FURTHER AGREE TO REIMBURSE THE CITY FOR TECHNICAL AND PROFESSIONAL CONSULTANT EXPENSES THAT MAY BE INCURRED DURING THE REVIEW OF MY REQUEST. FAILURE TO REIMBURSE THE CITY FOR INVOICED EXPENSES CONSTITUTES AN INCOMPLETE APPLICATION. I UNDERSTAND AND ACKNOWLEDGE THE USE OR ACTION FOR WHICH APPROVAL IS REQUESTED IS NOT ALLOWED UNLESS THE PERMIT IS GRANTED. I UNDERSTAND A PRE-APPLICATION APPOINTMENT IS REQUIRED A MINIMUM OF 10 WORK DAYS PRIOR TO SUBMISSION DEADLINE. ALL APPLICATIONS AND MATERIALS SHALL BE SUBMITTED ELECTRONICALLY TO: planningdept@comsgov.com

APPLICANT'S SIGNATURE

DATE

OWNER'S STATEMENT: I HAVE READ AND AGREE TO THE ABOVE STATEMENTS. IN ADDITION, IF I AM NOT THE APPLICANT FOR THIS REQUEST, I FURTHER GIVE THE ABOVE DESIGNATED APPLICANT PERMISSION TO MAKE THE REQUEST ON MY BEHALF.

PROPERTY OWNER'S SIGNATURE

DATE

Existing Creekside View



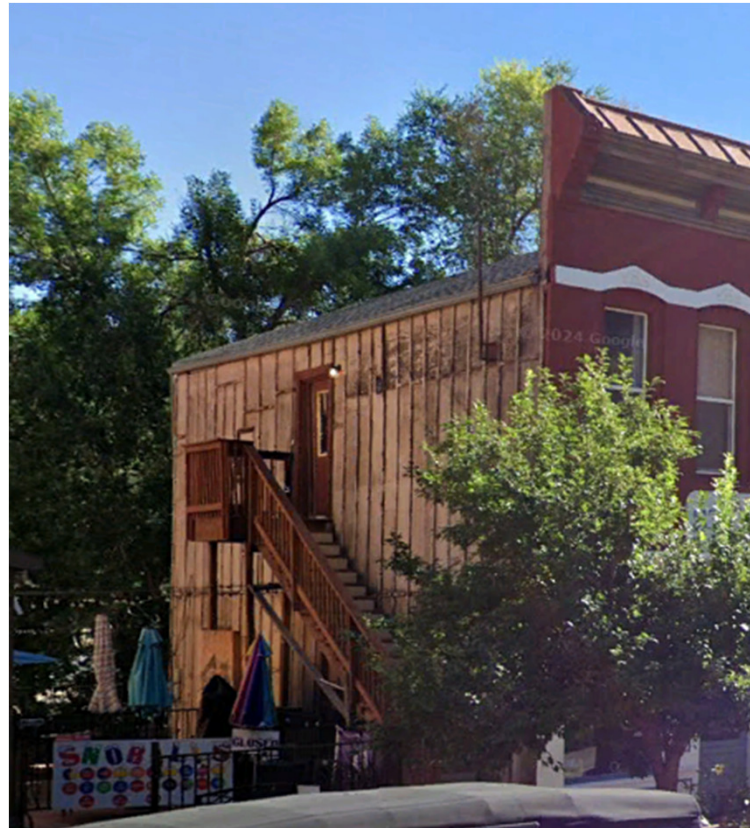
Showing deteriorating siding & trim

Proposed Creekside View



New siding & trim installed, existing rubble foundation remains

Existing Streetside View



Showing deteriorating siding & trim & failing stairway

Proposed Streetside View



Siding & trim replaced – Stairway rebuilt to code compliance



Example of Exterior Porch Light

Letter of Explanation – Renewal of exterior siding at 720 Manitou Ave.

Property Address – 720 Manitou Ave. Manitou Springs, CO 80829 (719)209-8693

Owner & Applicant – ST Properties 925 Manitou Ave. Manitou Springs, CO 80829 (719)209-8693

Designer – DDD Services PO Box 77162 Colorado Springs, CO 80970 (719)637-0522

Existing improvements on property – Window replacement and stucco refinish

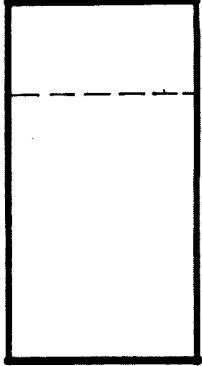
Scope of project – Applicant would like to replace siding which is currently deteriorating and replace the unsafe stairway used as access to the upstairs dwelling unit. Materials are selected to compliment the existing building and surrounding properties.

Detailed description of proposal with materials– Existing siding will be removed from the building and replaced with Hardi-plank or LP siding with a 4” exposure. Stairway will be constructed similar to the existing with wood framing and composite tread materials.

COLORADO HISTORICAL SOCIETY
 Office of Archaeology and Historic Preservation
 1300 Broadway, Denver, Colorado 80203
HISTORIC BUILDING INVENTORY RECORD

NOT FOR FIELD USE	
<input type="checkbox"/>	ELIGIBLE
<input type="checkbox"/>	DET. NOT ELIGIBLE
<input type="checkbox"/>	NOMINATED
<input type="checkbox"/>	CERTIFIED REHAB
<input type="checkbox"/>	DATE _____

PROJECT NAME Manitou Springs Commercial Area		COUNTY El Paso	CITY Manitou Springs	STATE ID NO. 5EP530.99 TEMPORARY NO. 720.MA
CURRENT BUILDING NAME Peggie's Antiques			OWNER Ann Clark Estate - Frances Williams, Per. 718 Manitou Avenue Manitou Springs, CO 80829	
ADDRESS 720 Manitou Avenue Manitou Springs, CO 80829 7405347005			TOWNSHIP 14S RANGE 67W SECTION NE 1/4, SW 1/4	
HISTORIC NAME			USGS QUAD NAME Manitou Springs, Colorado YEAR 1961 7.5	
DISTRICT NAME Manitou Springs Historic District MRA			ADDITION CR Standish Sub of Lots 20,21 YEAR 1875	
BLOCK			LOT(S)	
FILM ROLL # MS-13 FILM ROLL #	NEGATIVE # 21 NEGATIVE #	NEGATIVE LOCATION City of Manitou Springs Planning BY: Andrews & Anderson		DATE OF CONSTRUCTION ESTIMATE ACTUAL 1885 SOURCE El Paso County Assessor Records
			USE PRESENT Commercial Storefront HISTORIC Dairy	
			CONDITION EXCELLENT FAIR X GOOD DETERIORATING	
			EXTENT OF ALTERATIONS MINOR MODERATE X MAJOR DESCRIBE Exterior Stuccoed	
			ORIGINAL SITE X MOVED DATE(S) OF MOVE:	
			NATIONAL REGISTER ELIGIBILITY INDIVIDUAL YES NO X LISTED	
			DISTRICT POTENTIAL YES X CONTRIBUTING X NO NONCONTRIBUTING	
			LOCAL LANDMARK DESIGNATION NAME DATE	
STYLE 19th Century Commercial			STORIES 2	
MATERIALS Stucco over wood frame			SQUARE FOOTAGE 1500	
ARCHITECTURAL DESCRIPTION Two story, rectangular, commercial structure; 1st floor typical storefront w/display windows either side of recessed, centered entry w/transom windows above, smooth wood kneewall below; 2nd floor - 4 original 1/1 double hung windows, sill band runs across facade, pedimented lintels w/ band running btwn. lintels/across facade; upper floor stuccoed; large, pressed metal cornice			ASSOCIATED BUILDINGS YES X NO TYPE 718 Manitou Avenue	
ADDITIONAL PAGES NO			IF INVENTORIED, LIST ID # 718.MA	

 <i>MANITOU AVENUE</i>	TEMP NO. 720.MA
	ARCHITECT Unknown
	SOURCE
	ORIGINAL OWNER Alden L. and Florence H. Fox (earliest avail.)
	SOURCE El Paso County Assessor Records
BUILDER/CONTRACTOR Unknown	
SOURCE	
THEME(S) 19th Century Urban Growth/Railroad	



CONSTRUCTION HISTORY (description, names, date, etc. relating to major additions or alterations to original structure)
 Addition visible from the rear - date unknown; 1955 - Assessor Record refers to "New Front"

CONTINUED? NO

HISTORICAL BACKGROUND (important persons and events associated with this structure)
 Purported to have been Manitou Springs' Dairy.

CONTINUED? NO

SIGNIFICANCE (check appropriate categories and briefly justify below)

ARCHITECTURAL SIGNIFICANCE:

HISTORICAL SIGNIFICANCE:

REPRESENTS WORK OF A MASTER

POSSESSES HIGH ARTISTIC VALUES

X REPRESENTS A TYPE, PERIOD, OR METHOD OF CONSTRUCTION

ASSOCIATED WITH SIGNIFICANT PERSONS

ASSOCIATED WITH SIGNIFICANT EVENTS OR PATTERNS

X CONTRIBUTES TO AN HISTORIC DISTRICT

STATEMENT OF SIGNIFICANCE

Although alterations have obscured some of the historic materials, the 1st floor and upper floor windows/cornice remain intact and contributes to the continuum of historic commercial structures along Manitou Avenue.

CONTINUED? NO

REFERENCES (be specific)

El Paso County Assessor Records

CONTINUED? NO

SURVEYED BY Kris Ashbeck

AFFILIATION Manitou Springs Historic Preservation Commission

DATE 07/01/91



Title: MCAC 2508 - 310 Michigan Ave (Exterior Alterations, Deck Rebuild)
From: Chelsea Royston
To: Historic Preservation Commission
Address of Proposal: 310 Michigan Avenue
Applicant: Hector Payan, Footprint Decks

September 3, 2025

Proposal:

The applicant seeks approval to reconstruct an attached deck that has deteriorated.

Zone District:

General Residential (GR)

Historic Subdistrict:

Minnehaha - Pilot Knob

Background and Existing Conditions:

The existing wooden deck is approximately 288 square feet and is constructed along the southern facade on the main level of the structure. Due to severe topography on the site, the deck is elevated approximately ten feet from the top of a stone retaining wall. The existing deck has a sparse pergola over the deteriorated wood decking, and the railing is without ornamentation. It is unknown when the deck or the pergola were constructed or if they were permitted. The footprint of the deck serves both the original historic structure, as well as the addition, so it is assumed that the deck is not original to the structure and was not constructed within the period of significance.

The applicants propose a steel frame and railing with composite decking, however, if required by the Historic Preservation Commission, they would use pressure-treated wood as a more traditional material. The dimensions of the deck are not intended to be modified, and the location of the existing concrete footers are intended to be re-poured for the new support posts. The scope of work also includes replacing existing stairs that provide access down to the yard.

Public Involvement:

The application was noticed via postcards to properties within 300 feet of the property boundaries, in the newspaper, and via a poster posted on site. No comments have been received as of the publication of this report.

Findings and Review Criteria:

The structure was determined to be contributing to the historic district using the criteria outlined



in Section 17.04.041.2 and therefore, the standards outlined in the Manitou Springs Historic District Design Guidelines Chapter 4: Preservation, Alterations, and Additions to Contributing Residential Structures shall apply.

Guideline 4.12 When repairing historic porches, maintain original materials and rail height. When this is not feasible, use materials that match the original.

The design guidelines relate more to front porches, which this structure appears to have had at some point. The deck in question is on the rear of the structure and there is no prominent roof structure above it. The design guidelines state "Typical (porch) materials are stone or wood. Porch Railings and balustrades are typically wood and are found in a wide variety of patterns. Ornate "jigsaw" brackets and turned posts ... are not typical in Manitou Springs." The recommendation is to "repeat the existing balustrade design" which the proposed design complies with. As the guideline recommends matching original materials, staff recommends the condition that the railing and balusters be replaced with wood rather than steel.

Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to grant the Material Change of Appearance Certification, staff recommends the following condition:

1. The railing and balusters shall be replaced with wood to match the existing design, as allowed by Pikes Peak Regional Building Department. Planning staff shall have approval authority over the final design.

Motion Language Options:

Approve the MCAC at 310 Michigan Avenue, based upon the findings that the request meets the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050.B.5 as presented.

Approve the MCAC at 310 Michigan Avenue, based upon the findings that the request meeting the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050.B.5, with an alteration to staff's conditions as follows...

Deny the MCAC at 310 Michigan Avenue, based upon the findings that the request does not meet the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050.B.5.

Postpone the MCAC at 310 Michigan Avenue to October 1, 2025 for further consideration.



Manitou Springs Land Use & Development Code

PRE-APPLICATION CONFERENCE SUMMARY

The main component of any application is demonstration of compliance with the LUDC. Applicants are expected to review the specific submittal checklists and standards, found at www.manitouspringsgov.com.

APPLICABILITY

The purpose of the pre-application meeting is to inform an applicant of review procedures, submittal requirements, development standards, and other pertinent matters before finalizing the development proposal application. Staff comments presented during a pre-application meeting are informational only and do not represent a commitment on behalf of the City regarding acceptability of the proposal. Staff comments are not intended to be all-inclusive or to guarantee a favorable staff report recommendation. This Summary will be prepared by staff and is valid for 12 months.

APPLICATION INFORMATION

Pre-Application Meeting Information

Meeting Number _____ Project Manager Chelsea Royston

Meeting Date 8/5/25 Summary Issue Date 8/5/25

Project Information

Project Name deck reconstruction

Physical Address 310 Michigan Ave

Tax Schedule Number (TSN) 7406109023

Meeting Attendees

Name	Agency/Company	Email/Phone
Hector Payan	Footprint Decks	office@footprintdecks.com
Mina Manzanares	Footprint Decks	mina@footprintdecks.com



APPLICATION REQUIREMENTS

The following is required if checked. Checklists can be found online at manitouspringsgov.com

Physical Development

- | | |
|---|---|
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Hillside Development Plan |
| <input checked="" type="checkbox"/> Material Change of Appearance | <input type="checkbox"/> Sign Permit |
| <input checked="" type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Grading Permit |
| <input type="checkbox"/> Minor Development Plan | <input checked="" type="checkbox"/> Property Improvement Permit |
| <input type="checkbox"/> Major Development Plan | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Minor Modification | |

Land Use

- | | |
|---|---|
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Wireless Facility Permit |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Temporary Use Permit – Minor |
| <input type="checkbox"/> Short-term Rental Permit | <input type="checkbox"/> Temporary Use Permit – Major |
| <input type="checkbox"/> Long-term Occupancy Permit | |

Subdivisions

- | | | |
|--|--|---|
| <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Boundary Adjustment | <input type="checkbox"/> Easement Vacation |
| <input type="checkbox"/> Major Subdivision | <input type="checkbox"/> Revised Final Plat | <input type="checkbox"/> Rights-of-Way Vacation |
| <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Waiver of Replat | <input type="checkbox"/> Subdivision Waiver |
| <input type="checkbox"/> Final Plat | | |

Supporting Documents & Studies

- | | |
|--|--|
| <input type="checkbox"/> Geologic Hazard Evaluation <ul style="list-style-type: none"><input type="checkbox"/> Tier I<input type="checkbox"/> Tier II<input type="checkbox"/> Tier III | <input type="checkbox"/> Ecological Characterization Study |
| <input type="checkbox"/> Landscape Plan <ul style="list-style-type: none"><input type="checkbox"/> Irrigation Plan | <input type="checkbox"/> Photometric Plan |
| <input type="checkbox"/> Drainage Report <ul style="list-style-type: none"><input type="checkbox"/> < one acre of disturbance<input type="checkbox"/> ≥ one acre of disturbance | <input type="checkbox"/> Traffic Impact Analysis |
| | <input type="checkbox"/> Alternative Parking Plan |
| | <input type="checkbox"/> Shared Parking Study |
| | <input type="checkbox"/> Wildfire Site Assessment |
| | <input type="checkbox"/> Improvement Guarantee |
| | <input type="checkbox"/> Cash-In-Lieu of Land Dedication, Fair Market Value Assessment |

MEETING NOTES

The applicants inquired about rebuilding a deck. The property is in the Minnehaha-Pilot Knob historic subdistrict. The existing deck is made of wood. The proposed reconstruction will maintain the same building dimensions, which is approximately 12 feet by 24 feet, and is 8-10 feet above grade. Assuming the deck complies with setbacks there are two paths forward.

If the deck is rebuilt in wood (like for like material) it requires:

- a minor site plan
- Property improvement permit
- Building permit from Pikes Peak Regional Building Department (PPRBD)

If the deck is rebuilt in steel and composite, it requires:

- Material Change of Appearance Certification (MCAC)
- minor site plan
- Property improvement permit
- Building permit from Pikes Peak Regional Building Department (PPRBD)

All of these reviews are administrative, except for the MCAC which is reviewed and approved by the Historic Preservation Commission (HPC). This review includes legally required public notification in the newspaper, poster, postcards, website, and agenda for a minimum of 11 calendar days. To accommodate this and allow time for review, please submit applications thirty days prior to the desired meeting date. Meetings are on the first Wednesday of each month, and require a complete submittal in order to be scheduled.

Additional applications may be identified during review of the minor site plan.

Application Fees:

MCAC: \$130 plus public notice fees

Minor Site Plan: \$110

PIP: 3.8% the cost of materials



Manitou Springs Land Use & Development Code

Minor Site Plan Checklist

Section 18.06.4.11 of the LUDC

This checklist is intended to aid applicants, however, it is not designed to be a substitute for the applicable LUDC provisions. Applicants are expected to review the details of the LUDC, available online at: www.manitouspringsgov.com under the "Government" tab and then click on "Municipal Code" in the drop-down menu.

Return completed applications to:
planningdept@manitouspringsco.gov

APPLICABILITY

The purpose of the Minor Site Plan is to provide a mechanism to ensure that proposed small-scale development complies with the standards of this LUDC before issuance of a Building Permit.

When is a Minor Site Plan Required?

A Minor Site Plan is required before issuance of a Building Permit for:

1. The new construction of a Single-Household Detached dwelling unit;
2. The new construction of a Two-Household Duplex;
3. The new construction of accessory structures with a gross floor area of larger than 200 square feet and/or have a building height of taller than eight (8) feet;
4. The construction of an addition onto an existing Single-Household Detached dwelling or Two-Household Duplex dwelling which does not increase the number of dwelling units on the property;
5. Construction of an addition, or conversion of, an existing Single-Household Detached dwelling which adds an additional dwelling unit attached to the primary structure, converting the structure into a Two-Household Duplex dwelling, where permitted by right in the zone district; and
6. The alteration or installation of minor site or building improvements, or changes to the existing site or building which require documentation, such as the construction or alteration of a trash enclosure, parking lot, required landscaping, or screening.

Do I Need a Pre-Application Meeting?

Yes. A Pre-Application Meeting is required prior to submittal.

PUBLIC NOTICE & HEARINGS

Hearings

No hearing is required.

Notices

No notice is required.

FINDINGS FOR APPROVAL

Approval Criteria

The Planning Director shall approve the request if:

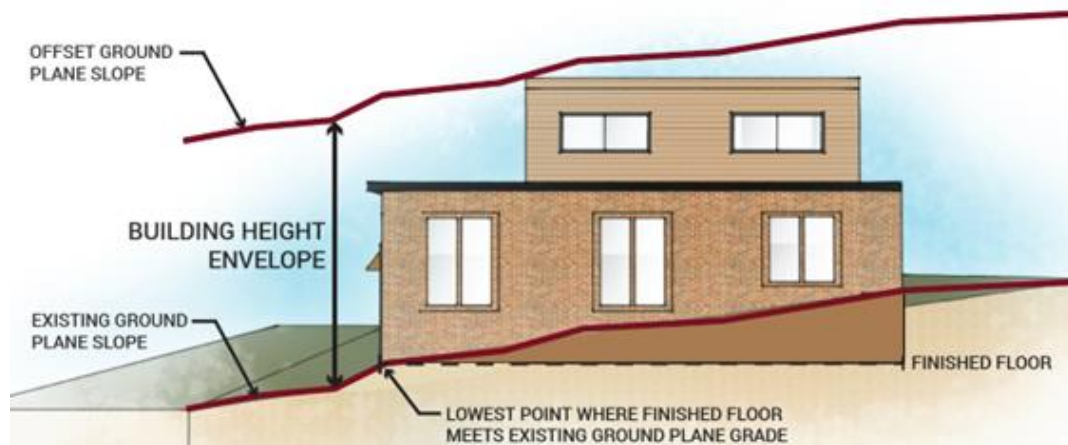
1. The request complies with all requirements of this LUDC; and
2. The request does not affect the site's circulation pattern or result in an increase to the site's parking or landscaping requirement, or other dimensional or development standard. If so, the request shall be reclassified as a Minor Development Plan.

APPLICATION PACKAGE

- ✘ **Response to Pre-Application Meeting Summary Checklist.** During the pre-application meeting, you will be provided with a summary of applicable LUDC standards and requirements.
- ✘ **Project Narrative.** Provide a narrative description of the proposal; existing conditions of the property, including existing physical development, existing uses and zoning, nonconformities, access, protected natural resources, and neighboring land uses.
- ✘ **Site Plan.** A site plan illustrating the location of the subject property and the location and uses of existing and proposed structures including parking areas, signage, topography, etc. Dimension the distance of proposed structures from all property lines.
- ✘ **Building Elevations.** Elevations of each side of the proposed structure with the total height labeled.

How to measure building height:

Building height shall be measured as an envelope determined by offsetting the existing ground plane slope of the site vertically to the allowed maximum height specified by the associated zone district. Existing ground plane slope shall be considered the grade or slope of the site prior to any construction. The maximum height of the building shall be contained within the "envelope" created by this offset. Building height shall be measured from the established finished floor of the building. The finished floor elevation of the building may cut into the existing slope if the lowest point of the building is no lower than the lowest point where the finished floor meets the existing ground plane slope of the site.





APPLICATION TYPE

Physical Development Permits

- Concept Plan
- Minor Site Plan
- Minor Development Plan
- Major Development Plan
- Hillside Development Plan
- Sign Permit
- Grading Permit
- Material Change of Appearance

Use Permits

- Conditional Use Permit
- Short-term Rental Permit
- Long-term Occupancy Permit
- Wireless Facility Permit
- Temporary Use Permit – Minor
- Temporary Use Permit- Major

Subdivisions

- Minor Subdivision
- Major Subdivision
 - Preliminary Plat
 - Final Plat
- Boundary Adjustment
- Revised Final Plat
- Waiver of Replat
- Easement Vacation
- Rights-of-Way Vacation

Relief from the LUDC

- Waiver
- Variance

Amendments

- LUDC Amendment
- Minor Modification
- Rezoning

Applicant's Statement

I understand the procedures that apply to my request and acknowledge an incomplete application shall not be processed or scheduled for public hearing until such time as it is complete. City acceptance of the application, fee, and any accompanying materials does not constitute completeness. I further agree to reimburse the City for technical and professional consultant expenses that may be incurred during the review of my request. Failure to reimburse the City for invoiced expenses constitutes an incomplete application. I understand and acknowledge the use or action for which approval is requested is not allowed unless the permit is granted. I understand a pre-application appointment is required a minimum of 10 workdays prior to submission deadline.

Hector Pagan

Applicant's Signature

08-06-2025

Date

Owner's Statement

I have read and agree to the above statements. In addition, if I am not the applicant for this request, I further give the above designated applicant permission to make the request on my behalf.

John Gitan

Property Owner's Signature

08 / 06 / 2025

Date

Title	Manitou Springs Development Application (final) (signed)
File name	Manitou Springs D...nal) (signed).pdf
Document ID	b9fa44853475586f793dd0a3eab495861e21ff84
Audit trail date format	MM / DD / YYYY
Status	● Signed

Document History



SENT

08 / 06 / 2025
15:42:17 UTC

Sent for signature to James Ohara (cpajlo@hotmail.com) from mina@footprintdecks.com
IP: 2603:300b:63b:7100:c484:640d:a511:4c2c



VIEWED

08 / 06 / 2025
16:08:52 UTC

Viewed by James Ohara (cpajlo@hotmail.com)
IP: 184.99.26.82



SIGNED

08 / 06 / 2025
16:11:37 UTC

Signed by James Ohara (cpajlo@hotmail.com)
IP: 184.99.26.82



COMPLETED

08 / 06 / 2025
16:11:37 UTC

The document has been completed.



HISTORIC PRESERVATION CODE CHAPTER 17.04.050
MATERIAL CHANGE OF APPEARANCE CERTIFICATION (MCAC)
 EXTERIOR REMODEL / NEW CONSTRUCTION
 SUBMITTAL INSTRUCTIONS and CHECKLIST

This checklist is not designed to be a substitute for the Historic Preservation Regulations. Applicants are expected to review the details of the Regulations; copies can be purchased in the Planning office, or accessed online at: www.manitouspringsgov.com

A pre-application conference shall be scheduled with Planning Staff a minimum of 14 working days prior to application submittal in order for the Applicant to become acquainted with the submittal requirements and the Historic Design Guidelines. The following information needs to be provided at the pre-submittal meeting:

- 1) **Conceptual site layout**
- 2) **Conceptual building exterior elevations including exterior materials.**

~~By 4:30 p.m. on the published submittal date the following information, as specified in the Manitou Springs Historic Preservation Regulations, shall be submitted electronically to planning@comsgov.com.~~

- ✓ 1. A completed **Development Review Application** form with nonrefundable application fee.
- 2. A **letter of explanation** containing the following information:
 - Property address
 - Name, address, phone number, email of owner
 - Name, address, phone number, email of developer or contractor (if other than the owner)
 - Name, address, phone number, email of architect or designer (if commissioned)
 - Description of any existing improvements on the property
 - A statement describing the scope of the project, the design intentions, and a comment on the project's visual impact on its surroundings
 - Detailed description of the proposal
 - Description of the proposed type of all exterior materials
 - ~~Evidence of mailed notification (PS Form 3817 proof of mailing) include a copy of the notice sent to neighbors within 200 feet of the subject property lines (not including rights-of-way) which notifies adjacent owners of the nature of the request, the meeting date/time/location for which consideration is proposed, and directs questions or comments to the Planning Department (719-685-4398).~~
- 3. **Photographs** of the existing property and its relationship to the surrounding area.
- 4. Site Plan per Planning Commission requirements (see Chapter 18.72.030 Site plan requirements)
 - Existing and proposed floor plan layouts
 - Elevation drawings and details
- 5. Completed **Checklist for Applicability.**
- 6. ~~Applications for properties in the Downtown Zone shall submit elevations and samples of the proposed exterior color(s)~~
- 7. ~~Applications for properties in the Downtown Zone may also be required to submit additional information or documentation such as a photo simulation, massing model, streetscape elevation, streetscape or building perspective and extended site plan incorporating the existing Resources surrounding the proposed construction, which demonstrates its overall compatibility in relation to siting, scale, height and massing~~
- 8. ~~Other information as requested by the Planning staff and/or the Historic Preservation Commission~~

CHECKLIST FOR APPLICABILITY

City of Manitou Springs Historic District Design Guidelines

Project Name and/or Address 310 Michigan Ave, Manitou Springs, CO Date 8/8/2025

STEP 1: Identify an approach for your project (see page 1.7 of the Historic Design Guidelines)

STEP 2: Complete the following Checklist

- **Is the Guideline applicable? If yes, is your project in compliance with the Guideline? If your project is not in compliance, please indicate why not and describe your alternative strategy for fulfilling the intent of the Guideline.**

Photographs and supplemental information are encouraged. Please use a separate piece of paper if you need additional space.

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 1: Introduction (Includes Philosophy, How to Use the Design Guidelines and the Submittal Process)								
Chapter 2: Historic Context (Includes information about the Historic Subdistricts on pages 2.7-2.60 and Architectural Styles on pages 2.61-2.72)								
Chapter 3: Guidelines for SUSTAINABLE Building Strategies								
3.1	3.6	Solar Panels and Photovoltaic Cells		X				
3.2	3.6	Satellite Dish Antennas		X				
Chapter 4: Guidelines for Preservation, Alterations and Additions to CONTRIBUTING RESIDENTIAL Structures								
4.1	4.1	Architectural Character	X					
4.2	4.2	Building Alignment	X					
4.3	4.2	Building Orientation	X					
4.4	4.2	Building Height	X					
4.5	4.4	Mass & Scale	X					

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.6	4.4	Roof Form		X				
4.7	4.5	Roof Materials		X				
4.8	4.6	Chimneys		X				
4.9	4.6	Dormers		X				
4.10	4.7	Skylights		X				
4.11	4.7	Porches	X					please see "letter of explanation "
4.12	4.8	Porch Material	X					please see "letter of explanation "
4.13	4.9	Windows		X				
4.14	4.10	Doors		X				
4.15	4.11	Architectural Details	X					
4.16	4.12	Foundation Ornamentation & Details		X				
4.17	4.12	Foundation Ornamentation & Details		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.18	4.13	Materials	X					please see "letter of explanation "
4.19	4.13	Materials	X					
Chapter 5: Guidelines for NEW RESIDENTIAL Construction								
5.1	5.2	Building Alignment		X				
5.2	5.3	Building Orientation		X				
5.3	5.3	Building Height		X				please see "letter of explanation "
5.4	5.4	Mass & Scale		X				
5.5	5.4	Mass & Scale		X				
5.6	5.5	Building Materials		X				
5.7	5.5	Roof Form		X				
5.8	5.6	Roof Materials		X				
5.9	5.6	Porches		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 6: Guidelines for Additions and Alterations to NON-CONTRIBUTING Structures								
6.1	6.1	Building Orientation	X					
6.2	6.2	Mass & Scale	X					
6.3	6.2	Building Materials	X					
6.4	6.2	Roof Form		X				
6.5	6.3	Architectural Details	X					
Chapter 7: Guidelines for NEW Construction in the COMMERCIAL CORE (see also pages 2.53-2.55 and Chapter 10)								
7.1	7.3	Franchise Architecture		X				
7.2	7.3	Building Alignment		X				
7.3	7.4	Building Orientation		X				
7.4	7.4	Mass & Scale		X				
7.5	7.5	Building Form		X				
7.6	7.5	Roof Form		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
7.7	7.6	Storefronts		X				
7.8	7.7	Storefronts		X				
7.9	7.7	Storefronts		X				
7.10	7.8	Architectural Details		X				
7.11	7.9	Architectural Details		X				
7.12	7.10	Architectural Details		X				
7.13	7.11	Materials		X				
7.14	7.11	Materials		X				
7.15	7.11	Materials		X				
7.16	7.12	Awnings		X				
7.17	7.13	Nonconforming Commercial Buildings		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 8: Guidelines for New Construction and Additions in Selected SUBDISTRICTS								
8.1	8.2	Architectural Details of Historic Structures	X					
8.2	8.3	Architectural Details of Historic Structures	X					
8.3	8.4	Architectural Details of Historic Structures	X					
8.4	8.5	Franchise Architecture		X				
8.5	8.5	Nonconforming Commercial Buildings		X				
LOG CABIN SUBDISTRICT (see also pages 2.33-2.35, 10.6-10.7, and 10.9-10.10)								
8.6	8.7	Building Form		X				
8.7	8.7	Primary Entrances and Porches		X				
8.8	8.7	Garages		X				
8.9	8.7	Garages		X				
8.10	8.8	Building Materials		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
EL COLORADO LODGE SUBDISTRICT (See also pages 2.21-2.23)								
8.11	8.8	Building Alignment		X				
8.12	8.9	Building Orientation		X				
8.13	8.9	Mass & Scale		X				
8.14	8.9	Building Form		X				
8.15	8.10	Roof Form		X				
8.16	8.10	Materials		X				
8.17	8.10	Materials		X				
8.18	8.10	Materials		X				
VILLAS SUBDISTRICT – Page 8.11 (See also pages 2.49-2.51 and Chapters 3, 4, 5, 6, 9, 10 and/or 11 as applicable)								
CLIFF DWELLINGS SUBDISTRICT (See also pages 2.17-2.19)								
8.19	8.12	Building Alignment		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
8.20	8.12	Building Orientation		X				
8.21	8.12	Mass & Scale		X				
8.22	8.13	Building Form		X				
8.23	8.13	Roof Form		X				
8.24	8.14	Materials		X				
8.25	8.14	Materials		X				
8.26	8.14	Materials		X				

WEST MANITOU SUBDISTRICT – Pages 8.14-8.15 (See also pages 2.57-2.59 and Chapters 3, 4, 5, 6, 8, 9, 10 and/or 11 as applicable)

Chapter 9: Guidelines for SECONDARY Structures

9.1	9.1	Secondary Structures		X				
9.2	9.1	Secondary Structures		X				
9.3	9.1	Garages		X				
9.4	9.3	Carports Shade Structures		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 10: Guidelines for SITE IMPROVEMENTS for Residential and Commercial Properties								
10.1	10.2	Stone Retaining Walls, Bridges & Stairs		X				
10.2	10.2	Stone Retaining Walls, Bridges & Stairs		X				
10.3	10.3	Stone Retaining Walls, Bridges & Stairs		X				
n/a	10.3	Site Drainage		X				
10.4	10.4	Automobile Access & Parking		X				
10.5	10.5	Automobile Access & Parking		X				
10.6	10.5	Mechanical Equipment & Service Areas		X				
n/a	10.6	Fencing		X				
10.7	10.8	Streetscape		X				
n/a	10.9	Vegetation		X				
10.8	10.10	Lighting		X				
10.9	10.11	Lighting		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
10.10	10.11	Security		X				
10.11	10.12	Integral Color: Roofing, Natural Stone, Grout, Concrete		X				
n/a	10.12	Painting and Surface Treatments	X					
n/a	10.13	Historic District Color Palette	X					
Chapter 11: Guidelines for Building RELOCATION								
11.1	11.1	Building Relocation		X				
11.2	11.1	Building Relocation		X				
11.3	11.1	Building Relocation		X				
APPENDIX A: Secretary of the Interior: Standards for Treatment of Historic Properties								
APPENDIX B: Technical Maintenance and Preservation Information								
APPENDIX C: Tax Credits and Other Incentives for Historic Preservation								
APPENDIX D: Glossary of Terms								

LETTER OF EXPLANATION

310 Michigan Avenue, Manitou Springs, CO



Owner Information:

James and Melissa O'Hara

310 Michigan Avenue, Manitou Springs, CO

(815)3451918

Contractor Information (if other than owner):

Footprint Decks & Design

902 N. Circle Dr, Suite 101

Colorado Springs, CO 80909

(719) 323-6090

office@footprintdecks.com

Engineer Information (frame only):

Engineer: Don Boatwright – Boatwright Building Consultants

Colorado Springs, CO

800-705-5530

don@bcbi.com

Existing Conditions

The property is a single-family residence located in the Manitou Springs Historic District. It is zoned and is used for residential purposes. The lot contains the main residential structure and an attached wood deck on the [rear/east/south] side of the home.

The existing deck is constructed of wood framing and decking, with a traditional railing system. It has deteriorated over time due to age and weather exposure, creating safety and maintenance concerns. There are no known zoning nonconformities with the existing deck footprint, and the rebuild will maintain the current footprint to remain compliant. The property has standard street access from Michigan Avenue. No protected natural resources are present on the site.

Surrounding Land Uses

Neighboring properties are primarily single-family residences within the same historic district, many featuring similar porch or deck elements. The neighborhood character is defined by historic architecture, traditional building materials, and consistent setbacks.

Scope of Proposal & Design Intent

The proposal is to **rebuild the existing deck in the same footprint and layout**. The project will remove all existing decking, railings, and deteriorated framing members, replacing them with structurally sound, historically compatible materials.

Framing has been engineered by **Don Boatwright, Boatwright Building Consultants**, for permitting. Framing may be constructed from either **Steel** or **KDAT (Kiln-Dried After Treatment) pressure-treated wood**, depending on final approval. The KDAT option maintains a historically appropriate wood structure while meeting structural requirements and Historic Preservation standards.

Because the footprint, height, and location will not change, the **visual impact on the surrounding neighborhood will be minimal**. The deck will maintain the same profile, sightlines, and scale in relation to the house and neighboring properties.

Materials

- **Decking Surface:** Fiberon Good Life composite decking, colors “Tuscan Villa” and “Bungalow.”
- **Railing:** Matte black RDI railing with 4"x4" black steel posts
- **Fascia:** Paintable fascia boards painted to match the decking color.
- **Support Posts:** Either 6"x6" steel posts or KDAT-treated wood posts, as approved.

Summary

This is a like-for-like replacement within the same footprint, designed to improve safety, extend lifespan, and preserve the architectural character of the property and surrounding historic district. All work will be performed with sensitivity to Historic Preservation guidelines and the neighborhood’s visual integrity.

Submitted by:

Mina Manzanares
Project Coordinator
719-323-6090
Mina@Footprintdecks.com
8/8/2025

Attachments:

Original site plan and approved construction permits through PPRBD

RESIDENTIAL



2023 PPRBC
IECC: N/A

Resubmittals: 1st _____ 2nd _____ 3rd _____

Address: 310 MICHIGAN AVE, MANITOU SPRINGS

Parcel: 7406109023

Plan Track #: 203922

Received: 21-Jul-2025 (QUINTONW)

Description:
DECK

Required PPRBD Departments (2)

App Dis N/A By

Floodplain [] [] [] [X] RBD GIS
Construction [X] [] [] [] *2025 JUL 25*

Contractor:
Permit # _____ Zone: MANITOU SPRINGS
APPROVED FOR CONSTRUCTION

Required Outside Departments (1)

Manitou Zoning [] [] [] [] [] _____

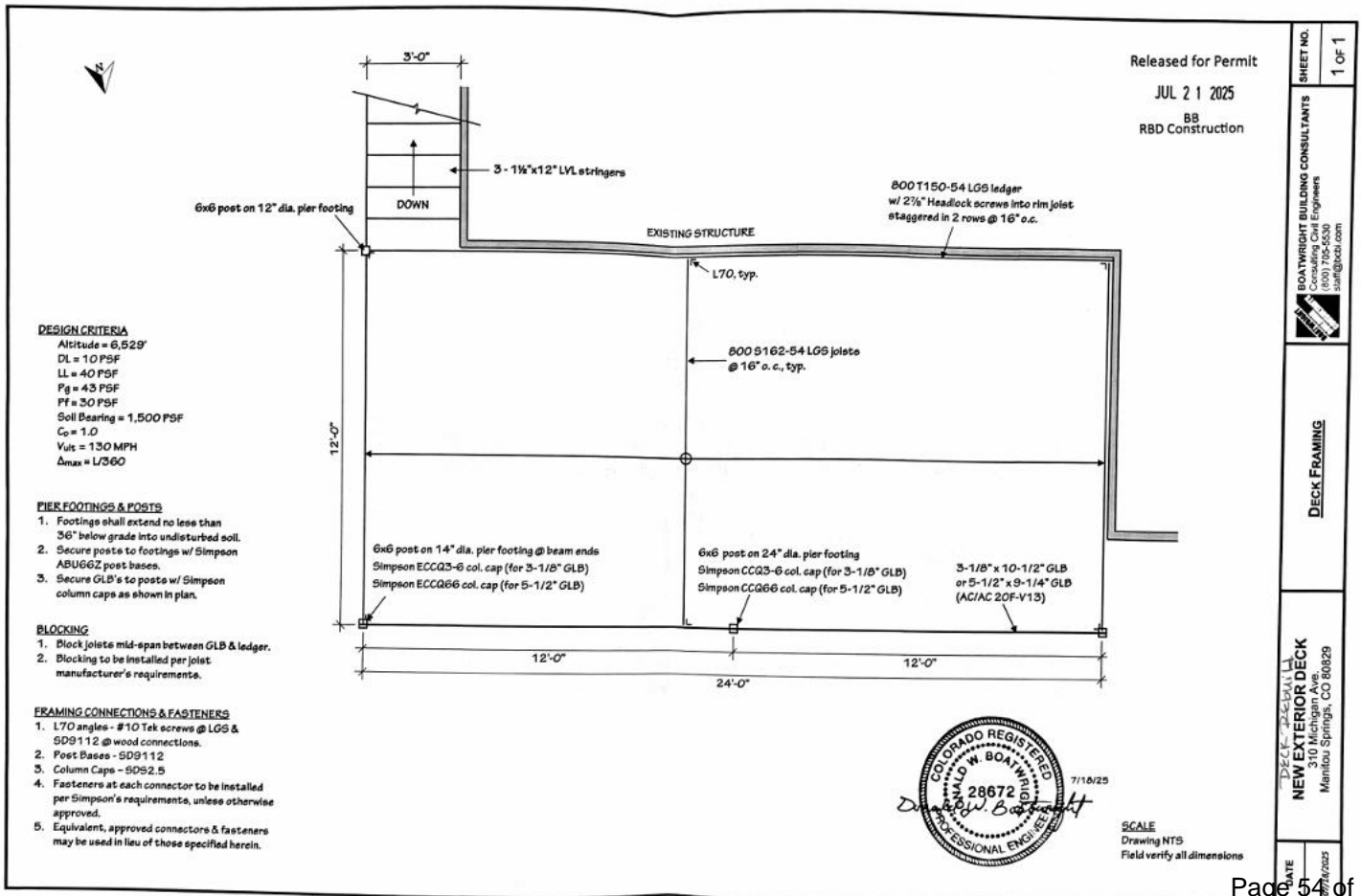
Date _____ By _____

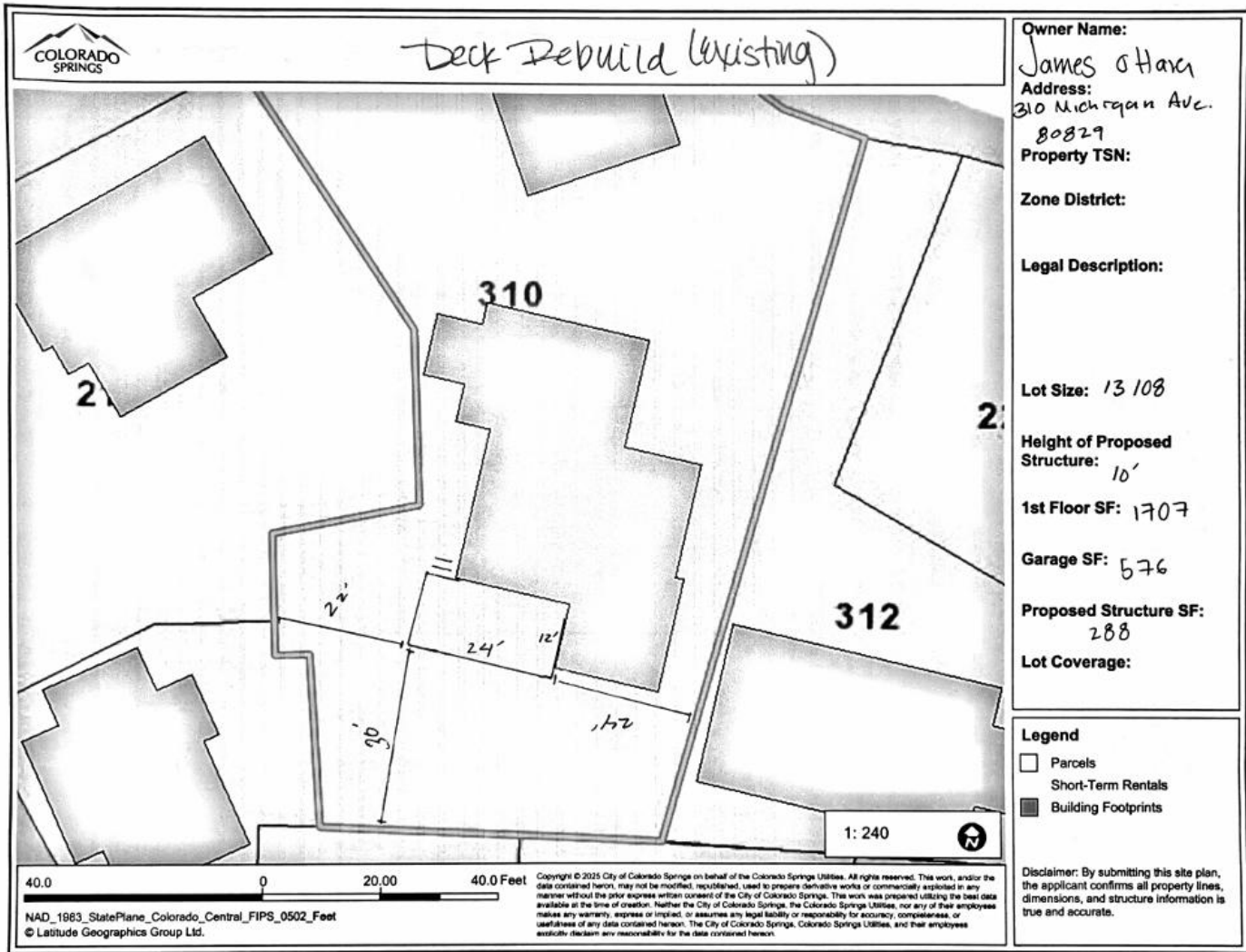
Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.

Type of Unit:

Plan-check Fee: \$14.00

(0)





Fiberon Goodlife (Materials to be used for Decking, color “Tuscan Villa” for Main color “Bungalow” for picture framing



Good Life | PE Composite Decking

- The Escapes Collection features multi-tonal colors that resemble exotic hardwoods.
- The Weekender Collection features solid colors for a traditional stained deck look.
- Authentic wood look features distinct grain patterns.
- Composite construction helps resist splintering, cracking and decay.
- Three-sided cap layer helps resist staining and fading.
- Low maintenance and easy to clean.
- A Fire-rated version of Good Life decking (excluding Cabana) is also available and approved for use in all Wildland Urban Interface (WUI) zones.
- Contains 94% recycled content.



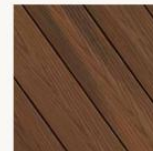
ESCAPES COLLECTION



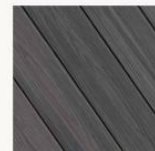
Cabana



Tuscan Villa



Bungalow



Beach House

WEEKENDER COLLECTION



Cabin

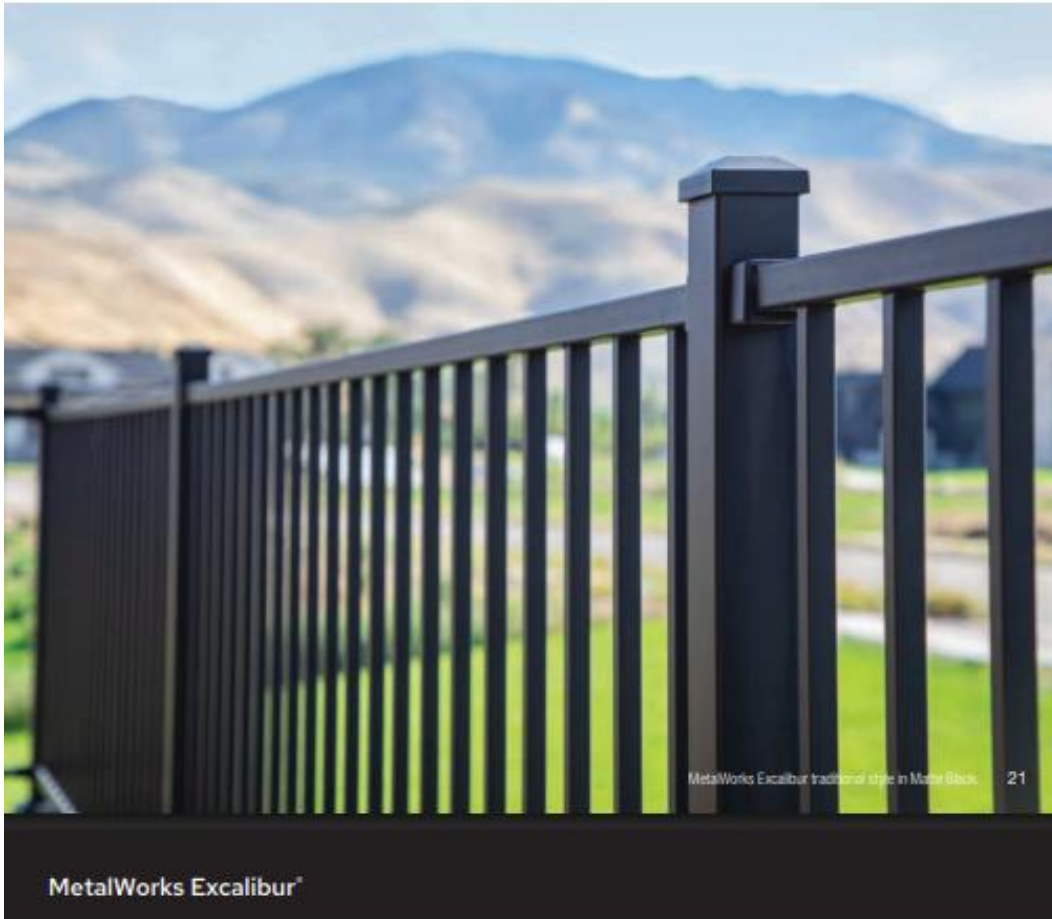


Cottage

RDI Metal Powder Coated Railing

MetalWorks Excalibur Steel Railing combines strength with a traditional and timeless style. Factory welded, fully assembled panels with hidden attachments and pre-attached brackets, allow for easy installation. Available in a traditional two rail design or in three decorative styles with textured matte black and hammered bronze finishes.

- Decorative infill styles offer custom looks
- MetalWorks Latitudes features unique horizontal rod design – provides open views
- Premium powder coating provides maximum durability
- Pre-attached brackets on posts make level installation easy and ensure consistent bottom spacing
- 15 Year Limited Warranty



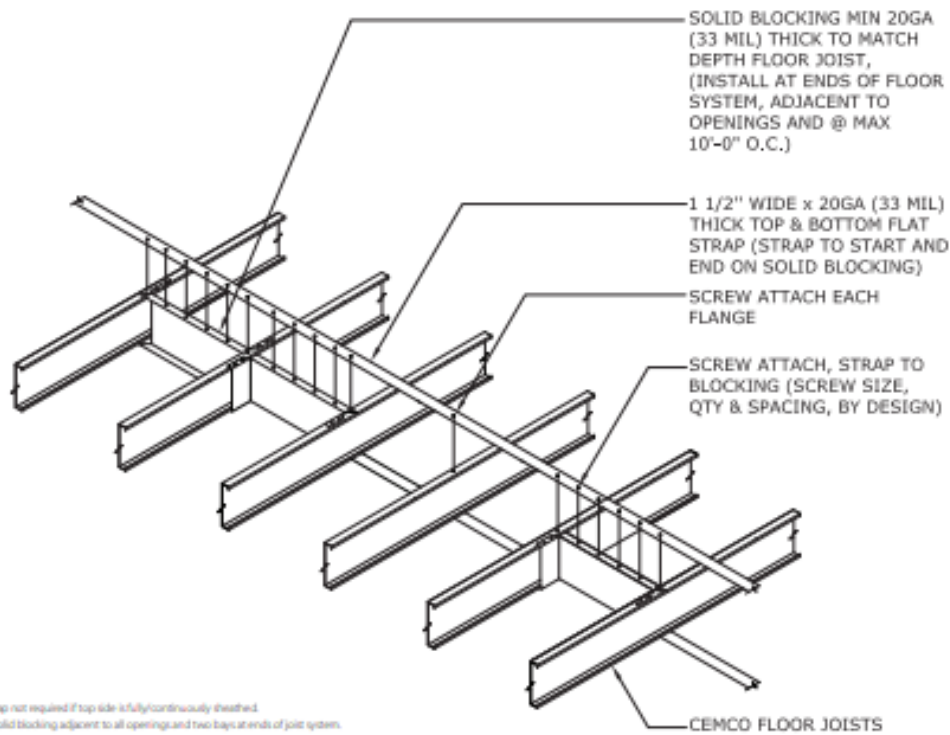
MetalWorks Excalibur®



Floor Joist Bridging and Bracing Notes

1. Bracing members shall be designed in accordance with section D3 of AISI S100.
2. Minimum number of rows required is shown in table, additional rows of bridging may be required by design.
3. All connections **MUST** be designed by a licensed professional engineer.

Span (ft)	Minimum Number of Rows
Up to 16'	1 row at the mid-span
16'to 24'	2 rows at 1/3 points
24'to 32'	3 rows at 1/4 points
Over 32'	Consult your Engineer of Record



- Notes:**
1. Top strap not required if top side is fully/continuously sheathed.
 2. Place solid blocking adjacent to all openings and two bays at ends of joist system.

Floor Joist Span Table Notes

1. Spans are based on continuous support of compression flange over the full length of the joist.
2. Spans are based on tension flange laterally braced at maximum spacing of 8'-0".
3. Joists must be braced against rotation at all supports.
4. End shear and web crippling capacity have not been reduced for punchouts.
5. End web crippling check is based on 3-1/2" end bearing.
6. "e" indicates web stiffeners are required at end supports.
7. Web stiffeners are required at interior support. Combined bending and web crippling check is not required when web stiffener is provided.
8. Shear capacity at interior support has been reduced for the presence of punchouts adjacent to the supports. Combined bending and shear check is based on unreinforced web in accordance with section C3.3.1 of AISI S100.
9. Total load deflection limited to L/240. Live load deflection limit as noted.
10. Alternate span live loading has been considered for two equal span conditions.
11. Stud distortional buckling based on assumed $KD=0$.



TECHNICAL NOTE

FOR ADDITIONAL INFORMATION: www.ftw.com or 1.800.TEC.WOOD (832.9663)

KILN DRIED AFTER TREATMENT (KDAT)

Wood naturally absorbs and releases moisture to maintain equilibrium with the surrounding environment. Freshly treated woods' moisture content is above the fiber saturation point and dimensions are at their maximum. Uneven drying of wood - in which the surface dries faster than the interior - causes stress in the wood. This stress can result in checking, splitting, warping, cupping, and twisting. Because kilns control the rate of drying, *kiln drying after treatment (KDAT)* helps minimize the stress that causes these issues.

KDAT is recommended for **Dura-Guard®**, **Micro-Guard®** and **CCA** preservative treatments. **KDAT** preservative treated products are dried to 18% for plywood and 19% for dimensional lumber.

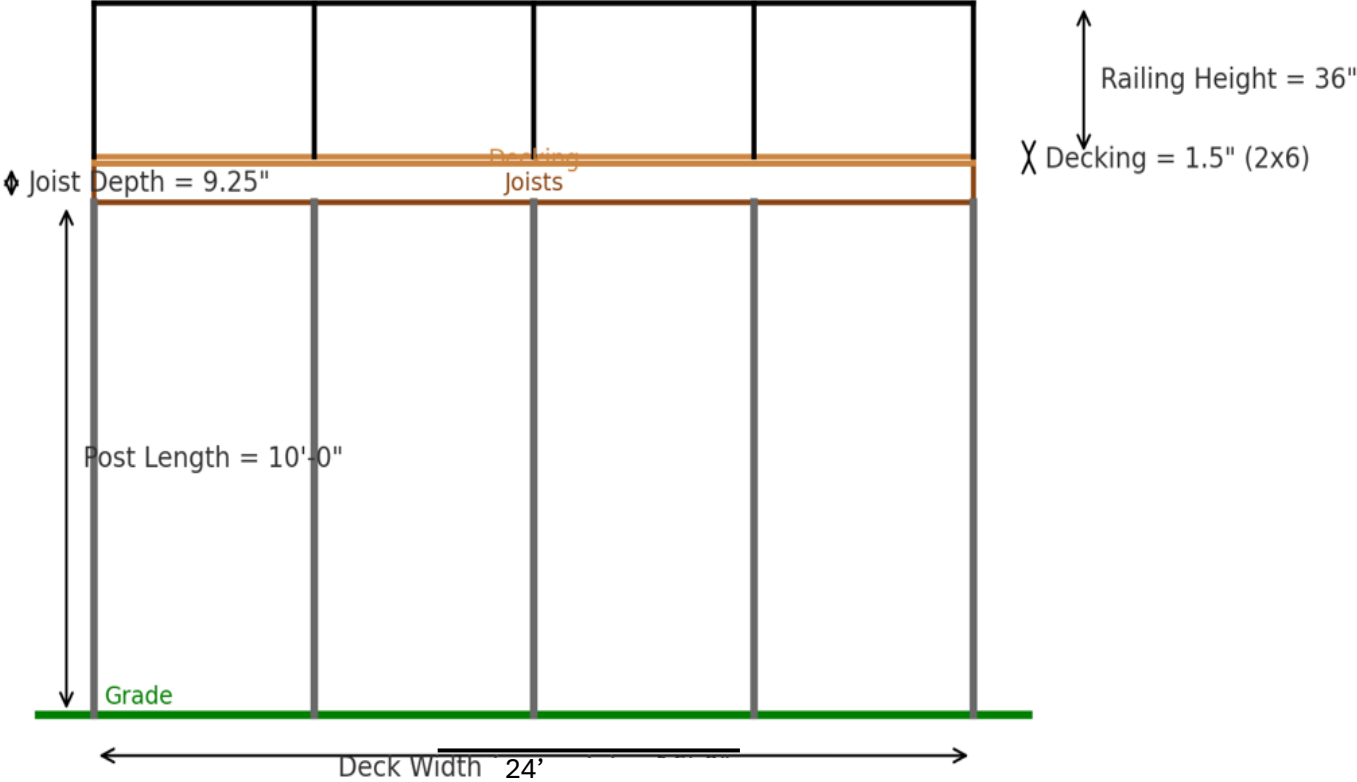
ADVANTAGES OF KILN DRYING AFTER TREATMENT (KDAT)

1. **Reduced Shrinkage** - When wood gets wet it expands and contracts as it dries. On the job site, **KDAT** wood can be installed without significant shrinkage or movement.
2. **Stable** - Wet treated wood exposed to ambient weather conditions and direct sun light tends to check, split, warp, cup or twist. **KDAT** material is uniformly dried to consistent moisture content closer to average ambient service conditions and is more stable when exposed to the elements. For treated wood that is destined for a manufacturing process, **KDAT** is recommended as wood dimensions are more consistent for milling or machining.
3. **Light weight** - Hoover's **KDAT** lumber and plywood is lighter and easier to handle than wood that is wet from treatment. Board footage can be maximized on a truck for more economical shipping.
4. **Stronger** - Wood strength and stiffness is a function of moisture content, i.e., dry wood is stronger than wet wood.
5. **Can be finished or sealed more promptly** - Manufacturers of coatings and adhesives do not recommend the use of their products with wet wood, treated or not. Paints, stains, coatings or adhesives should be applied to **KDAT** wood in accordance with the manufacturer's specifications.
6. **Cleaner** - Wet treated wood may exhibit mold or mildew. **KDAT** lumber and plywood is delivered in waterresistant coverings which keep it clean, dry, and ready for use.

DISCLAIMER OF LIABILITY FOR RELIANCE ON INFORMATION PROVIDED BY HOOVER TREATED WOOD PRODUCTS, INC.: The information contained herein is true and accurate to the best of our knowledge, but is provided without warranty or guarantee. Since the conditions of use are beyond our control, Hoover Treated Wood Products, Inc. ("Hoover"), disclaims all liability and assumes no legal responsibility for damages resulting from use of or reliance upon the information contained herein.

06-2021

Front Elevation - 310 Michigan Ave (Not to Scale)

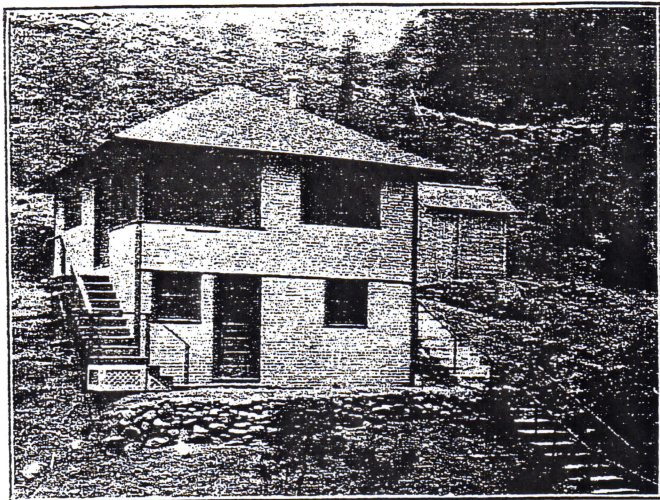


Current Deck:





BURNETT AND LENNON'S ADDITION

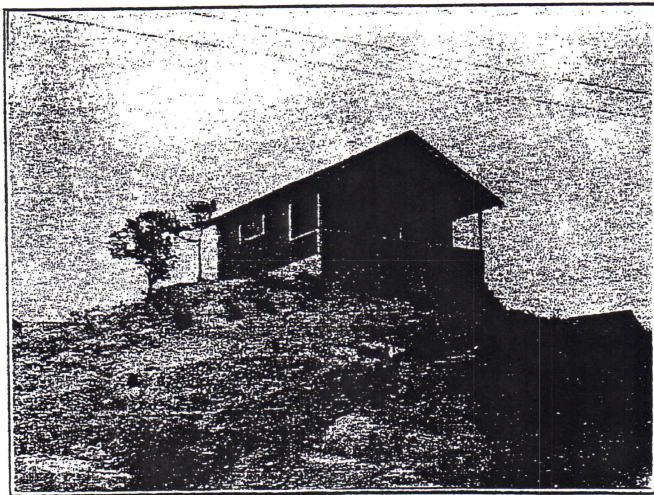


Cottage Home of Mrs. Leonora P. Lockie; Lot 13, Block 3.

37 MINNEHAHA



The cottages and bungalows here shown were designed and built by Wm. Mason, general contractor and builder who will furnish plans and specifications on request, no charge for plans if he does your building, or will draw plans to suit your own ideas. Always working on the Grand View Addition or address, Wm. Mason, 714 Jefferson Ave., Colorado City, Colorado.



Summer Home of Mrs. Harriett E. Duerr; Lot 10, Block 9.

310 MICHIGAN

MARY KRAIG
212 DUNCAN AVENUE
MANITOU SPGS, COLO
80829



Burnett and Lennon's

**Grand View
Addition**

to Manitou, Colorado



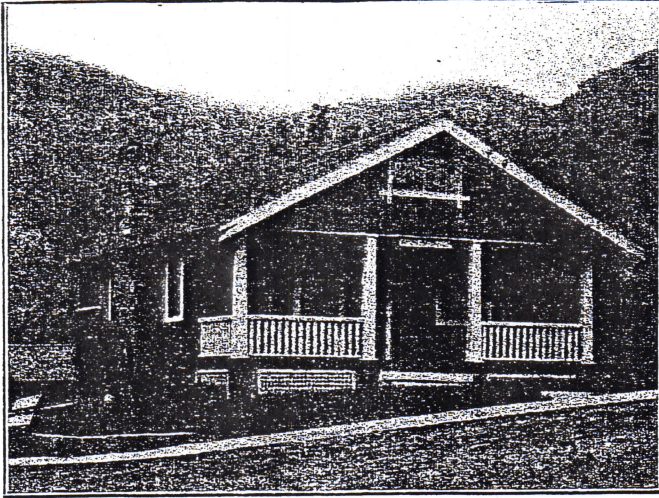
Inquiries concerning lots in this addition will also receive prompt attention at Lennon's P. O. Drug Store, Manitou; The Wulff Shoe Store, 110 S. Tejon St., Colorado Springs, and at the office on the addition at the head of the cement walk.

THE STATE REALTY COMPANY

AGENTS

115 East Pikes Peak Avenue
COLORADO SPRINGS, COLO.

BURNETT AND LENNON'S ADDITION
205 MESA AVE



Summer home of C. A. Burnett; Lot 24, Block 10.

BURNETT AND LENNON'S
"GRAND VIEW"

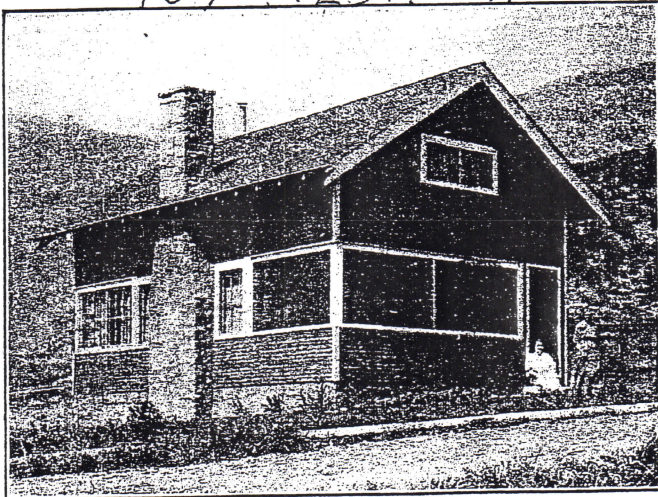
ADDITION TO MANITOU, COLORADO.

The above addition adjoins beautiful and romantic Manitou on the North-west, located in the land of perennial sunshine, blue skies, grand and inspiring scenery and wonderful medicinal springs.

EVENTUALLY—WHY NOT NOW?

Eventually you will want a summer home in Manitou. Why not take advantage of an opportunity which now awaits you and which you will not be able to duplicate elsewhere, by securing one or more of the beautiful and slightly lots in the above addition. In addition to the grand view of the mountains, you have always the finest air and the best water in the world.

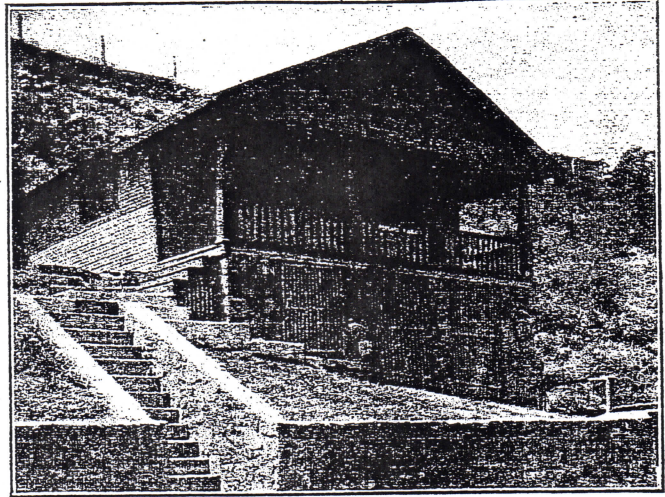
107 MESA AVE



Summer Home of J. W. McClure; Lot 2, Block 8.

"Idle Rest"

THE STATE REALTY CO., AGENTS
25 UTE Trail



Summer Residence of A. H. Hindshaw, Banker, Sylvia, Kansas;
 Lot 13, Block 3.

LOTS FOR EVERYBODY

Lots in this addition are of such a variety that we can meet almost any requirement. If you want to set your house on the side of a hill, if you want a partial dug-out, or if you keep a car and want a nice smooth lot, we can suit your fancy in every particular. Let our agent, right on the ground, show you over this, the finest and most slightly addition to beautiful MANITOU, whether you wish to purchase or not.

212 DUNCAN AVE

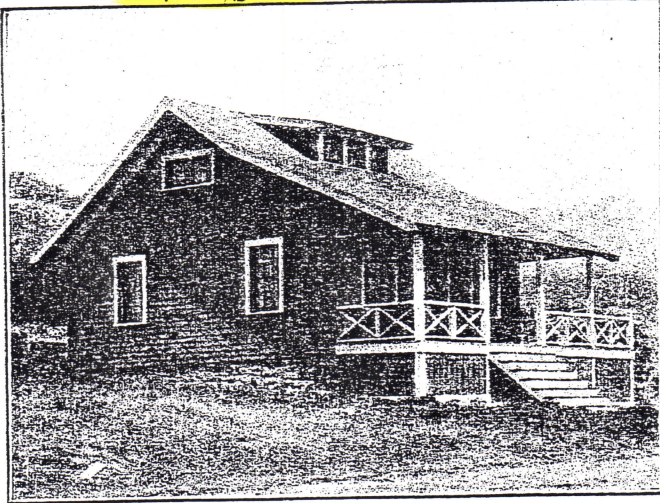


Home of Rev. H. H. Hulten, Lot 9, Block 5.

"Twin Spruce"

BURNETT AND LENNON'S ADDITION

201 DUNCAN AVE

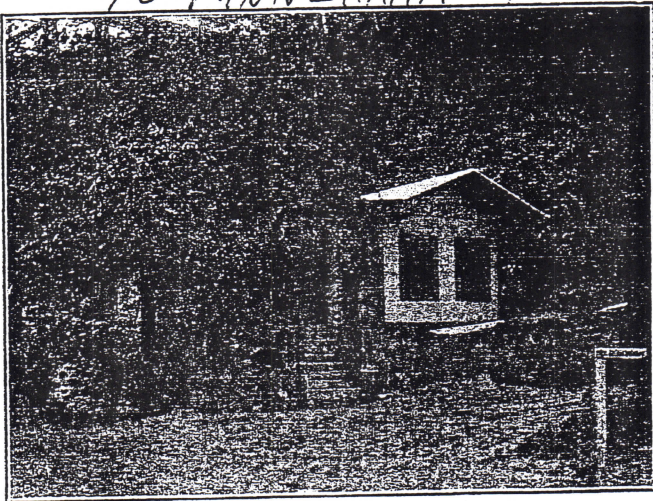


Bungalow of Mrs. Carrie Stevens. Lot 16, Block 6.

WATER—STREETS.

Water mains, carrying Manitou's pure mountain water already run through the addition, which will insure water for the building you will probably erect. The streets have already been graded at an expense of several thousand dollars, making our lots easily reached by auto or carriage. Sanitary sewers have also been built and are ready to be connected with any house on the addition. We have a man on the ground to show you around and attend to your wants.

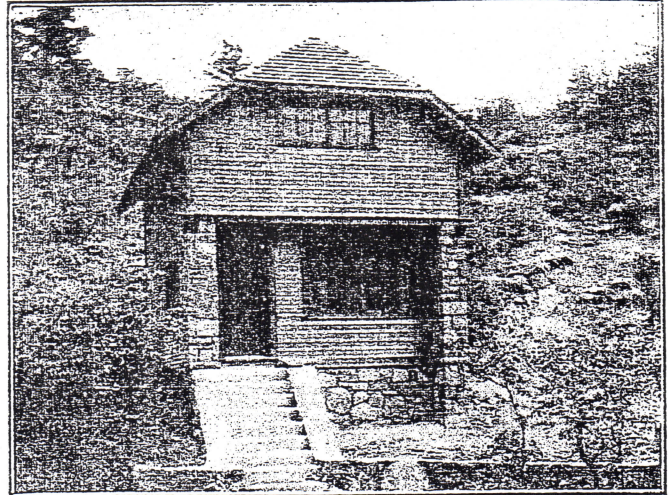
70 MINNEHAHA AVE



Summer Cottage. William Lennon. Manitou; Lot 37, Block 5.

THE STATE REALTY CO., AGENTS

50 MINNEHAHA AVE



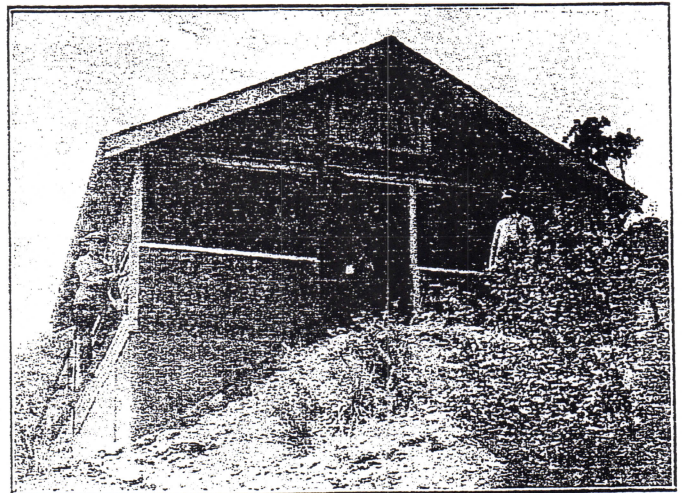
Summer Home of Miss Liela Wallace of Oklahoma City, Okla ;
Lot 17, Block 1.

Laughing Waters
LOCATION.

All the lots in this addition are located only a few blocks from the famous soda and iron springs in Manitou, and the wonderful Cog Road to the summit of Pikes Peak. Agent on the ground all day.

BUNGALOWS.

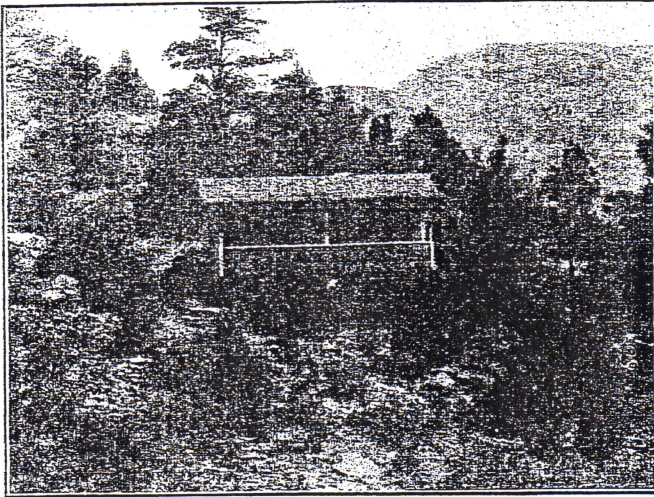
The bungalows shown in this booklet have all been erected in the past three years on lots in this addition. As a home or an investment it will pay you to erect a building of this class.



Mrs. C. E. Smith, Bungalow on Lot 4, Block 4.

BURNETT AND LENNON'S ADDITION

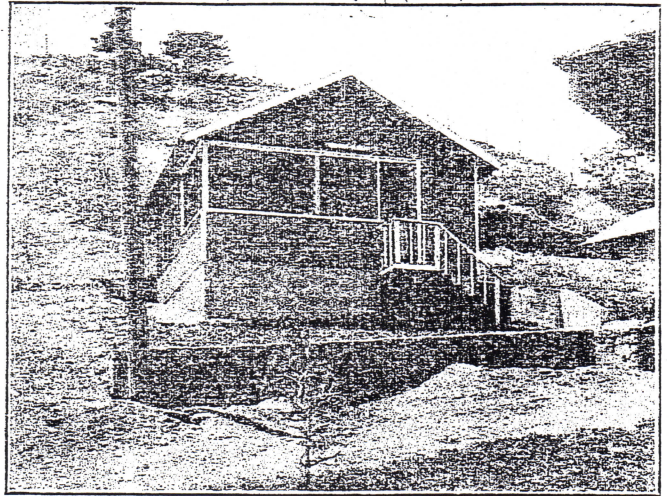
109 ROCK ROAD



Cottage of John A. Porter of Kiowa, Kansas; Lot 7, Block 12.

THE STATE REALTY CO., AGENTS

UTE TRAIL



Summer Cottage of Mrs. Mary J. Aldrich; Lot 19, Block 3.

TITLE AND ABSTRACT.

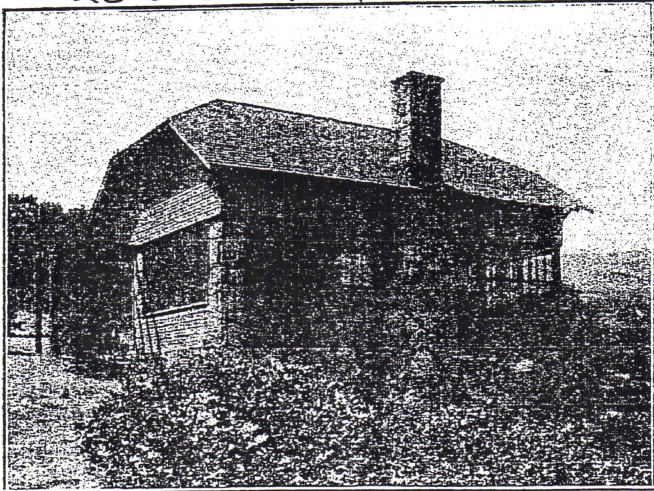
When you contract for one or more of these lots, remember you are dealing with the owners who have an absolutely clear and perfect title.

WARRANTY DEED and ABSTRACT OF TITLE, from the Government down to the present owners will be furnished to each purchaser without extra expense when payments are fully completed.

PRICE OF LOTS.

Lots in this addition range in price from \$150.00 to \$600.00 each, according to location and size. Think of owning a beautiful summer home with all the comforts of a city house in the way of bath room, toilet, sewer connection, telephone and electric lights, and all at a very moderate expense. A small payment down and balance in payments to suit customer, with seven per cent interest, will secure one or more of these lots.

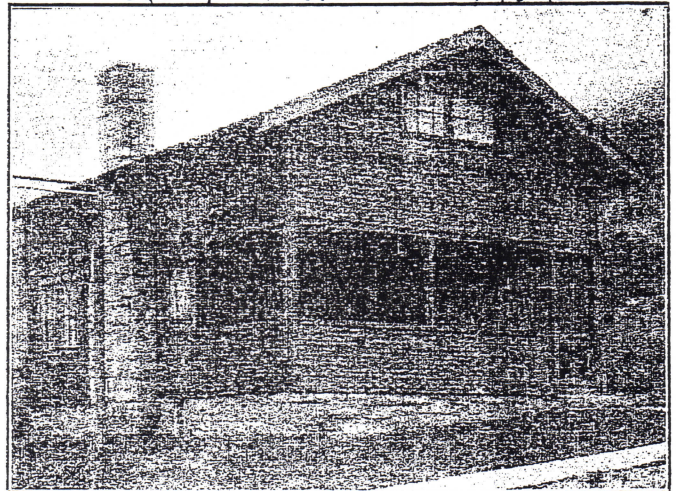
208 DUNCAN AVE



Summer Home. Mrs. Mary F. Taylor; Lot 11, Block 5.

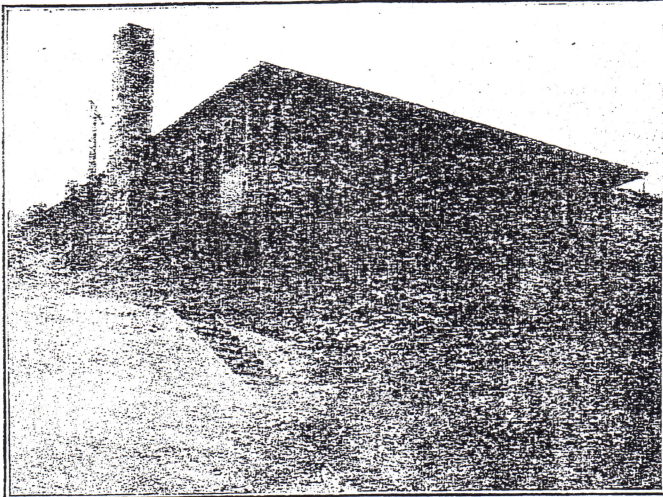
"Whispering Pines"

209 MESA AVE



Bungalow of Mrs. Anna MacDonald; Lot 22, Block 10.

BURNETT AND LENNON'S ADDITION



Summer Cottage. Mable A. Anderson, Kansas City, Mo; Lot 3, Block 2.

NOW IS THE TIME TO ACT, right now, while you are thinking about it.

Come to any one of our offices, or write us about a selection of one or more of these lots. **DO IT NOW**, and you will never have cause for regret. Ask others who have bought. Arrange now for your bungalow for next year.

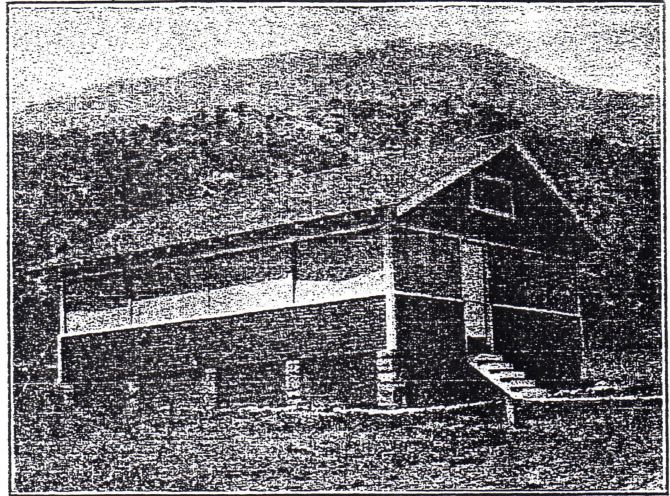
15 UTE TRAIL



Log Cabin of Mrs. L. H. Warren: Lot 23, Block 3.

THE STATE REALTY CO., AGENTS

213 MESA AVE



Summer Home of Mrs. Nancy Mosley; Lot 18, Block 10.

THE CITY OF MANITOU, COLORADO.

The city of Manitou is now annually visited by one hundred and fifty thousand health and pleasure seekers, and the number is increasing yearly.

Property pays a good percentage of income on the amount invested, and values have enjoyed a steady increase.

There are probably more natural scenic attractions in a short radius of Manitou, than can be found in any like area in the United States.

208 PINE RIDGE AVE



Summer Cottage. Mrs. Miranda Carroll, Oklahoma City, Okla: Lot 9, Block 7.

BURNETT AND LENNON'S ADDITION
16 MINNEHAHA AVE

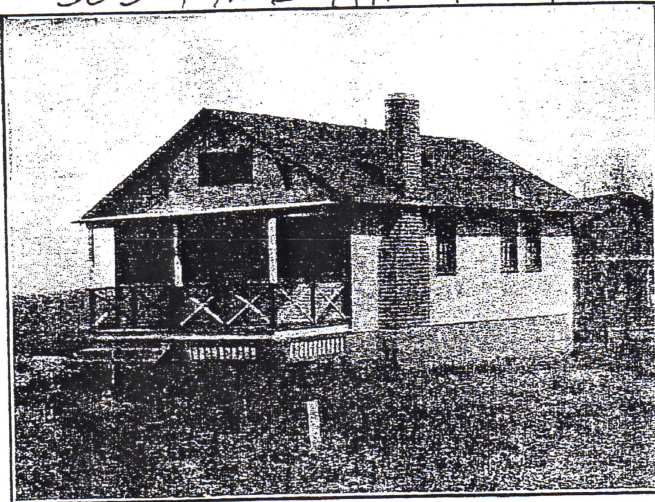


Mrs. A. B. Patton's Bungalow; Lot 4, Block 1.

MANITOU, CONTINUED.

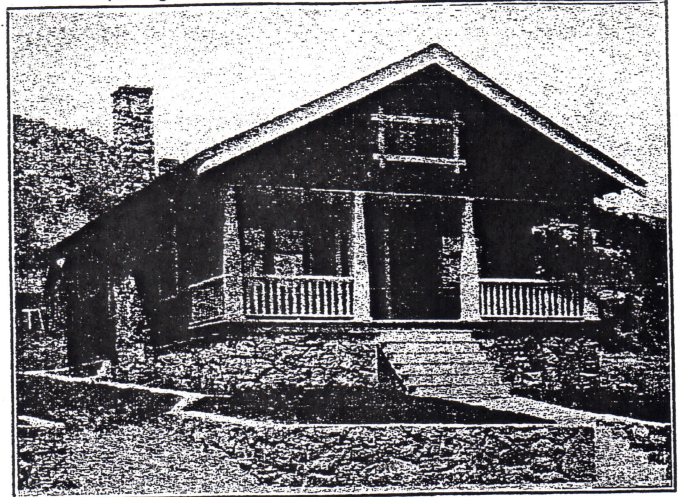
Manitou enjoys the best of transportation facilities, being reached by the Denver & Rio Grande Railroad, Colorado Midland Railway, and the Colorado Springs and Interurban Electric lines, which latter road maintains a seven and one half minute schedule during the summer months and a fifteen minute schedule the remainder of the year.

305 PINE RIDGE AVE



Summer Home of H. C. Livermore of Olathe, Kansas; Lot 15, Block 4.

THE STATE REALTY CO., AGENTS
206 PINE RIDGE AVE



Summer Cottage of O. C. Evans, Wholesale Produce, Kansas City, Mo; Lot 8, Block 7.

THREE YEARS DEVELOPMENT.

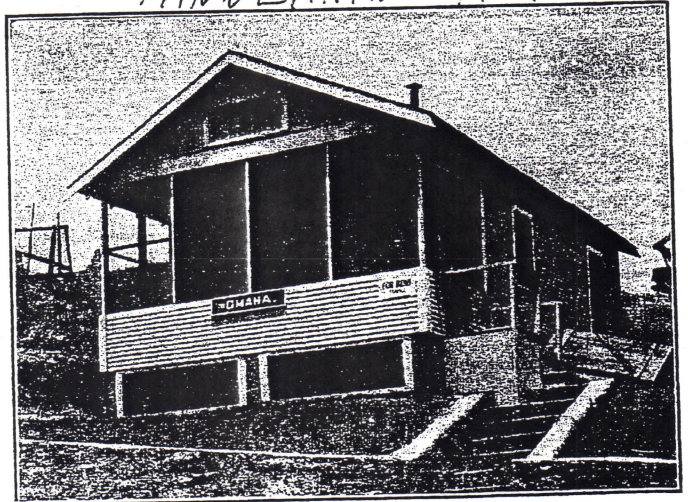
Remember, every bungalow and cottage in this addition, represents a building put up within the last three years.

It is worth something to you, to have your holdings among such desirable surroundings, where the spirit of progress is in evidence on every hand.

YOUR NEIGHBORS.

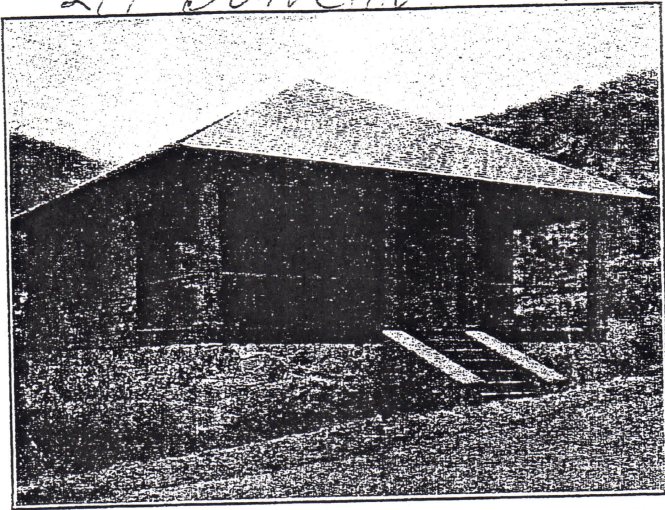
This addition has reached that stage in its development, that you can rest easy on the question of what kind of neighbors you are going to have, you will agree that

MINNEHAHA AVE



Mrs. May M. McDowell's Bungalow; Lot 2, Block 1.

BURNETT AND LENNON'S ADDITION
 217 DUNCAN AVE



Summer Home of Mrs. Ruth Wright. Topeka. Kansas; Lot 3, Block 6.

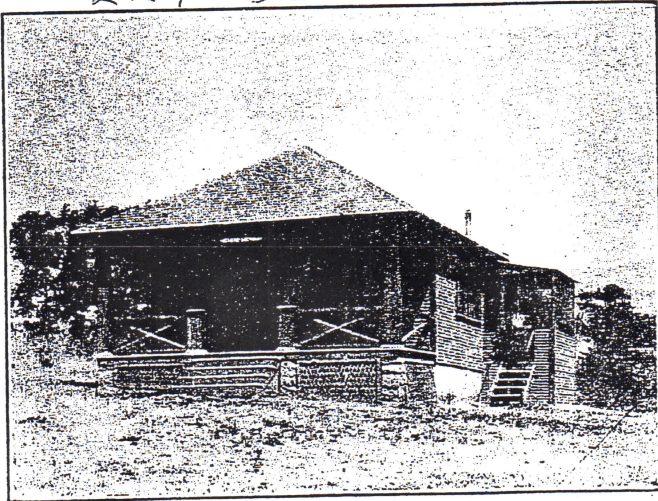
this means almost everything in maintaining the values of your holdings.

Our agent on the addition will be glad to show you around and help you make a selection.

FINALLY.

It costs as much to build on a poor lot as on a good one. It is folly then to put your money into a lot just because it's cheap. Better put your money in where the class of buildings are already established.

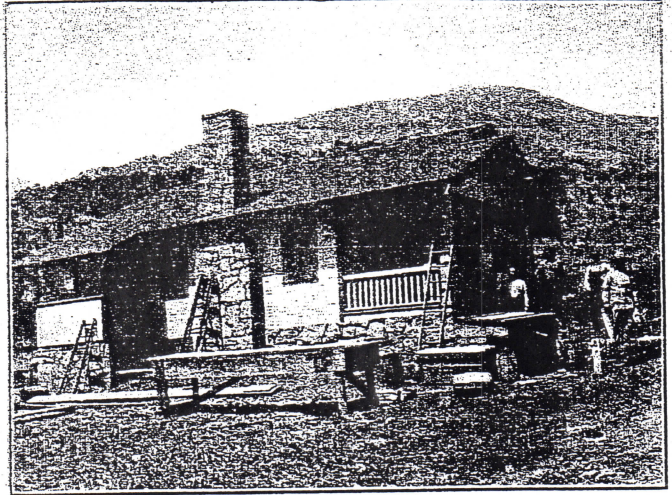
224 DUNCAN AVE



Home of Mrs. Carrie Trowbridge; Lot 3, Block 5.

"Deerhaven"

THE STATE REALTY CO., AGENTS
 211 DUNCAN AVE



Cottage Home of Noble H. Randall, Banker, Grand Junction, Colo; Lot 6, Block 6.

Whether you are especially interested or not, we cordially invite you to call at our office on the ground and get acquainted. You can't move your real estate, therefore it is highly important that selecting the right location be given first consideration. You can't do better than select a lot on this addition.



Our agent is on the ground all day to show you over the addition.



105 ROCK Rd



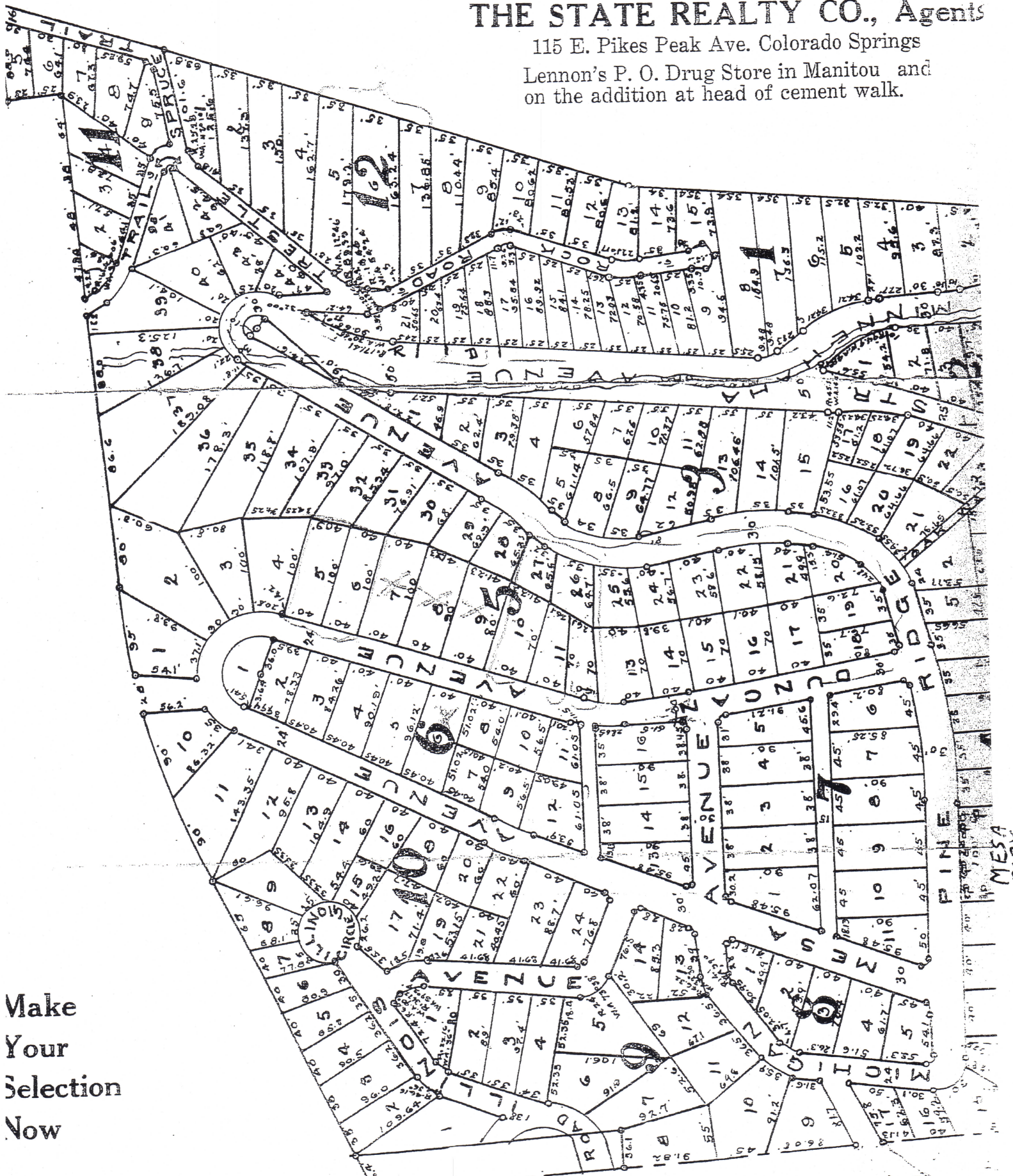
Summer Cottage of A. P. Allen, Manitou, Colo; Lot 6, Block 12.

Map of Burnett & Lennon's GRAND VIEW Addition to Manitou

THE STATE REALTY CO., Agents

115 E. Pikes Peak Ave. Colorado Springs

Lennon's P. O. Drug Store in Manitou and on the addition at head of cement walk.



Make
Your
Selection
Now



August 20, 2025

James and Melissa O'Hara
310 Michigan Avenue
Manitou Springs, CO 80829

RE: Designation of Resources – triggered by MCAC 2508 (Exterior Alterations) 310 Michigan Avenue

Dear Mr. and Mrs. O'Hara

On August 20, 2025 the Manitou Springs Planning Department determined that 310 Michigan Avenue, constructed in 1909 has been designated as a **contributing structure**. The property determination was made using the evaluation criteria outlined in section 17.04.041.2 outlined below (a through e):

a. Whether the resource embodies significant historic physical features;

- The original structure was promoted as part of a sales brochure for development on the west side of Manitou Springs. The structure has been modified over time with additions and a detached garage. The stone retaining wall is still preserved, though it is not visible from the public right of way.

b. Whether the resource adds to the historical associations, historic architectural qualities or archaeological values identified for the city's historic preservation district;

- The structure embodies the following characteristics of the Minnehaha-Pilot Knob Historic Subdistrict
 - i. Siting on some of the most severe topography in the Historic District
 - ii. Irregular setbacks
 - iii. Woodframe construction
 - iv. Retaining walls made from found stone (rubble)

c. Whether the resource was present during the period of significance of the historic district, subdistrict, or the property itself;

- The original structure was constructed in 1909, which is during the period of significance (prior to 1930) for the district.

d. Whether the resource relates to the documented significance of the property upon which it is located; and



- There is no documented significance for the property. It was listed as a summer home of Mrs. Harriett E Duerr in the sales brochure,

e. Whether the resource possesses integrity or can yield important information about the period

- Additions to the structure have diminished the historic integrity of the original structure. The once prominent front porch was removed or enclosed, and a detached garage modified the site layout significantly.

Any person may appeal this decision by filing a written notice of appeal with the city clerk no later than ten calendar days after the action from which appeal is taken. Appeal procedures and requirements may be found in Section 17.04.103 of the Manitou Springs Municipal Code.

Sincerely,

Chelsea Royston, AICP
Senior Planner

CC: Property Owner, File



Title: MCAC 2509 - 606 Manitou Avenue (Exterior Alterations, City Hall Windows)
From: Zach Davison - Planner
To: Historic Preservation Commission
Address of Proposal: 606 Manitou Avenue
Applicant: Schneider Electric, on behalf of The City of Manitou Springs

September 3, 2025

Proposal:

Schneider Electric, on behalf of the City of Manitou Springs, requests a Material Change of Appearance Certification to perform the following alterations:

Exterior Alterations:

- Replace three (3) windows, on the east façade (kitchen).
- Replace one (1) window, on the northeast façade (kitchen storage).
- Replace fifteen (15) windows on the north façade (ten (10) in Memorial Hall, one (1) in the records closet, and four (4) in two offices).
- Conduct any necessary repairs discovered after window removal.
- Conduct necessary repairs resulting from installation.

Interior Alterations:

- Conduct necessary repairs before final window installation
- Relocate light switches and outlet conduit in the kitchen.
- Touch up and repair any interior cosmetic issues resulting from installation.

This subject property is considered a CONTRIBUTING resource to the Commercial Core Historic Sub-District.

Zone District:

Public Facilities (PF)

Historic Subdistrict:

Commercial Core

Background and Existing Conditions:

This application is submitted in conjunction with the previously approved MCAC 2504 (HVAC and energy efficiency upgrades).



The ten (10) windows in memorial hall are non-original, aluminum-framed horizontal sliders. These consist of narrow, extruded aluminum frames with large, undivided sheets of glass.

The remaining nine (9) windows are single- and double-hung wood-framed, multi-light sash units. Each sash contains six (6) glass panes separated by narrow muntins. A thin wood spandrel lines the bottom of each window.

This property is a publicly owned facility and therefore is subject to review for interior and exterior improvements by the Historic Preservation Commission.

Public Involvement:

The application was noticed via postcards to properties within 300 feet of the property boundaries, in the newspaper and via a poster posted on site. No comments have been received as of the publication of this report.

Findings and Review Criteria:

The Secretary of the Interior’s Standards for Rehabilitation were used to evaluate this project. Location plays a key role in evaluating window replacement. The Standards explain that “[r]eplacement windows on primary, street-facing or any highly visible elevations...must match the historic windows in all their details and in material (wood for wood and metal for metal).” On secondary elevations with limited visibility, more flexibility is permitted, and the Standards note that alterations only need to “match the historic windows in size, configuration and general characteristics, though finer details may not need to be duplicated, and substitute materials may be considered.”

The following Secretary of the Interior’s Standards for Rehabilitation apply:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

While some of the windows may be historic, the limited visibility of their locations reduces their contribution to the building’s character. Windows on the east façade have minimal visibility from El Paso Boulevard, while other replacements windows are not visible from public rights-of-way.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.



In some cases, alterations or replacement windows that are not original may have achieved historic significance due to age or association with later periods of the building's history. For this property, the existing aluminum-framed slider windows are non-original replacements. While the age is not noted, they do not appear to have achieved significance in their own right.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The proposed replacements will not negatively impact the historic character of City Hall. The affected windows do not substantially contribute to a highly visible façade, and the replacements are compatible in size, scale, and configuration.

Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to approve the Material Change of Appearance Certification, staff do not recommend any conditions.

Motion Language Options:

Approve the Material Change of Appearance Certification at 606 Manitou Avenue, based upon the findings that the request meets the review criteria for granting a Material Change of Appearance Certification as set forth in City Code Section 17.04.050.B.5.

Approve the Material Change of Appearance Certification at 606 Manitou Avenue, based upon the findings that the request meeting the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with conditions as follows...

Deny the Material Change of Appearance Certification at 606 Manitou Avenue, based upon the findings that the request does not meet the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5.

Postpone the Material Change of Appearance Certification at 606 Manitou Avenue, to October 1, 2025, for further consideration.



APPLICATION TYPE

Physical Development Permits

- Concept Plan
- Minor Site Plan
- Minor Development Plan
- Major Development Plan
- Hillside Development Plan
- Sign Permit
- Grading Permit
- Material Change of Appearance

Use Permits

- Conditional Use Permit
- Short-term Rental Permit
- Long-term Occupancy Permit
- Wireless Facility Permit
- Temporary Use Permit – Minor
- Temporary Use Permit- Major

Subdivisions

- Minor Subdivision
- Major Subdivision
 - Preliminary Plat
 - Final Plat
- Boundary Adjustment
- Revised Final Plat
- Waiver of Replat
- Easement Vacation
- Rights-of-Way Vacation

Relief from the LUDC

- Waiver
- Variance

Amendments

- LUDC Amendment
- Minor Modification
- Rezoning

Applicant's Statement

I understand the procedures that apply to my request and acknowledge an incomplete application shall not be processed or scheduled for public hearing until such time as it is complete. City acceptance of the application, fee, and any accompanying materials does not constitute completeness. I further agree to reimburse the City for technical and professional consultant expenses that may be incurred during the review of my request. Failure to reimburse the City for invoiced expenses constitutes an incomplete application. I understand and acknowledge the use or action for which approval is requested is not allowed unless the permit is granted. I understand a pre-application appointment is required a minimum of 10 workdays prior to submission deadline.

Applicant's Signature

Date

Owner's Statement

I have read and agree to the above statements. In addition, if I am not the applicant for this request, I further give the above designated applicant permission to make the request on my behalf.

Property Owner's Signature

Date

2. Letter of Explanation

Property Address:

City of Manitou Springs City Hall, 606 Manitou Ave., Manitou Springs, CO 80829

Owner Information:

City of Manitou Springs, 606 Manitou Ave., Manitou Springs, CO 80829
(719) 685-5481

Contractor Information:

General Contractor:

Schneider Electric, 1650 W Crosby Rd, Carrollton, TX
(970) 786-9104 rob.livingston@se.com

Window:

City Glass, 414 West Colorado Ave, Colorado Springs, CO 80905
(719) 634-2891 Jasonp@cityglasscompany.net

Scope Summary

The current heating setup at Memorial Hall consists of two Reznor unit heaters that have been serving the space for a number of years. Over time, these units have become increasingly inefficient, leading to a rise in operational costs and the noise generated by the Reznor heaters during operation has become a significant concern, as it disrupts the quiet enjoyment of the hall and is particularly intrusive during events that require a more subdued atmosphere. The lack of a cooling function in the existing heaters further limits the hall's versatility, rendering it less comfortable and appealing during the warmer months. Recognizing these limitations, there is a proposal to replace the outdated heaters with a new, dedicated HVAC system. This modern system will not only rectify the issues of inefficiency and noise but will also provide comprehensive climate control with both heating and cooling capabilities. The upgrade to a more reliable and efficient HVAC system is expected to transform Memorial Hall into a comfortable space suitable for a wide array of events year-round, thereby enhancing its rental potential and enabling the City to generate additional revenue from this valuable community asset.

Scope of Work

- 1) Scope of work is to replace nineteen (19) windows as referenced in Windows Site Plan
 - a) Replacement Locations:
 - i) Fourteen (14) windows in Memorial Hall
 - ii) Four (5) windows at two offices and files room in City Hall
 - b) Window Specification as following:
 - i) Vinyl operable sliding window
 - ii) Sliders to be Simonton Daylight-Max Windows Single Slider
 - iii) Standard Glass Options, w/ ProSolar Low E, Argon
 - iv) Color choices will be provided to client for final color selection
 - v) Left open slide.

Inclusions

- 2) Demo of the existing windows frames and componentry
- 3) Inspect the window openings after demolition to assess for any necessary repairs or adjustments before new window installation.
- 4) In Kitchen, relocate switches and outlets including conduit and reinstall adjacent to window.
- 5) Dispose of all debris and old window materials in accordance with local regulations and environmental guidelines.
- 6) Furnish and Installation of new windows and componentry
- 7) Ensure all new windows operate and lock properly.
- 8) Touch up repair and painting where required.

- 9) Provide Client training, O&M requirements, and review product warranty.

Proposed Manufacturer: Simonton Windows - DaylightMax – Premium Vinyl Windows

Operating Style:



SINGLE SLIDER

Single Sliders have one operable sash that glides horizontally to the left or right for increased ventilation.

Color:



Tan

Hardware Option:



Tan

Glass Option:















Small rectangular label with illegible text and a QR code.





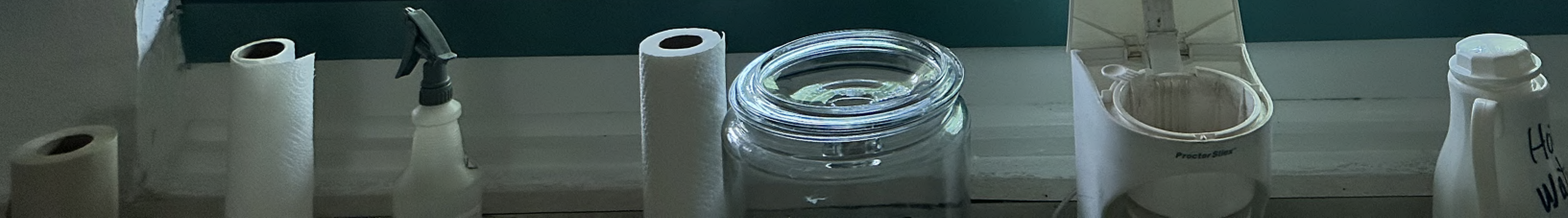
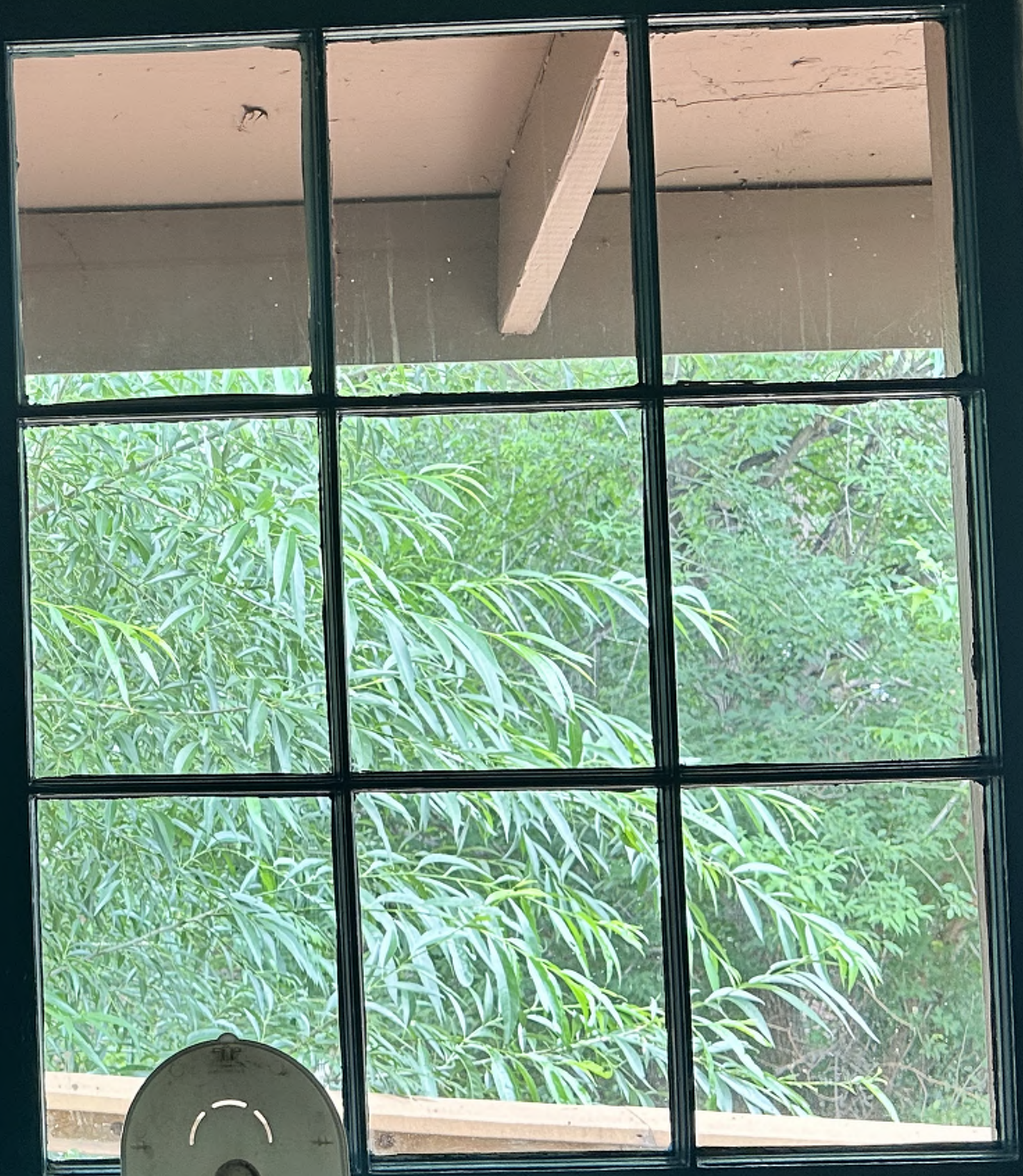












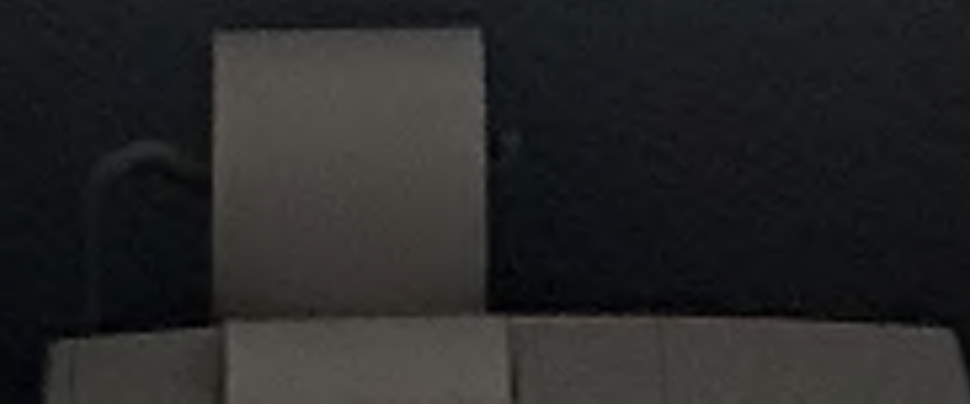


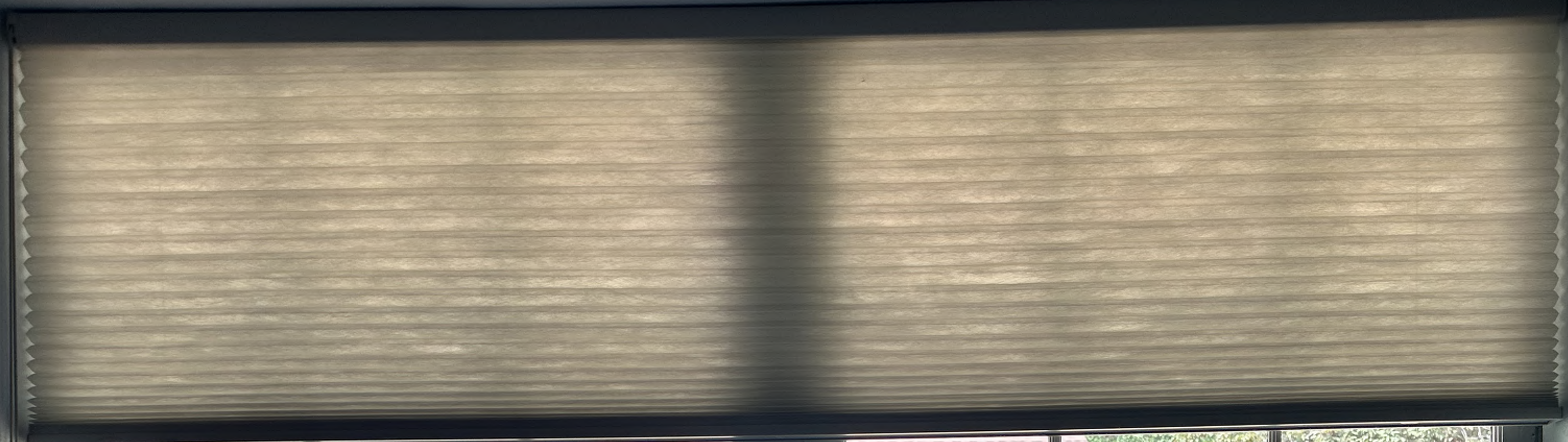








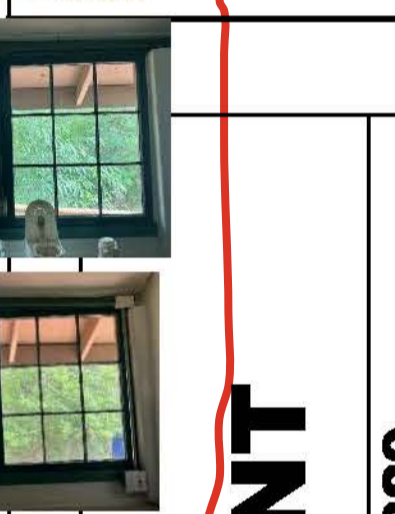






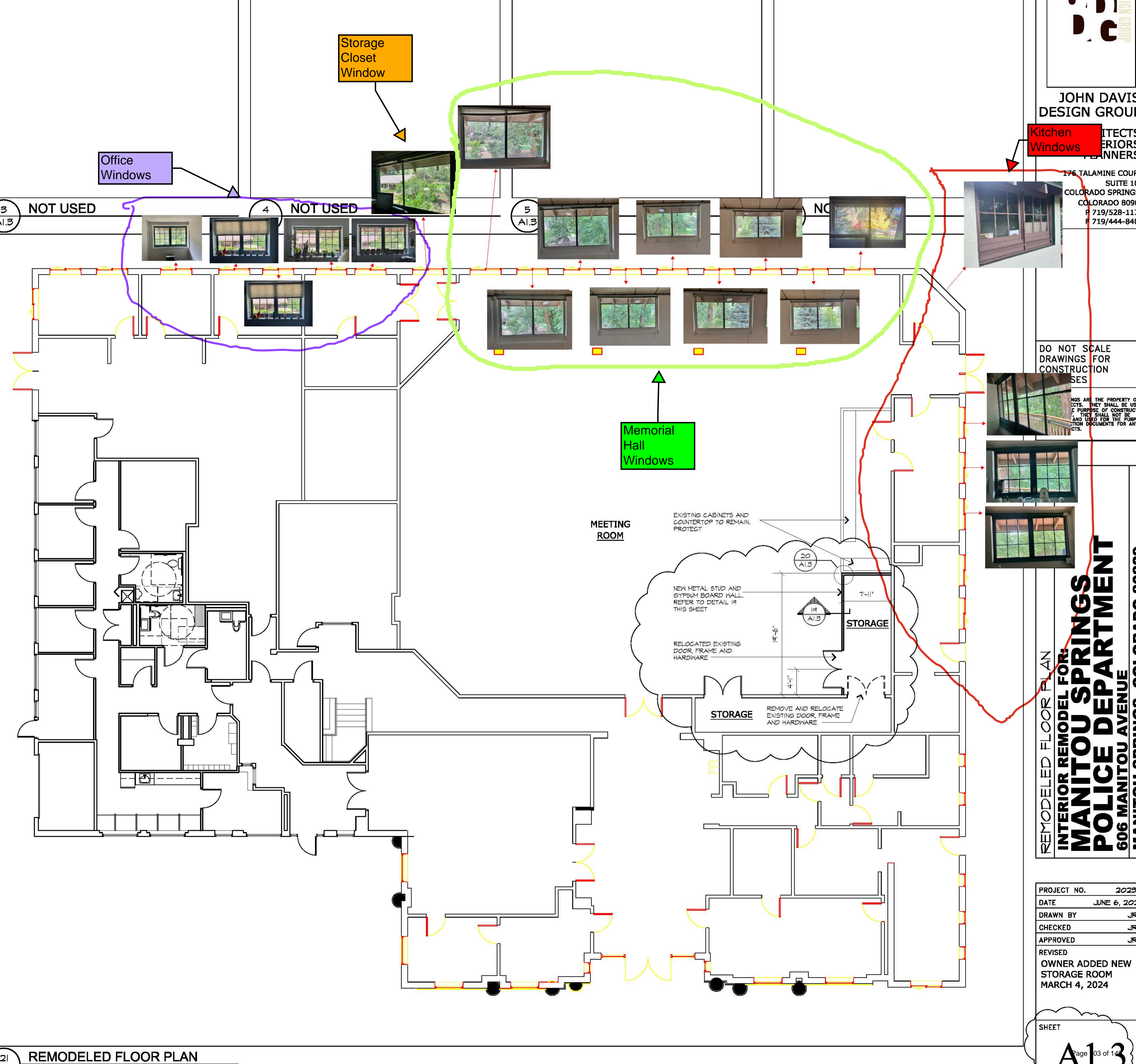
DO NOT SCALE
DRAWINGS FOR
CONSTRUCTION
USES

NOTES ARE THE PROPERTY OF
THE ARCHITECT. THEY SHALL BE USED
FOR THE PURPOSE OF CONSTRUCTION
AND SHALL NOT BE REPRODUCED,
COPIED, OR USED FOR THE PURPOSE
OF ANY OTHER PROJECTS.



REMODELED FLOOR PLAN
INTERIOR REMODEL FOR
MANITOU SPRINGS
POLICE DEPARTMENT
606 MANITOU AVENUE
MANITOU SPRINGS, COLORADO 80880

PROJECT NO.	2023
DATE	JUNE 6, 2023
DRAWN BY	JR
CHECKED	JR
APPROVED	JR
REVISED	
OWNER ADDED NEW STORAGE ROOM MARCH 4, 2024	





Title: MCAC 2510 - 106 Deer Path Avenue (Exterior Alterations, Windows)
From: Zach Davison - Planner
To: Historic Preservation Commission
Address of Proposal: 106 and 106 ½ Deer Path Avenue
Applicant: Michael and Susan Bruner

September 3, 2025

Proposal:

Michael and Susan Bruner, requests a Material Change of Appearance Certification to perform the following exterior alterations:

- Replacement of existing wood, double-hung sash windows with new vinyl sash windows of the same configuration (no muntins or lights).
- Installation of vinyl windows within the existing openings, maintaining the current size, scale, and placement.
- Window replacement will also address necessary repairs and corrections to deteriorating framing.

This subject property is considered a NON-CONTRIBUTING resource to the Midland Historic Sub-District. This determination was made by the Planning Department and triggered as a result of the MCAC application. Although the structure reflects a moderate scale (988 square feet), it lacks the defining features typical of the Midland Subdistrict as outlined in the Letter of Determination.

Zone District:

General Residential (GR)

Historic Subdistrict:

Midland Historic Subdistrict

Background and Existing Conditions:

The subject property is a 988-square-foot, one-story duplex constructed in 1925. The house reflects a Revival-era eclectic style, most evident in its jerkinhead (clipped gable) roof and stucco cladding. The structure does not display the bungalow or cottage features that typically characterize the Midland Subdistrict. Existing fenestration consists of wood, double-hung sash windows finished in a mix of brown tones, with no muntins or lights. The windows are set directly into the stucco walls with no exterior trim, leaving only the white colored wood framing exposed.



According to the applicants, the existing windows are over 50 years old and beyond repair. Several are inoperable, while those that open will not stay up, which has caused injury to a tenant. The glass is single-paned, and prior owners attempted to improve efficiency by covering the windows with plastic and blankets in the winter. Photographs submitted and attached to the application also show deterioration around the window structures.

Most of the windows proposed for replacement are not visible from the right-of-way. Two windows on the front façade are minimally visible, partially screen by vegetation. Replacement windows are proposed as vinyl sash windows of the same style, without lights, and maintaining the current opening configuration. The applicants note that surrounding properties in the neighborhood have vinyl windows that are more visible from the street, and suggest their changes reflect current neighborhood conditions. Photographs of these properties have been included in the application.

Public Involvement:

The application was noticed via postcards to properties within 300 feet of the property boundaries, in the newspaper and via a poster posted on site. No comments have been received as of the publication of this report.

Findings and Review Criteria:

The following guidelines are applicable to this project:

Chapter 6: Additions and Alterations to Non-Contributing Structures

6.5 Use building components that are similar in shape and size to those seen on historic resources.

The proposed windows will retain existing openings, size, and configuration. The replacement windows will be double-hung sash with no lights, consistent with the existing window style, with the exception of a material change from wood to white vinyl.

Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to approve the Material Change of Appearance Certification, staff do not recommend any conditions.

Motion Language Options:

Approve the Material Change of Appearance Certification at 106 and 106 ½ Deer Path Avenue, based upon the findings that the request meets the review criteria for granting a Material Change of Appearance Certification as set forth in City Code Section 17.04.050.B.5.

Approve the Material Change of Appearance Certification at 106 and 106 ½ Deer Path Avenue,



based upon the findings that the request meeting the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with conditions as follows...

Deny the Material Change of Appearance Certification at 106 and 106 ½ Deer Path Avenue, based upon the findings that the request does not meet the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5.

Postpone the Material Change of Appearance Certification at 106 and 106 ½ Deer Path Avenue, to October 1, 2025, for further consideration.



Manitou Springs Land Use & Development Code

DEVELOPMENT COVER SHEET

The main component of any application is demonstration of compliance with the LUDC. Applicants are expected to review the specific submittal checklists and standards, found at www.manitouspringsgov.com.

Return completed applications to:
606 Manitou Avenue
Manitou Springs, CO 80829
Phone (719) 685-4398

APPLICATION INFORMATION

Project Information

Project Name Window Replacement
Physical Address 106 and 106 Deer path Ave
Lot, Subdivision _____
Tax Schedule Number (TSN) _____
Pre-Application Conference Number (if applicable) _____

Property Owner

Name Michael & Susan Bruner Phone 719-651-9040
Email bmike458@gmail.com ZIP 80829
Mailing Address 1855 Mincola St^{CSC} 80915

Agent/Applicant

Name Michael Bruner Phone _____
Email bmike458@gmail.com ZIP 80915
Mailing Address 1855 Mincola St

Designate Primary Contact

Property Owner Agent/Applicant

Application Package

- Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See City Fee Schedule for list of application fees.
- Electronic Submittal.** A complete digital file of the application with attachments/plans sent to planningdept@manitouspringsco.gov.
- Hard Copy Submittal.** A complete printed file of the application with attachments/plans.
- Corporations and Partnerships.** If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation.
- Response to Submittal Checklist.** All applications require response to applicable review standards, as outlined on the submittal checklists for each application type. If a pre-application conference is held, submittal checklists will be provided at the conference. If no pre-application conference is required, see the website for the applicable checklists.

For Office Use Only
Action Number: _____ Fee Paid: _____



APPLICATION TYPE

Physical Development Permits

- Concept Plan
- Minor Site Plan
- Minor Development Plan
- Major Development Plan
- Hillside Development Plan
- Sign Permit
- Grading Permit
- Material Change of Appearance

Use Permits

- Conditional Use Permit
- Short-term Rental Permit
- Long-term Occupancy Permit
- Wireless Facility Permit
- Temporary Use Permit – Minor
- Temporary Use Permit- Major

Subdivisions

- Minor Subdivision
- Major Subdivision
 - Preliminary Plat
 - Final Plat
- Boundary Adjustment
- Revised Final Plat
- Waiver of Replat
- Easement Vacation
- Rights-of-Way Vacation

Relief from the LUDC

- Waiver
- Variance

Amendments

- LUDC Amendment
- Minor Modification
- Rezoning

Applicant's Statement

I understand the procedures that apply to my request and acknowledge an incomplete application shall not be processed or scheduled for public hearing until such time as it is complete. City acceptance of the application, fee, and any accompanying materials does not constitute completeness. I further agree to reimburse the City for technical and professional consultant expenses that may be incurred during the review of my request. Failure to reimburse the City for invoiced expenses constitutes an incomplete application. I understand and acknowledge the use or action for which approval is requested is not allowed unless the permit is granted. I understand a pre-application appointment is required a minimum of 10 workdays prior to submission deadline.

Applicant's Signature

Date

Owner's Statement

I have read and agree to the above statements. In addition, if I am not the applicant for this request, I further give the above designated applicant permission to make the request on my behalf.

Susan J. Bruner

Property Owner's Signature

8-11-25

Date

Susan and Michael Bruner
106/106.5 DeerPath Ave
Window replacement
Wooden single pane replaced w/ vinyl window- same design

Dear Committee members,

We are requesting permission to replace the existing windows at 106 and 106.5 DeerPath Ave. The existing windows are well over 50 years old. Several of the windows are not able to be opened and the ones that do will no stay up, causing injury to a former tenant. The glass is single paned and very inefficient. The previous owner, Roger, my brother would place plastic and blankets over the windows during the winter in what I believe was his attempt to honor the Historic Planning Committee guidelines of minimal change on historical structures.

We have provided pictures of the inside of the window in the kitchen in the duplex 106.5. As you can see there is breakdown around the structures.

We are asking for grace from the committee to consider the vinyl windows as I messed up and put the horse before the cart. We have already ordered and paid for the windows when Mike remembered the permit. Perhaps, wooden windows would be a reasonable option but at a much greater cost.

I am providing a picture of our house taken back in the 1970's. It appears to me that windows were white back then. There have been changes to the color of the house since that time as well as the landscaping. It is my desire to restore this wonderful house to it's natural beauty, but we must also consider the economical aspect for future tenants.

I believe that even with vinyl windows we will be able to maintain it's historical integrity. The majority of the windows are not visible from the street. The 2 windows in the front of the house are visible from the street but are partially hidden by bushes. And it may even be possible to retain the screen that is currently there which would mean there would be no visible change.

Respectfully,
Susan F Bruner

CONS - CURRENT WINDOWS

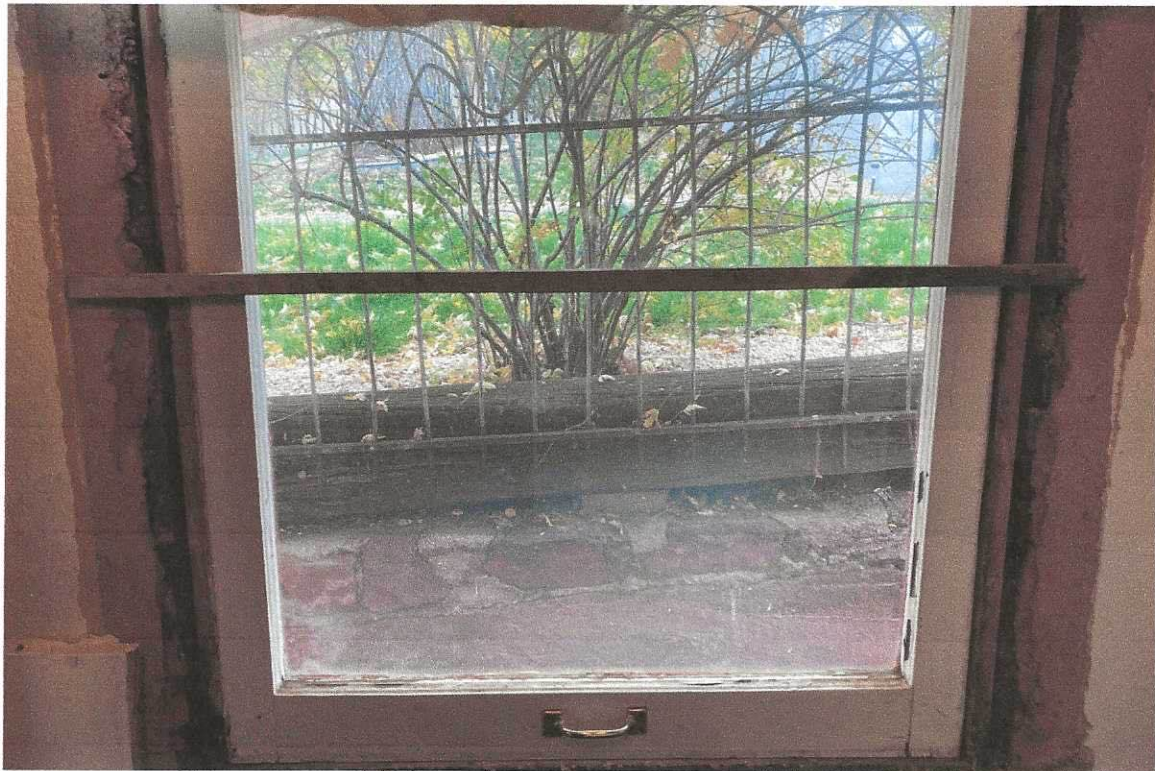
- 1) OVER 50 YEARS OLD
- 2) MADE OF WOOD
- 3) SIGNS OF ROTTING & SWELLING
- 4) YOU CAN'T OPEN SOME OF THEM
- 5) THE ONES YOU CAN OPEN, DON'T STAY OPEN
- 6) ABOVE STATEMENT IS A SAFETY HAZARD
- 7) WINDOWS ARE SINGLE PANE
- 8) LET COLD AIR IN (WINTER TIME)
- 9) NOT ENERGY EFFICIENT
- 10) CAN'T LOCK/SECURE $\frac{1}{2}$ OF THE WINDOWS

PRO - NEW WINDOWS

- 1) THEY WORK PROPERLY
- 2) THEY KEEP THE COLD OUT (INSULATED)
- 3) EASIER TO CLEAN OUTSIDE OF WINDOWS
- 4) IMPROVE THE ESTHETICS OF OUR HOME











THE INSPIRE COLLECTION

New Construction Patio Door



The Inspire Patio Door by Vinylmax combines high quality features with industry-leading value for any new home.

This door is designed to handle the constant traffic of busy families and offer great thermal performance. The Inspire Patio Door is protected by a limited lifetime warranty.



Passion for Homes and Families



STANDARD FEATURES

- **Multi-Chambered 4-7/8" fusion welded PVC frame** provides lasting strength and low-maintenance beauty.
- **Integral nail fin** is 1-1/4" long with 1-3/8" setback. Can be removed at factory or in the field.
- **Fusion welded operating panel** features corners that will never separate, or crack.
- **Direct set fixed panel** improves door structure and eases installation.
- **Reinforced vertical rails** prevent twisting or warping of the panel and interlock.
- **Full interlock** ensures secure closing of the door and keeps out drafty elements.
- **Field reversible two panel doors** allow for flexibility in determining operating direction. Can be factory specified.
- **3/4" insulated tempered glass with Intercept spacer** is the foundation of thermal performance and comfort.
- **Multiple rows of weatherstripping** prevents air infiltration.
- **Tandem self-leveling steel rollers** are end adjustable to allow fine tuning of door operation.
- **Impact resistant threshold** withstands heavy traffic.
- **Color matched exterior handle** ensures easy operation.
- **Interior handle is color matched** and allows door to lock with a secure interior thumb latch.
- **Rolling screen door** includes BetterVue improved visibility screen mesh.
- Non-Prorated **Limited Lifetime Warranty** covers vinyl, glass, screens and hardware for as long as you live in your home.

OPTIONAL FEATURES

- Optional **IntelliGlass X Low E glass with Argon gas fill** heightens energy efficiency.
- **Keyed lock** enables door to be locked and unlocked from the exterior.
- **Heavy duty screen door** stands up to the high traffic of busy families.
- **Two position toe lock** permits door to be locked in an open airflow position, or adds extra secure locking.

COLORS

Vinyl Colors



White



Clay

Laminated Exterior



White/Black

GRIDS

Patterns



Colonial



Perimeter

Profiles

(color matched to door)



Flat

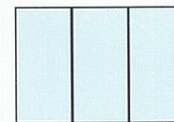


Georgian

STYLES



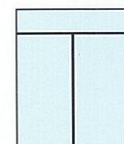
2 Panel Door



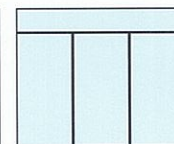
3 Panel Door



Geometrics



2 Panel Transom



3 Panel Transom



Fixed Panel

STANDARD SIZES

NOMINAL SIZE	PANELS	DOOR SIZE
5068	2	59-1/2" x 79-1/2"
6068	2	71-1/2" x 79-1/2"
8068	2	95-1/2" x 79-1/2"
9068	3	106-1/8" x 79-1/2"

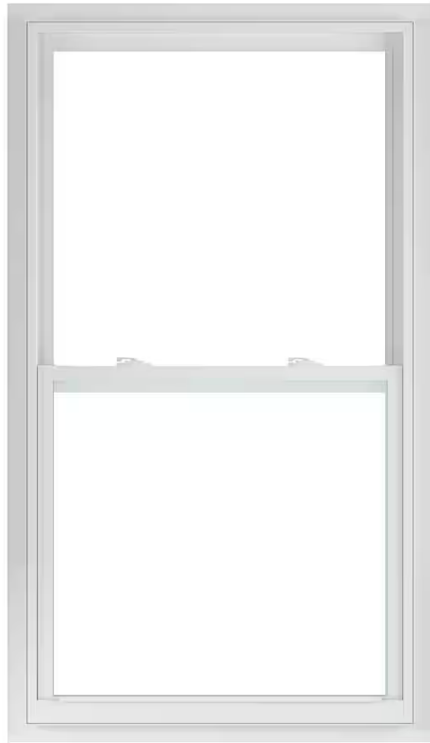
Custom sizes are only available on White/Black laminated exterior doors

vinylmax
windows

WINDOW+DOOR
TOP 100
MANUFACTURERS



2921 McBride Court
Hamilton, OH 45011
(800) 847-3736
vinylmax.com

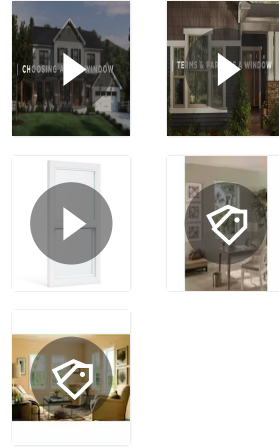


Hover Image to Zoom

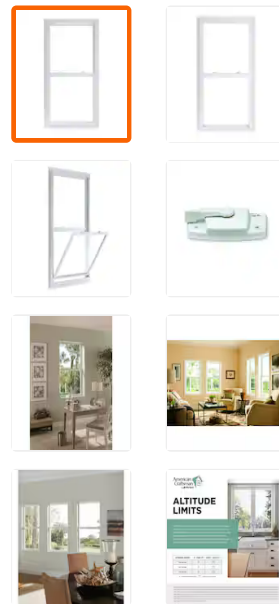
31.375 in. x 59.25 in. 50 Series
White Single Hung Low-E Argon
Glass Vinyl Fin Window, Screen
Incl

by **American Craftsman**

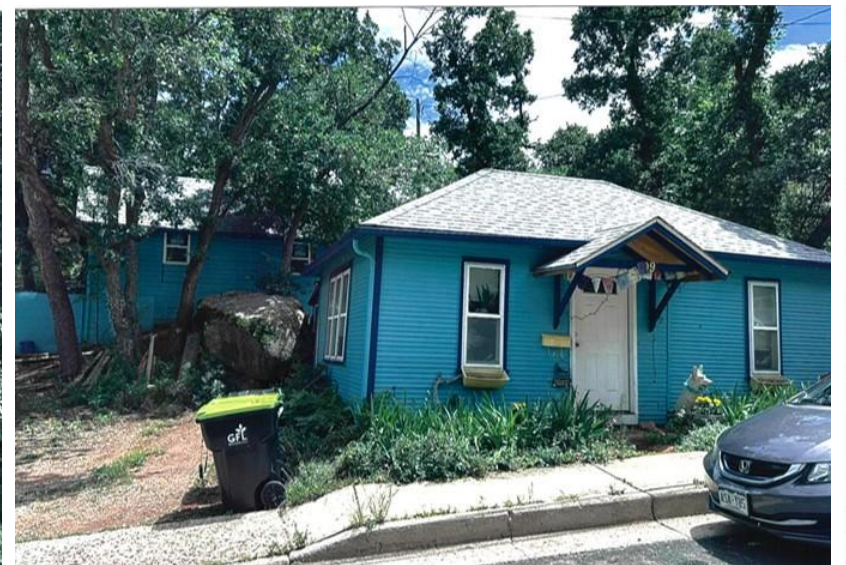
Related Videos, 360° View & Shop This
Look



Product Images



Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 6: Guidelines for Additions and Alterations to NON-CONTRIBUTING Structures								
6.1	6.1	Building Orientation		X	X			
6.2	6.2	Mass & Scale		X	X			
6.3	6.2	Building Materials		X	X			
6.4	6.2	Roof Form		X	X			
6.5	6.3	Architectural Details	X		X	X	NOT WOOD FOR NEW IMPROVED MATERIALS WOOD.	ENERGY EFFICIENT
Chapter 7: Guidelines for NEW Construction in the COMMERCIAL CORE (see also pages 2.53-2.55 and Chapter 10)								
7.1	7.3	Franchise Architecture						
7.2	7.3	Building Alignment						
7.3	7.4	Building Orientation						
7.4	7.4	Mass & Scale						
7.5	7.5	Building Form						
7.6	7.5	Roof Form						





August 01, 2025

Michael Bruner, Susan Bruner
1855 Mincola Street
Colorado Springs, CO 80915

RE: Designation of Resources – Triggered by MCAC 2410 (Exterior Alterations) 106 and 106 ½ Deer Path Avenue

Dear Mr. and Mrs. Bruner,

On August 01, 2025, the Manitou Springs Planning Department determined that 106 Deer Path Avenue is a **non-contributing structure**. This determination was made in accordance with the evaluation criteria outlined in 17.04.041.2, as summarized below (items a through e):

a. Whether the resource embodies significant historic physical features;

The structure does not embody significant historic physical features. The structure reflects a modest Revival-era eclectic style, evident in its jerkinhead roof and stucco cladding. The use of glass blocks around the entry is consistent with period experimentation in the 1920s, when new materials were introduced into traditional forms. However, the house does not embody the defining bungalow or cottage features of the Midland Subdistrict, but rather a hybrid of styles.

b. Whether the resource adds to the historical associations, historic architectural qualities or archaeological values identified for the city's historic preservation district;

The structure reflects the characteristics of moderate scale (988 square feet) but does not contribute to the district's historic architectural qualities. It is stucco-clad, has Revival-style roof form, and lacks unique detailing and features typical of the Midland Subdistrict.

c. Whether the resource was present during the period of significance of the historic district, subdistrict, or the property itself;

The structure was built in 1925, within the subdistrict's period of significance (pre-1930).

d. Whether the resource relates to the documented significance of the property upon which it is located; and



There is no documented significance of the property.

e. Whether the resource possesses integrity or can yield important information about the period

The structure does not convey historic significance. It does not display district-defining details and includes alterations that diminish its ability to represent the subdistrict's historic character.

Any person may appeal this decision by filing a written notice of appeal with the city clerk no later than ten calendar days after the action from which appeal is taken. Appeal procedures and requirements may be found in Section 17.04.103 of the Manitou Springs Municipal Code.

Sincerely,

Zachary Davison
Planner II

CC: Property Owner, File



Title: MCAC 2511 - 190 Chelten Road (Exterior Alterations, Windows, reface foundation)
From: Chelsea Royston
To: Historic Preservation Commission
Address of Proposal: 190 Chelten Road
Applicant: Nancy Briley, Owner

September 3, 2025

Proposal:

The owner is seeking to reface a portion of the stone foundation and to replace four aluminum-framed windows with wood windows.

Zone District:

Low Density Residential (LDR)

Historic Subdistrict:

Log Cabin

Background and Existing Conditions:

The 1924 single-story structure has an enclosed porch along the front of the structure, which is set back approximately seventy (70) feet from the right of way. The porch was enclosed approximately fifty (50) years ago and the foundation was faced with materials that were inconsistent with the rest of the structure. The foundation of the porch has deteriorated and the owner proposes to stabilize the foundation structure, which is not within HPC purview. The new foundation structure will then be clad in stone and mortar to match other portions of the original foundation, as well as the chimney.

The scope of the project also includes replacing four windows, three of which would be increased in size. The windows are currently aluminum-framed. The proposed windows will increase the window height from 24 inches to 32 inches, will have decorative divided lites, and will be wood-framed. The window on the northern facade will remain at 24 inches. The windows also have decorative wood trim in a wave pattern that will be replicated as needed to maintain the historic aesthetic.

Public Involvement:

The application was noticed via postcards to properties within 300 feet of the property boundaries, in the newspaper, and via a poster posted on site. No comments have been received as of the publication of this report.

Findings and Review Criteria:



The structure was determined to be contributing to the historic district, therefore, Chapter 4 of the Manitou Springs Historic District Design Guidelines shall apply.

- Guideline 4.1 An addition or alteration to an historic building shall ensure that the original architectural character and style of the structure is maintained and the addition is subordinate in appearance to the original building.
 - The alterations to the historic structure will be replacing features that are inconsistent with the architectural character. The replaced stone foundation will be more consistent with other stone walls found on the site and throughout the district. The windows, while modern, will be wood rather than aluminum, which is consistent with the period of significance.

- Guideline 4.13 Historic windows, window materials, scale and their arrangement and location on a building façade shall be preserved, especially any façade visible from the street.
 - The existing aluminum windows may be original to the enclosed porch. The proposed replacement would include wood-framed windows with decorative mullions on the street-facing facade. While the fenestration is maintained, the windows would be enlarged. The new windows are intended to be consistent with the rest of the structure and other structures in the Log Cabin sub-district.

- Guideline 4.15 Architectural details, such as trim, combine to establish distinct character and shall be preserved, whenever feasible. Damaged and/ or missing detailing shall be replaced and shall match the original detailing.
 - The window trim will be replicated with wood to fill in portions that are missing and gaps that are created by the enlargement of the windows.

- Guideline 4.16 When renovating an exposed stone foundation, preserve and maintain the existing stone veneer.
 - The existing stone foundation veneer of the porch consists of flagstone slabs placed on edge, so that the broad face is vertical. Typically, flagstone is stacked so that the broad face is horizontal. The owner intends to remove the flagstone and rebuild the wall with stones found on site so that it will replicate the wall of the main house foundation and the chimney.



Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to grant the Material Change of Appearance Certification, staff does not recommend any conditions.

Motion Language Options:

Approve the MCAC at 190 Chelten Road, based upon the findings that the request meets the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050.B.5 as presented.

Approve the MCAC at 190 Chelten Road, based upon the findings that the request meeting the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050.B.5, with an alteration to staff's conditions as follows...

Deny the MCAC at 190 Chelten Road, based upon the findings that the request does not meet the review criteria for granting a MCAC, as set forth in City Code Section 17.04.050.B.5.

Postpone the MCAC at 190 Chelten Road to October 1, 2025 for further consideration.



August 28, 2025

Nancy Briley, Owner
190 Chelten Road
Manitou Springs, CO 80829

RE: Designation of Resources – triggered by MCAC 2511 (Exterior Alterations) 190 Chelten Road

Dear Ms. Briley,

On August 28, 2025 the Manitou Springs Planning Department determined that 190 Chelten Road, constructed in 1924 has been designated as a **contributing structure**. The property determination was made using the evaluation criteria outlined in section 17.04.041.2 outlined below (a through e):

a. Whether the resource embodies significant historic physical features;

The structure has several of the defining characteristics identified in the Historic District Design Guidelines:

- Horizontal single-story residences
- Original log cabin construction
- Peeled-bark, round log siding, though no chinking is visible)
- Low-sloped gabled roofs with shed extensions for porches
- Siting and landscaping which blends with the setting
- rustic, rubble stone walls
- Rustic, natural landscaping, pinons and native planting

b. Whether the resource adds to the historical associations, historic architectural qualities or archaeological values identified for the city's historic preservation district;

- There are no known historical, architectural, or archaeological values identified on the site or in the structure.

c. Whether the resource was present during the period of significance of the historic district, subdistrict, or the property itself;

- This structure was constructed in 1924, within the period of significance for the historic district (pre-1940).



d. Whether the resource relates to the documented significance of the property upon which it is located; and

- There is no documented historic significance for the property or the structure.

e. Whether the resource possesses integrity or can yield important information about the period

- The structure possesses integrity and can yield information about the time during which it was designed.

Any person may appeal this decision by filing a written notice of appeal with the city clerk no later than ten calendar days after the action from which appeal is taken. Appeal procedures and requirements may be found in Section 17.04.103 of the Manitou Springs Municipal Code.

Sincerely,

Chelsea Royston
Senior Planner

CC: Property Owner, File



Manitou Springs Land Use & Development Code

DEVELOPMENT COVER SHEET

The main component of any application is demonstration of compliance with the LUDC. Applicants are expected to review the specific submittal checklists and standards, found at www.manitouspringsgov.com.

Return completed applications to:
606 Manitou Avenue
Manitou Springs, CO 80829
Phone (719) 685-4398

APPLICATION INFORMATION

Project Information

Project Name 190 Chelton Porch Renovation

Physical Address 190 Chelton Rd, Manitou Springs

Lot, Subdivision Lot 6+, lot 7+, Chelton Hills

Tax Schedule Number (TSN) 7409202024

Pre-Application Conference Number (if applicable) _____

Property Owner

Name Nancy Briley Phone 719-641-5324

Email nancybriley@gmail.com ZIP 80829

Mailing Address 190 Chelton Rd, MS, CO 80829

Agent/Applicant

Name owner Phone _____

Email _____ ZIP _____

Mailing Address _____

Designate Primary Contact

- Property Owner Agent/Applicant

Application Package

- Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See City Fee Schedule for list of application fees.
- Electronic Submittal.** A complete digital file of the application with attachments/plans sent to planningdept@manitouspringsco.gov.
- Hard Copy Submittal.** A complete printed file of the application with attachments/plans.
- Corporations and Partnerships.** If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation.
- Response to Submittal Checklist.** All applications require response to applicable review standards, as outlined on the submittal checklists for each application type. If a pre-application conference is held, submittal checklists will be provided at the conference. If no pre-application conference is required, see the website for the applicable checklists.

For Office Use Only

Action Number: _____ Fee Paid: _____



APPLICATION TYPE

Physical Development Permits

- Concept Plan
- Minor Site Plan
- Minor Development Plan
- Major Development Plan
- Hillside Development Plan
- Sign Permit
- Grading Permit
- Material Change of Appearance

Use Permits

- Conditional Use Permit
- Short-term Rental Permit
- Long-term Occupancy Permit
- Wireless Facility Permit
- Temporary Use Permit – Minor
- Temporary Use Permit- Major

Subdivisions

- Minor Subdivision
- Major Subdivision
- Preliminary Plat
- Final Plat
- Boundary Adjustment
- Revised Final Plat
- Waiver of Replat
- Easement Vacation
- Rights-of-Way Vacation

Relief from the LUDC

- Waiver
- Variance

Amendments

- LUDC Amendment
- Minor Modification
- Rezoning

Applicant's Statement

I understand the procedures that apply to my request and acknowledge an incomplete application shall not be processed or scheduled for public hearing until such time as it is complete. City acceptance of the application, fee, and any accompanying materials does not constitute completeness. I further agree to reimburse the City for technical and professional consultant expenses that may be incurred during the review of my request. Failure to reimburse the City for invoiced expenses constitutes an incomplete application. I understand and acknowledge the use or action for which approval is requested is not allowed unless the permit is granted. I understand a pre-application appointment is required a minimum of 10 workdays prior to submission deadline.

Nancy Bailey
Applicant's Signature

08/15/2025
Date

Owner's Statement

I have read and agree to the above statements. In addition, if I am not the applicant for this request, I further give the above designated applicant permission to make the request on my behalf.

Nancy Bailey
Property Owner's Signature

08/15/2025
Date

Chelsea Royston

From: nancybriley@q.com
Sent: Monday, August 18, 2025 11:59 AM
To: Chelsea Royston
Subject: Proposed improvements to 190 Cheltenham Rd.

Hi Chelsea. I am so sorry, but I have been unable to fill out those forms online. I have filled some out by hand. This is my "letter of explanation." You will need to scan forms and then copy/paste this to create an online application.

The proposal to build a loft over the garage is withdrawn, as the garage is built on a slab, making it impossible to add a second story.

Letter of Explanation for Improvements to 190 Cheltenham Rd.

Address: 190 Cheltenham Rd.
Manitou Springs, CO 80829

Owner: Nancy Briley
190 Cheltenham Rd.
Manitou Springs, CO 80829

Contractor: Casey Mielnik
Bighorn Home Solutions Ltd.
7075 Ashley Dr.
Colorado Springs, CO 80922

Designer: (owner)

Scope: Stabilization of front of residence by pouring a concrete foundation under the existing closed in porch, then facing the concrete well with stone and then replacing existing windows with wooden windows.

Description of proposal: The historic cabin had a front porch extending across the front of the house. This was enclosed approximately 50 years ago to form two small bedrooms. The porch was resting on four pillars, across the front. These pillars appear to be intact and stable, but joists at the junction of the porch and the house were cut to allow ductwork for the heating system, decreasing the stability of the structure. The base of the porch was enclosed by placing stones along the south side, without grout. The north facing foundation is concrete, faced with horizontal wood 1x12s. This will not be changed unless needed for stability. The front of the facing consists of flagstone set on edge across, with grout between each stone. The grout has come loose and the flagstones are unstable. The flagstones were apparently initially set against a wooden support, but the base of that support has now rotted. The lack of a foundation has allowed animals to invade, in the past, as well as prevented proper insulation.

The current windows are single pane, aluminum windows, which are not energy efficient, and are not aesthetically consistent with the log cabin appearance.

The proposed improvements would remove the flagstone and loose stone facade. The porch would be stabilized by a poured, concrete foundation. This would be faced with natural stones, gathered from the property (supplemented with purchased stones if needed.) This is consistent with the original foundation under the cabin, as well as the stone chimney.

The current windows will be removed and replaced with solid wooden, insulated windows. Faux divided lites will be added to enhance the appearance, making it consistent with the log cabin design as well as matching the windows of the front porch enclosure next door. Three of the windows will be increased in height from (current) 24" to 32", decreasing the "solid wall" appearance from the front. The window on the north face will be left at 24" height, but will have faux divided lites. The windows are currently trimmed with a decorative, wave design (as seen on the historic cabins on Crystal Park Road). This will be maintained across the tops and replicated as needed for the side trim.

The second phase of the project, a proposed loft addition to the garage, has been abandoned.

Photographs: I will send separately.

Site Plan: No changes to site or floorplan.

Checklist for Applicability: Hard copy. Will try to send separately as well.

Hope this works.

Thanks, Nancy

Chelsea Royston

From: Nancy Briley <nancybriley@q.com>
Sent: Monday, August 18, 2025 12:26 PM
To: Chelsea Royston
Subject: Photos 190 Chelten Rd.



Existing facade



Natural stone chimney



Natural stone foundation



Flagstone fascia



Failing mortar





Neighbor porch enclosure with natural stone foundation and faux divided lites in windows.
Sent from my iPhone

CHECKLIST FOR APPLICABILITY
 City of Manitou Springs Historic District Design Guidelines

Project Name and/or Address 190 Chelton Rd. Manitou Springs Date 08/15/2025

STEP 1: Identify an approach for your project (see page 1.7 of the Historic Design Guidelines)
STEP 2: Complete the following Checklist

- Is the Guideline applicable? If yes, is your project in compliance with the Guideline? If your project is not in compliance, please indicate why not and describe your alternative strategy for fulfilling the intent of the Guideline.

Photographs and supplemental information are encouraged. Please use a separate piece of paper if you need additional space.

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 1: Introduction (Includes Philosophy, How to Use the Design Guidelines and the Submittal Process)								
Chapter 2: Historic Context (Includes information about the Historic Subdistricts on pages 2.7-2.60 and Architectural Styles on pages 2.61-2.72)								
Chapter 3: Guidelines for SUSTAINABLE Building Strategies								
3.1	3.6	Solar Panels and Photovoltaic Cells		X				
3.2	3.6	Satellite Dish Antennas		X				
Chapter 4: Guidelines for Preservation, Alterations and Additions to CONTRIBUTING RESIDENTIAL Structures								
4.1	4.1	Architectural Character	X			X		
4.2	4.2	Building Alignment		X				
4.3	4.2	Building Orientation		X				
4.4	4.2	Building Height		X				
4.5	4.4	Mass & Scale		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.6	4.4	Roof Form		X				
4.7	4.5	Roof Materials		X				
4.8	4.6	Chimneys		X				
4.9	4.6	Dormers		X				
4.10	4.7	Skylights		X				
4.11	4.7	Porches		X				
4.12	4.8	Porch Material		X				
4.13	4.9	Windows	X			X		
4.14	4.10	Doors		X				
4.15	4.11	Architectural Details	X			X		
4.16	4.12	Foundation Ormentation & Details	X			X		
4.17	4.12	Foundation Ormentation & Details		X				

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.18	4.13	Materials	X		X			
4.19	4.13	Materials	X		X			
Chapter 5: Guidelines for NEW RESIDENTIAL Construction								
5.1	5.2	Building Alignment						
5.2	5.3	Building Orientation						
5.3	5.3	Building Height						
5.4	5.4	Mass & Scale						
5.5	5.4	Mass & Scale						
5.6	5.5	Building Materials						
5.7	5.5	Roof Form						
5.8	5.6	Roof Materials						
5.9	5.6	Porches						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 6: Guidelines for Additions and Alterations to NON-CONTRIBUTING STRUCTURES								
6.1	6.1	Building Orientation		X				
6.2	6.2	Mass & Scale		X				
6.3	6.2	Building Materials	X		X			
6.4	6.2	Roof Form		X				
6.5	6.3	Architectural Details	X			X		
Chapter 7: Guidelines for NEW Construction in the COMMERCIAL CORE (see also pages 2.53-2.55 and Chapter 10)								
7.1	7.3	Franchise Architecture						
7.2	7.3	Building Alignment						
7.3	7.4	Building Orientation						
7.4	7.4	Mass & Scale						
7.5	7.5	Building Form						
7.6	7.5	Roof Form						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
7.7	7.6	Storefronts						
7.8	7.7	Storefronts						
7.9	7.7	Storefronts						
7.10	7.8	Architectural Details						
7.11	7.9	Architectural Details						
7.12	7.10	Architectural Details						
7.13	7.11	Materials						
7.14	7.11	Materials						
7.15	7.11	Materials						
7.16	7.12	Awnings						
7.17	7.13	Nonconforming Commercial Buildings						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 8: Guidelines for New Construction and Additions in Selected SUBDISTRICTS								
8.1	8.2	Architectural Details of Historic Structures						
8.2	8.3	Architectural Details of Historic Structures						
8.3	8.4	Architectural Details of Historic Structures						
8.4	8.5	Franchise Architecture						
8.5	8.5	Nonconforming Commercial Buildings						
LOG CABIN SUBDISTRICT (see also pages 2.33-2.35, 10.6-10.7, and 10.9-10.10)								
8.6	8.7	Building Form		X				
8.7	8.7	Primary Entrances and Porches		X				
8.8	8.7	Garages		X				
8.9	8.7	Garages		X				
8.10	8.8	Building Materials	X			X		

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
EL COLORADO LODGE SUBDISTRICT (See also pages 2.21-2.23)								
8.11	8.8	Building Alignment						
8.12	8.9	Building Orientation						
8.13	8.9	Mass & Scale						
8.14	8.9	Building Form						
8.15	8.10	Roof Form						
8.16	8.10	Materials						
8.17	8.10	Materials						
8.18	8.10	Materials						
VILLAS SUBDISTRICT – Page 8.11 (See also pages 2.49-2.51 and Chapters 3, 4, 5, 6, 9, 10 and/or 11 as applicable)								
CLIFF DWELLINGS SUBDISTRICT (See also pages 2.17-2.19)								
8.19	8.12	Building Alignment						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
8.20	8.12	Building Orientation						
8.21	8.12	Mass & Scale						
8.22	8.13	Building Form						
8.23	8.13	Roof Form						
8.24	8.14	Materials						
8.25	8.14	Materials						
8.26	8.14	Materials						

WEST MANITOU SUBDISTRICT – Pages 8.14-8.15 (See also pages 2.57-2.59 and Chapters 3, 4, 5, 6, 8, 9, 10 and/or 11 as applicable)

Chapter 9: Guidelines for SECONDARY Structures

9.1	9.1	Secondary Structures						
9.2	9.1	Secondary Structures						
9.3	9.1	Garages						
9.4	9.3	Carports Shade Structures						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 10: Guidelines for SITE IMPROVEMENTS for Residential and Commercial Properties								
10.1	10.2	Stone Retaining Walls, Bridges & Stairs						
10.2	10.2	Stone Retaining Walls, Bridges & Stairs						
10.3	10.3	Stone Retaining Walls, Bridges & Stairs						
n/a	10.3	Site Drainage						
10.4	10.4	Automobile Access & Parking						
10.5	10.5	Automobile Access & Parking						
10.6	10.5	Mechanical Equipment & Service Areas						
n/a	10.6	Fencing						
10.7	10.8	Streetscape						
n/a	10.9	Vegetation						
10.8	10.10	Lighting						
10.9	10.11	Lighting						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
10.10	10.11	Security						
10.11	10.12	Integral Color: Roofing, Natural Stone, Grout, Concrete						
n/a	10.12	Painting and Surface Treatments						
n/a	10.13	Historic District Color Palette						
Chapter 11: Guidelines for Building RELOCATION								
11.1	11.1	Building Relocation						
11.2	11.1	Building Relocation						
11.3	11.1	Building Relocation						
APPENDIX A: Secretary of the Interior: Standards for Treatment of Historic Properties								
APPENDIX B: Technical Maintenance and Preservation Information								
APPENDIX C: Tax Credits and Other Incentives for Historic Preservation								
APPENDIX D: Glossary of Terms								