



MANITOU SPRINGS CITY PLANNING COMMISSION REGULAR MEETING AGENDA

All upcoming CPC meetings are scheduled to be hybrid,
Zoom (remote) or in-person at Memorial Hall.

In Person: Memorial Hall
606 Manitou Avenue

Manitou Springs, CO 80829

Remote: A link is provided on the City's Official Website at

<https://www.manitouspringsgov.com/544/All-Boards-and-Commissions>

July 9, 2025

5:30 PM

- A. CALL TO ORDER**
- B. APPROVAL OF MINUTES**
- C. PUBLIC COMMENT ON NON-AGENDA ITEMS**
- D. UNFINISHED BUSINESS**
- E. NEW BUSINESS**
 - 1. VAR 2506 - Creek Walk Phase #4
- F. OTHER BUSINESS**
 - 1. Code Revisions Work Session
- G. NOTICE OF COUNCIL ACTION AND UPDATES**
- H. ADJOURNMENT**

Commissioners:

Alan Delwiche, Chair (12/31/2026)
Justin Wilson, Vice Chair (12/31/2025)
Mike Casey (12/31/2027)
Stephen Graybill (12/31/2026)
Gloria Latimer (12/31/2025)
Roy Rosenthal (12/31/2028)
Carey Storm (12/31/2028)
Megan Day, Alternate Commissioner (12/31/2027)
Frank DeLay, Alternate Commissioner (12/31/2029)

1 alternate position available

City Council Liaison: Julie Wolfe

Staff:

Fred Rollenhagen, Planning Director
Chelsea Royston, Senior Planner
Erin Ringsred, Planner and Landscape Architect II
Zachary Davison, Planner I

The City of Manitou Springs does not discriminate on the basis of disability in the admission to, access to, or operations of programs, services or activities. Reasonable accommodation will be provided to ensure equal access to all. Individuals who would like to request auxiliary aids or services should contact the ADA Coordinator at (719) 685-5481 or jfryer@manitouspringsco.gov. You may also contact the City Clerk's Office at cityclerk@manitouspringsco.gov or (719) 685-2554. Please provide a minimum of 3-5 days advance notice.

Interested citizens are invited to serve on any of the City's Boards or Commissions. Please contact the City Clerk's Office for more information or visit our website at www.manitouspringsgov.com.



Title: VAR 2506 - Creek Walk Phase #4

From: Chelsea Royston

To: City Planning Commission

Address of Proposal: Within the Manitou Avenue right of way between Mayfair Avenue and 466 Manitou Avenue

Applicant: City of Manitou Springs

July 9, 2025

Proposal:

The City of Manitou Springs requests a variance to Section 18.03.9.6.E.3 of the Manitou Springs Land Use and Development Code (LUDC) which requires that the street design of Manitou Avenue have "Eight-inch vertical curbs required with detached sidewalks". The proposed design of Creek Walk Trail Phase #4 has a trail that is attached to the back of the curb. The applicant has indicated that the requirement for eight-inch vertical curbs is not compliant with the Colorado Department of Transportation, which has oversight over Manitou Avenue.

Zone District:

Commercial (C) zone

Background & Existing Conditions:

The City of Manitou Springs adopted the Creek Walk Master Plan in October 2018 with extensive public engagement and review by the Open Space Advisory Committee (OSAC), the City Planning Commission (CPC), and City Council. Part of the scope of the Master Plan was to identify a preferred alignment for the trail between the north side of Manitou Avenue and the south side of Fountain Creek. The portion of the trail that is in current review is part of the Eastern Segment identified in the Master Plan and describes the existing portion of sidewalk along Manitou Avenue as "a 3 foot cement sidewalk and a 2 foot dirt median" with "unusually wide on-street parking and wide lanes". There is also a steep slope from the sidewalk down to Fountain Creek on the north. The Master Plan identified ADA accessibility challenges, anticipated high volume of pedestrian and cyclists, and sensitive native riparian ecologies as challenges to realigning the existing sidewalk closer to the creek. As a result, the alignment of the Creek Walk trail will remain consistent with the placement of the existing paved sidewalk, adjacent to Manitou Avenue.

The design of the trail is intended to meet design standards for accessibility and multimodal traffic. The trail has been designed to be ten feet (10') wide concrete. Though the majority of this segment of trail does not incorporate a detached sidewalk design, there are landscape "bump outs" at strategic points along the trail to act as traffic-calming measures that increase pedestrian visibility at crosswalks across Manitou Avenue. The intent of the design was to balance the pedestrian needs with the need for on-street parking for oversized vehicles.

The applicant has indicated that the requirement for eight-inch vertical curbs is not compliant with the Colorado Department of Transportation, which has oversight over Manitou Avenue.

Application Detail:



The LUDC section for which the variance is requested, is in the Streets, Trails, and Connectivity section (18.03.9). The Applicability section indicates that this section of the LUDC applies to "all public rights-of-way, including streets and trails within the City of Manitou Springs". Section 18.03.9.6 governs the Manitou Avenue Street Design and indicates that the design shall have "Eight-inch vertical curbs required with detached sidewalks." Generally, a detached sidewalk is separated from the back of curb by a landscaped area or an amenity zone with benches, light poles, etc. The intent of a detached sidewalk is to separate pedestrians from the flow of traffic. There is no definition nor diagram describing a detached sidewalk in the LUDC, or the minimum requirements for the buffer area. This is the only reference in the LUDC to a detached sidewalk, and other street designs in the code, even those with diagrams, require attached sidewalks. Staff are unsure of the origin of this requirement. The applicant has indicated that the requirement for eight-inch vertical curbs is not compliant with the Colorado Department of Transportation, which has oversight over Manitou Avenue.

Public Involvement:

This application was publicly noticed in accordance with Section 18.06.3.7 of the LUDC. Several inquiries have been received as to the nature of the request, but no comments were submitted. Extensive public engagement was completed during the development of the Creek Walk Master Plan.

Findings & Review Criteria:

Approval Criteria for variances is stated the Manitou Springs Municipal Code. Section 18.06.4.2.E No variance shall be authorized unless the Planning Commission finds that all of the following criteria have been met.

1. Not result in *development* of areas at risk of *natural hazards*, unless adequate mitigation is provided to the satisfaction of the Planning Director pursuant to the standards in [Chapter 18.03](#); and
 1. The proposed alignment for this section of Creek Walk trail is not in the floodplain as it sits atop a slope that acts as a channel for floodwaters. The soft scape trail that accompanies this and is closer to the creek is an example of passive recreational development that can withstand flood events.
2. No adverse impact will result on adjacent properties;
 1. There are not anticipated adverse impacts on adjacent properties. The trail alignment, while in the right of way, adjacent to private property, or on private property with public access easements, is situated between Manitou Avenue and Fountain Creek. This area is not large enough to accommodate private development, and all existing private development is on the north side of Fountain Creek.

Section 18.06.4.2.F Additionally, variance requests must meet a minimum of four (4) of the following criteria:

1. The applicant would suffer unnecessary hardship as a result of the application the LUDC, which hardship is not generally applicable to other lands or structures in the same zone district because of the unusual configuration of the applicant's property boundaries, unique



circumstances related to the location of existing structures thereon, or the existence of exceptional topographic conditions thereon;

- a. The Creek Walk alignment was designed to fit within the confines of the right of way, between Manitou Avenue, which is a CDOT roadway, to the south and a retaining wall to the north that acts as a channel wall of the floodplain. Imposing a new regulation that is not in conformance with CDOT standards would jeopardize the funding, schedule, and overall development of the trail. The applicant has indicated that the requirement for eight-inch vertical curbs is not compliant with the Colorado Department of Transportation, which has oversight over Manitou Avenue.
1. There are no design alternatives or alternative locations for structures that would eliminate the need for the requested variance or would reduce the amount of the variance required. The variance is the minimum variance that will make possible the reasonable use of the land or *structure*;
 - a. The applicant indicated that while design alternatives exist that could reduce the width of the trail in order to accommodate the detached sidewalk, requiring that would have several negative repercussions. All phases of the Creek Walk trail are intended to provide consistent user experience, especially as it relates to the interactions between several different types of users. Safety of multimodal traffic along the trail relies on predictable access and trail width. Another alternative would be to expand southward and realign the Manitou Avenue curb, but that would further reduce on-street parking, exponentially increase costs, and delay the construction timeline. Expanding northward would also have unreasonable impacts as the federally regulated floodplain would need to be modified and engineered to mitigate the downstream impacts of narrowing the floodway channel.
 2. The enforcement of the provisions of the LUDC deprives the applicant of rights enjoyed by a majority of the other properties in the same zone district;
 - a. There is no consistent sidewalk design along this section of Manitou Avenue, some sections have attached sidewalk, and some have detached. The proposed design offers a consistent trail surface and strategically placed landscape projections. Requiring a detached sidewalk for this section of Manitou Avenue would not result in a more consistent streetscape.
 3. The need for the variance is not the result of from actions of previous property owners or is an otherwise self-imposed hardship;
 - a. The requirement for a detached sidewalk was implemented with the adoption of the LUDC in 2023. The Creek Walk Master Plan was adopted in 2018 and development of the construction drawings have been pursued as funding allows in accordance with the 2018 plans.
 4. There is a disability affecting the owners or tenants of the property or any member of the family of an owner or tenant who resides on the property, which impairs the ability of the disabled person to utilize or access the property;
 - a. The proposed trail has been designed in accordance with the Americans with Disabilities Act (ADA). The current trail is not ADA accessible and this development would increase access for the community.



5. The variance request is required in order to preserve a contributing structure in a historic sub district
 - a. A portion of the proposed trail will be developed in the Villas Historic Sub District along the Blue Skies (402 Manitou Avenue) and Briarhurst (404 Manitou Avenue) properties. According to the Manitou Springs Historic District Design Guidelines, Fountain Creek is a Key Feature of these properties. “The natural setting that includes steep and undulating topography, meandering paved streets, and Fountain Creek, which weaves through the West Manitou and Villas Subdistricts and includes historic stone bridges and retaining walls” The proposed alignment of the trail will be to the south of Fountain Creek, and the variance to the detached sidewalk requirement allows for the alignment to be closer to Manitou Avenue, which will help preserve the historic landscape surrounding Fountain Creek.

Staff Recommendation:

Should the City Planning Commission find it appropriate to grant the variance, staff does not recommend any conditions.

Motion Language Options:

VAR 2506 – Variance

Approve the Variance for Creek Walk Phase #4, based upon the findings that the request meets the review criteria for granting a Variance, as set forth in City Code Section 18.06.4.2, with staff’s conditions as outlined.

Approve the Variance for Creek Walk Phase #4, based upon the findings that the request meets the review criteria for granting a Variance, as set forth in City Code Section 18.06.4.2, with an alteration to staff’s conditions as follows...

Deny the Variance for Creek Walk Phase #4, based upon the findings that the request does not meet the review criteria for granting a Variance, as set forth in City Code Section 18.06.4.2.

Postpone the Variance for Creek Walk Phase #4 to August 13, 2025 for further consideration.



APPLICATION TYPE

Physical Development Permits

- Concept Plan
- Minor Site Plan
- Minor Development Plan
- Major Development Plan
- Hillside Development Plan
- Sign Permit
- Grading Permit
- Material Change of Appearance

Use Permits

- Conditional Use Permit
- Short-term Rental Permit
- Long-term Occupancy Permit
- Wireless Facility Permit
- Temporary Use Permit – Minor
- Temporary Use Permit- Major

Subdivisions

- Minor Subdivision
- Major Subdivision
 - Preliminary Plat
 - Final Plat
- Boundary Adjustment
- Revised Final Plat
- Waiver of Replat
- Easement Vacation
- Rights-of-Way Vacation

Relief from the LUDC

- Waiver
- Variance

Amendments

- LUDC Amendment
- Minor Modification
- Rezoning

Applicant's Statement

I understand the procedures that apply to my request and acknowledge an incomplete application shall not be processed or scheduled for public hearing until such time as it is complete. City acceptance of the application, fee, and any accompanying materials does not constitute completeness. I further agree to reimburse the City for technical and professional consultant expenses that may be incurred during the review of my request. Failure to reimburse the City for invoiced expenses constitutes an incomplete application. I understand and acknowledge the use or action for which approval is requested is not allowed unless the permit is granted. I understand a pre-application appointment is required a minimum of 10 workdays prior to submission deadline.

Applicant's Signature

Date

Owner's Statement

I have read and agree to the above statements. In addition, if I am not the applicant for this request, I further give the above designated applicant permission to make the request on my behalf.

Property Owner's Signature

Date



July 3, 2025

Fred Rollenhagen
Planning Director
City of Manitou Springs
606 Manitou Ave.
Manitou Springs, CO

Re: Creekwalk #4 Variance Request

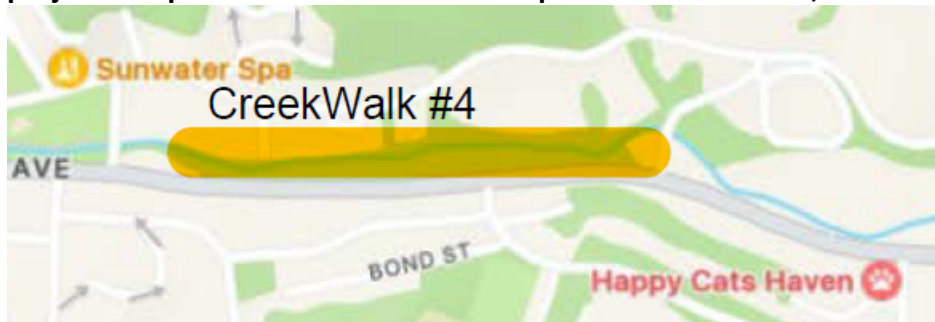
Dear Mr. Rollenhagen,

This letter is to request a variance in the City of Manitou Springs ordinance Section 18.030.9.6.e.3, requires sidewalks along Manitou Ave to be detached from the curb.

Description of Property. Provide a narrative description of the existing conditions of the property where the variance is requested, including existing physical development, existing uses and zoning, nonconformities, access, protected natural resources, and neighboring land uses.

Property Owner – City of Manitou Springs

Construction Project: Creek Walk Trail 4 from Old Mans Trail to Mayfair Ave. – Removing and replacing current northside sidewalk with a 10’ concrete multi-modal trail from the retaining wall towards Manitou Ave. without a landscape buffer area. The project is ready for construction and has the environmental clearances needed and funding approved. The project is expected to be constructed Sept. 2nd to October 24, 2025.



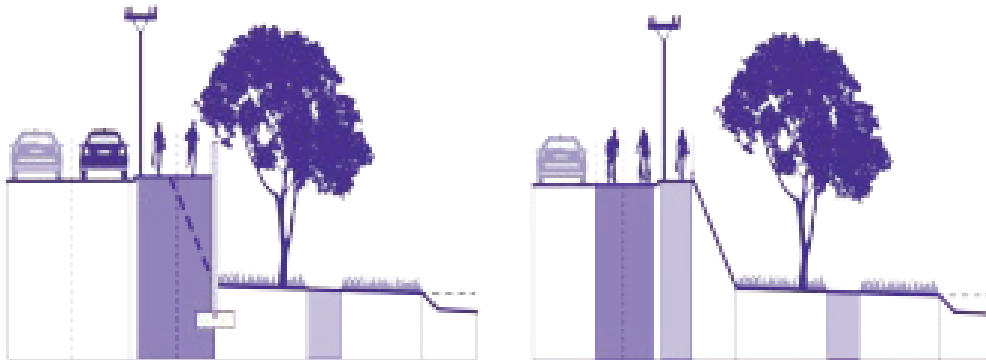


Existing Conditions: The current northside sidewalk is a 3' wide concrete path with a portion detached and parts detached. The Zoning is primarily Commercial with a portion of Open Space zoning. About a third of the project is within the Villas Historic District (from Mayfair Ave to the West about 1000'). This is an area is a connection to the Downtown businesses from the East part of town and connects to the existing Creek Walk Trail from the RV park to the Visitor Center at Mayfair Ave. The current area has parking and a small sidewalk. See attached photos of zoning and existing sidewalk.

From the Creek Walk Master Plan from 2018

The large volume of regional Creek Walk users anticipated are best routed adjacent to Manitou Avenue instead of through the more sensitive native riparian areas along the Creek. To protect the Creek and natural area, the existing trail along the Creek would be left as a soft surface nature trail.

Two Options were shown in the plan and neither has landscaping between Manitou Ave and the multi-modal trail/sidewalk:



Narrative Description of the Request. Briefly describe the purpose of the request and provide justification for the request.

Specific Ordinance requesting a variance is E below
18.03.9.6

Manitou Avenue Street Design.

A.Purpose: The purpose of this Section is to highlight the existing dimensional standards and characteristics of Manitou Avenue.

E.Traffic Characteristics.



1. Regulation of traffic shall be accomplished by traffic control devices and channelization.
2. On-street parking shall be permitted.
3. **Eight-inch vertical curbs required with detached sidewalks.**
4. Medians may be raised or painted.

Criteria for the Variance:

Approval Criteria – See rationale for variance in bold

No variance shall be authorized unless the Planning Commission finds that all of the following criteria have been met. The endorsement of the variance by adjacent landowners does not relieve the applicant of the burden of meeting the requirements set forth in this section:

1. Not result in development of areas at risk of natural hazards, unless adequate mitigation is provided to the satisfaction of the Planning Director pursuant to the standards in Chapter 18.03

The 10' concrete Trail/Sidewalk will not meet the 8" in height or the detached sidewalk. It currently does not encroach upon any natural hazards of the Fountain Creek area to the North of the project. The project will remove 8 existing trees along the current sidewalk (which 7 of the 8 have been identified by the arborist as at risk) and 9 trees will be planted in the bulb out areas as part of the project.

- In regard to the satisfaction of the planning director – A current planning document is in place with the City of Manitou Springs identifying this project without the detached sidewalk. City of Manitou Springs Creek Walk Master Plan dated October 2018. <https://www.manitouspringsco.gov/DocumentCenter/View/899/Creek-Walk-Master-Plan---October-2018-PDF>
- The project was presented to City Council on June 18th, 2024.

If the sidewalk was detached one or more of these would occur:

- 1) ***the sidewalk/trail would need to be significantly reduced in width which would then not serve the purpose of the multi-modal trail for various users (bikes/peds). Result - Reduce the user experience and defeat the purpose of the Trail.***
- 2) ***The sidewalk would need to extend to the North which would encroach into the natural habitat of Fountain Creek area and require the removal and replacement of retaining walls towards Fountain Creek, thus disturbing the natural habitat. Also this would cause an issue with the flood plain.***



3) *If there was a detached area added to the south of the sidewalk, the parking along Manitou Ave. would not be possible. There is a need to preserve the parking along Manitou Ave. It is assumed that the 5 bulb out landscape areas would be the mitigation for the non-detached sidewalk.*

In regard to the 8" curb, this conflicts with the CDOT standards for curb and gutter. This project is funded through CDOT grants and within CDOT ROW. Environmental clearances and design have been obtained with CDOT approval.

2. and, No adverse impact will result on adjacent properties;

The construction of the 10' concrete trail will be within the City's current ROW. It will eliminate the current landscaping next to the sidewalk (where applicable) however it will add 5 landscaped areas with irrigation along this section. See attached plans. There is no impact to adjacent properties. It will retain a portion of existing parking along Manitou Ave.

Manitou Springs, CO | Variance Application Checklist 2 of 2

Additionally, variance requests must meet a minimum of four (4) of the following criteria:

1. The applicant would suffer unnecessary hardship as a result of the application the LUDC, which hardship is not generally applicable to other lands or structures in the same zone district because of the unusual configuration of the applicant's property boundaries, unique circumstances related to the location of existing structures thereon, or the existence of exceptional topographic conditions thereon;

The current design of the 10' multi-use trail is in line with the Creek Walk Master Plan which demonstrated the sidewalk/trail next to the road and not disturbing the retaining wall or the natural habitat of the Fountain Creek area. If the detached landscaping were installed, the parking would be eliminated and the cost of the project and funding for the project would be eliminated. The funding is contingent on the project being constructed within 12 months and is currently designed and on budget.

2. There are no design alternatives or alternative locations for structures that would eliminate the need for the requested variance or would reduce the amount of the variance required. The variance is the minimum variance that will make possible the reasonable use of the land or structure;

The design alternatives are discussed above such as reducing width, moving to the North, or adding a landscaped area where the parking is currently shown. The Ordinance purpose is to balance the needs of various users and to be in line with the



comprehensive plan. The current design allows for the retaining walls (structures) to remain along the north side of the Trail.

3. The enforcement of the provisions of the LUDC deprives the applicant of rights enjoyed by a majority of the other properties in the same zone district;

The elimination in parking would deprive the businesses in this Commercial zoning area the needed parking for their businesses and the downtown district.

4. The need for the variance is not the result of from actions of previous property owners or is a an otherwise self-imposed hardship;

The need for the variance is based upon guidance from City Council to provide as much parking as possible while have some landscape bulb-out areas for the safety of the pedestrians and for the aesthetics of the corridor.

5. There is a disability affecting the owners or tenants of the property or any member of the family of an owner or tenant who resides on the property, which impairs the ability of the disabled person to utilize or access the property; N/A

6. The variance request is required in order to preserve a contributing structure in a historic sub district. N/A

Property Map. A map showing the location of the subject property and the location and uses of existing and proposed structures including parking areas, signage, topography, etc. A 24" x 36" and 11" x 17" map shall be provided.- See word document and PDF's for plans attached.

Other information and Background.

Background:

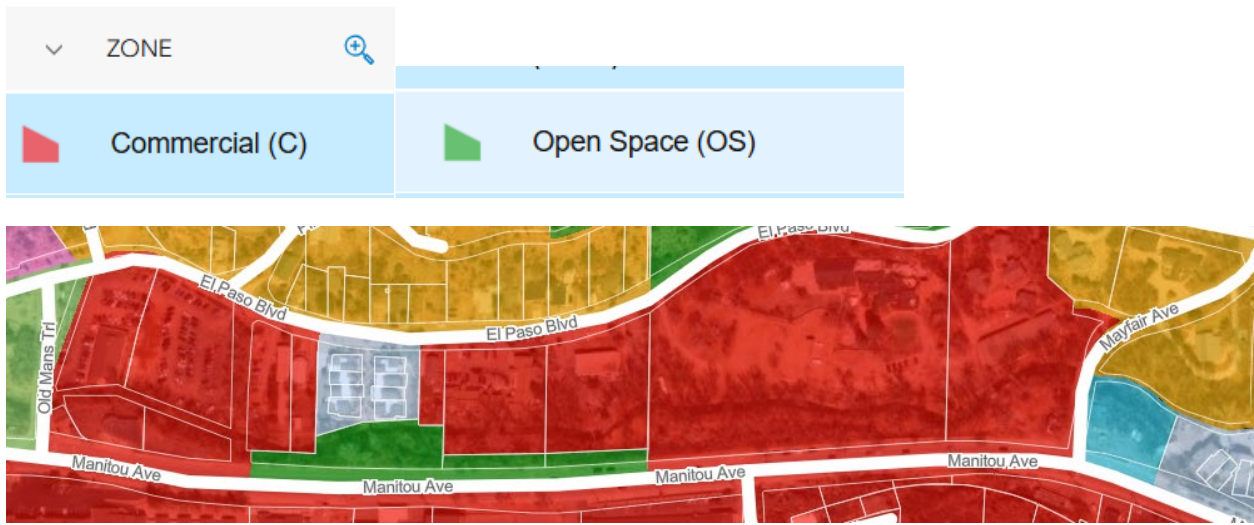
- Creekwalk #4 is funded through many grants from CDOT in the amount of \$1.28 Million and was scheduled to start construction Fall 2024 however the utilities were not relocated and the budget wasn't sufficient based on the construction estimate. In Spring 2025, the City of Manitou Springs applied for and won the CDOT Revitalizing Main Street Grant for \$250,000 in state funds.
- Creekwalk #3 was constructed in 2023 to connect to Creekwalk #4.

Schedule: Creekwalk #4 has the clearances (environmental, ROW, Etc...), budget and Notice to Proceed from CDOT to go to construction. The final bid package was submitted CDOT for concurrence to advertise by July 8th. The low bidder will be selected at the end of July, with approval by CDOT and City Council in August. Construction is scheduled to start September 2, 2025 with opening of the multi-modal trail/sidewalk before Coffin Races on Oct. 25th.

Manitou Springs Creek Walk Trail 4 – Planning Variance Request – July 3rd, 2025

Existing conditions and Zoning – Exhibit A

Zoning area:



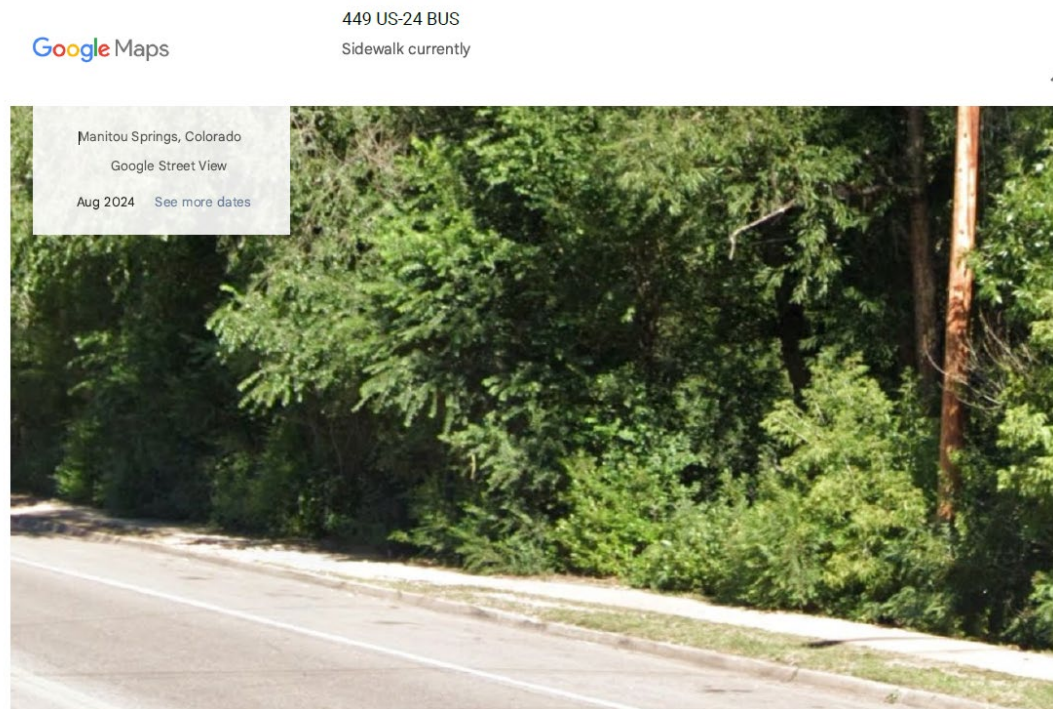
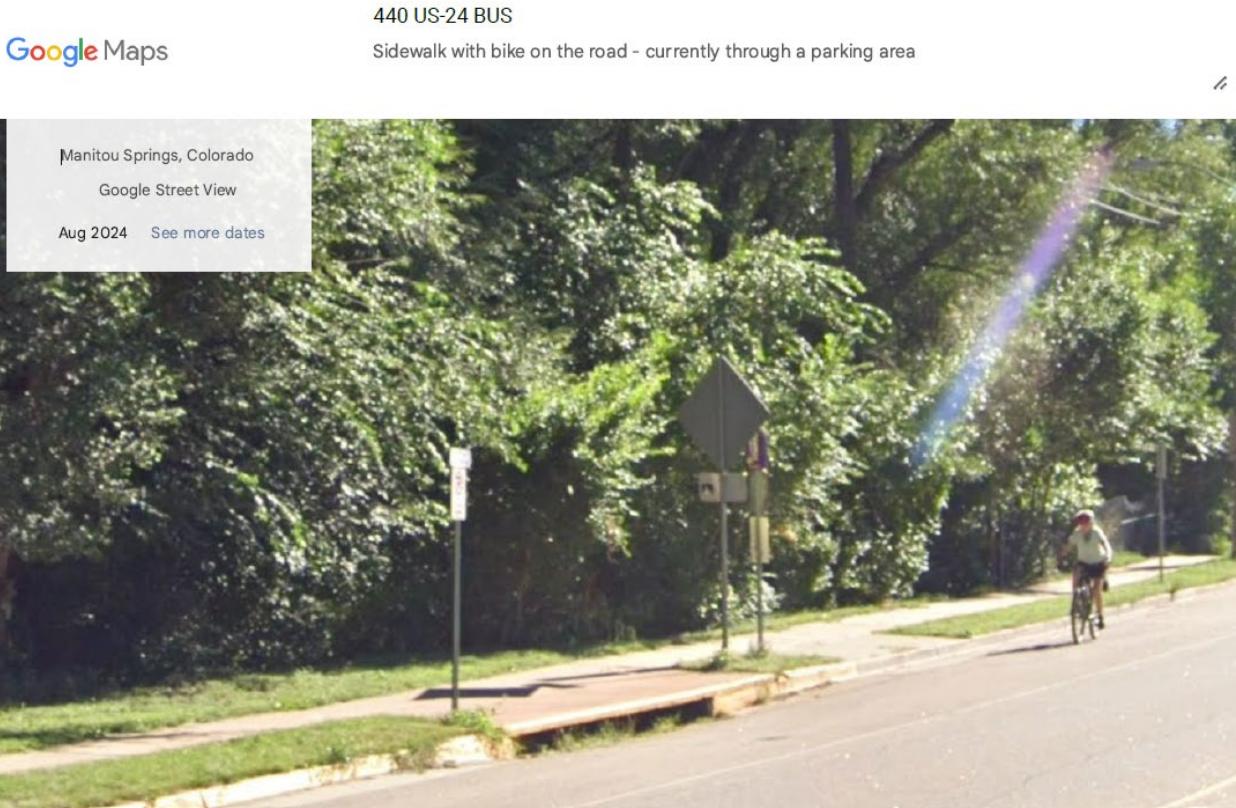
Historic Zoning: Villas District is the light area around Mayfair Ave.



Manitou Springs Creek Walk Trail 4 – Planning Variance Request – July 3rd, 2025

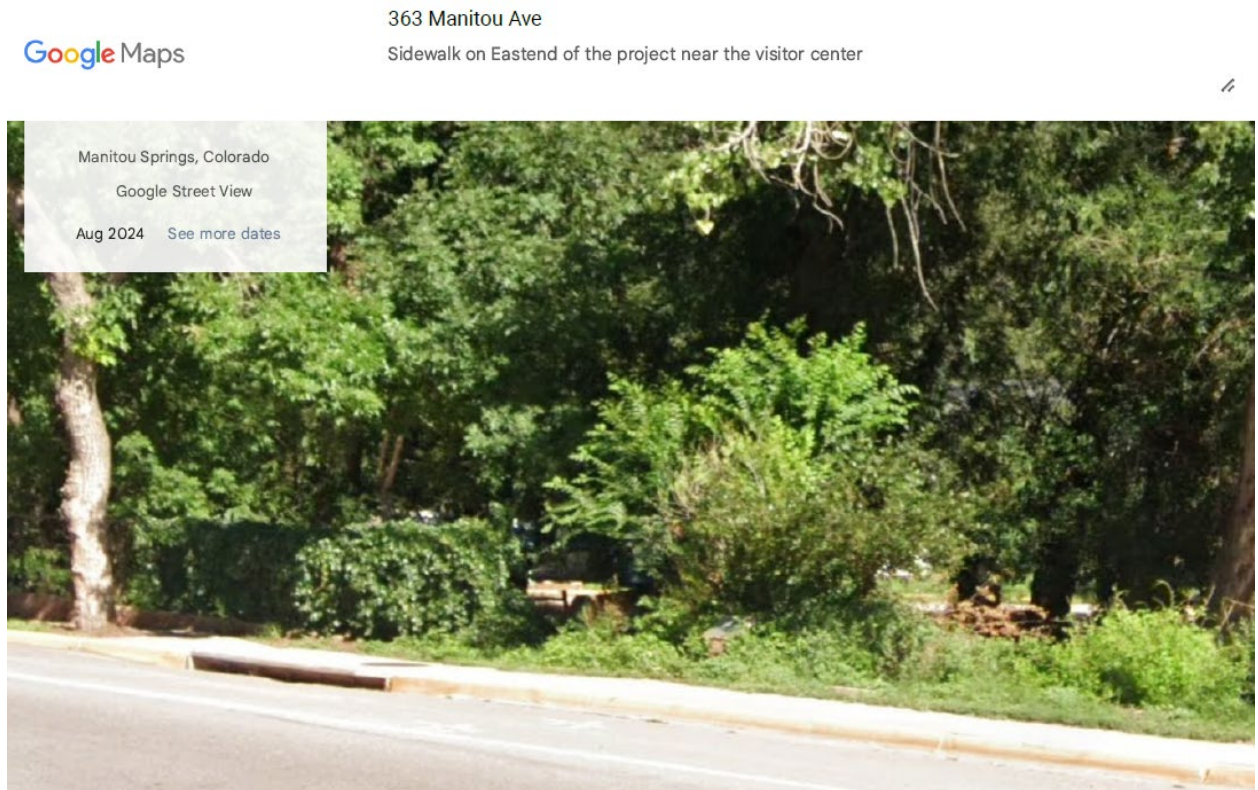
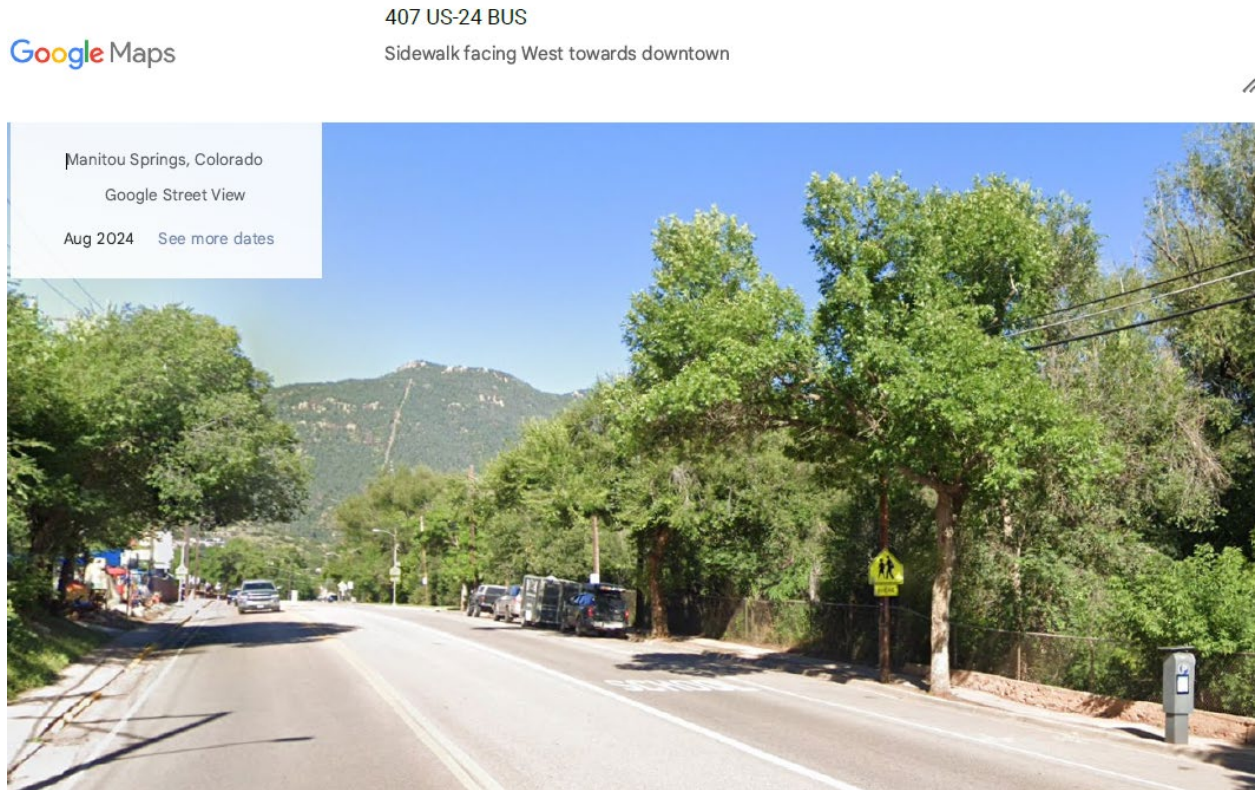
Existing conditions and Zoning – Exhibit A

Existing Conditions:



Manitou Springs Creek Walk Trail 4 – Planning Variance Request – July 3rd, 2025

Existing conditions and Zoning – Exhibit A



Existing conditions and Zoning – Exhibit A

- 1) The project went through the Planning and Public process in 2017-2018 during the creation of the Creekwalk Master Plan. The current designed project is in line with the Creekwalk Master Plan as stated on page 33.

Per Creekwalk Master Plan

The large volume of regional Creek Walk users anticipated are best routed adjacent to Manitou Avenue instead of through the more sensitive native riparian areas along the Creek. To protect the Creek and natural area, the existing trail along the Creek would be left as a soft surface nature trail.

Two Options were shown in the plan and neither has landscaping between Manitou Ave and the multi-modal trail/sidewalk:



- 2) There are 5 bulb out areas that provide small landscaped areas with irrigation.
- 3) The project keeps some parking along Manitou Ave.

CITY OF MANITOU SPRINGS CREEK WALK TRAIL - PHASE 4 PUBLIC IMPROVEMENTS STATE OF COLORADO



PROJECT LOCATION MAP

SCALE: 1" = 200'



SHEET INDEX

1	-	COVER SHEET
2	-	STANDARD PLANS LIST
3-4	-	GENERAL NOTES
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6	-	PROJECT CONTROL DIAGRAM
7	-	GEOMETRIC CONTROL PLAN
8	-	TYPICAL SECTIONS
9-11	-	DEMOLITION PLAN
12-17	-	TRAIL PLAN & PROFILE
18-20	-	STORM SEWER PLAN & PROFILES
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24-26	-	SIGNAGE & STRIPING PLAN
27-32	-	DETAILS
33-41	-	LANDSCAPE & IRRIGATION PLAN

TOTAL - 41

CITY OF MANITOU SPRINGS

CITY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA. THE CITY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE CITY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MANITOU SPRINGS MUNICIPAL CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AS AMENDED.

THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE CITY OF MANITOU SPRINGS PLANNING DIRECTOR. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING DIRECTOR'S DISCRETION.

CITY REVIEW ENGINEER SIGNATURE _____ DATE _____

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

OWNER SIGNATURE _____ DATE _____

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CITY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

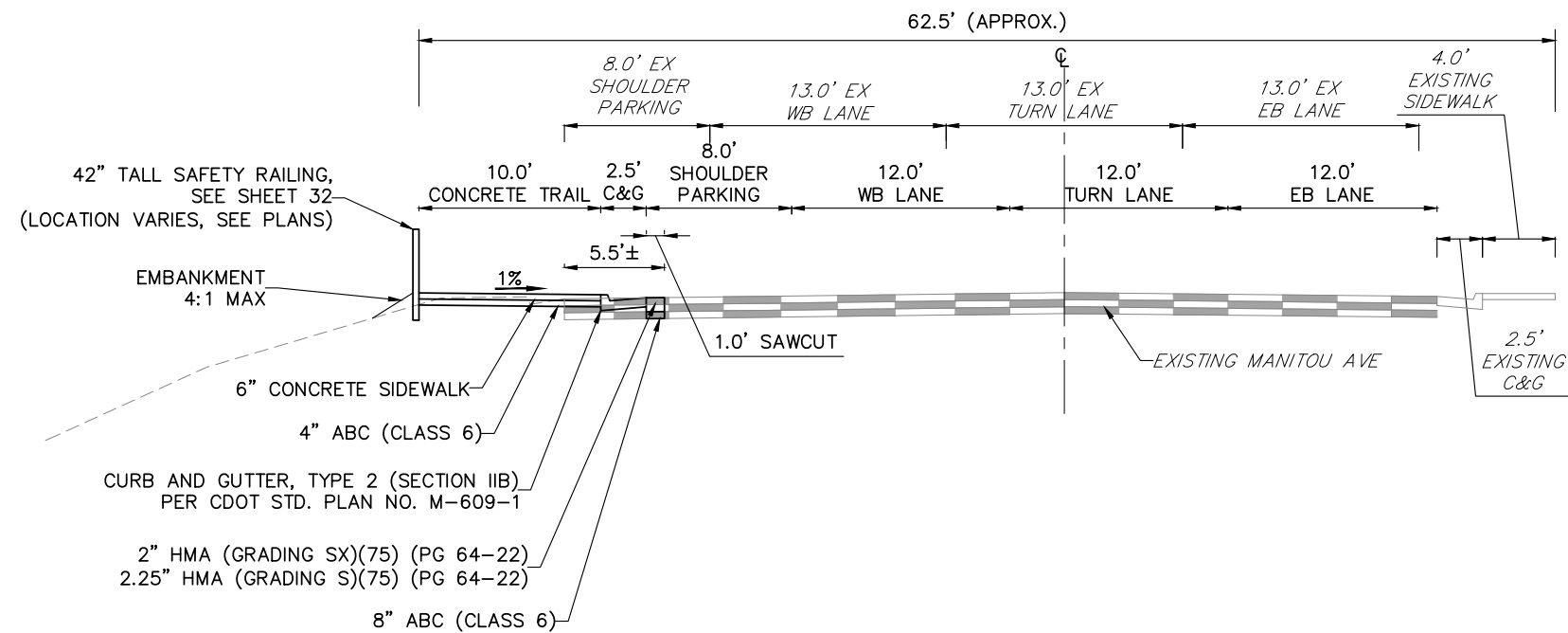


GLENN ELLIS, P.E.
COLORADO NO. 38861
FOR AND ON BEHALF OF JR ENGINEERING, LLC.



Know what's below.
Call before you dig.

Date: 8/22/24		Index of Revisions			
File Name: 2531100_CV01.DWG	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>				
J·R ENGINEERING <small>A Westrian Company</small>	CITY OF MANITOU SPRINGS 606 MANITOU AVENUE MANITOU SPRINGS, CO 80829 CONTACT: BEN SCHMITT PHONE: 719-600-8317				
			As Constructed	CREEK WALK TRAIL - PHASE 4 COVER SHEET	Project No./Code
			No Revisions:	Designer: ---	M850-031(24000)
			Revised:	Detailer: ---	M850-032(24310)
			Void:	25311.00	Sheet Number 1
			Sheet Subset: COVER	Subset Sheet: 1 of 1	

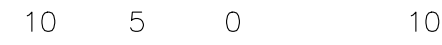


TYPICAL SECTION

MANITOU AVENUE – LOOKING EAST



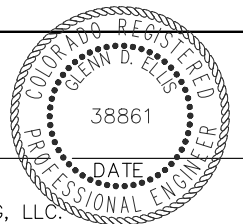
Know what's below.
Call before you dig.



ORIGINAL SCALE: 1" = 10'

ENGINEER'S STATEMENT

PREPARED UNDER MY SUPERVISION



GLENN ELLIS, P.E.
COLORADO NO. 38861
FOR AND ON BEHALF OF JR ENGINEERING, LLC.

Date: 8/22/24
File Name: 2531100 TX01.DWG

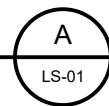
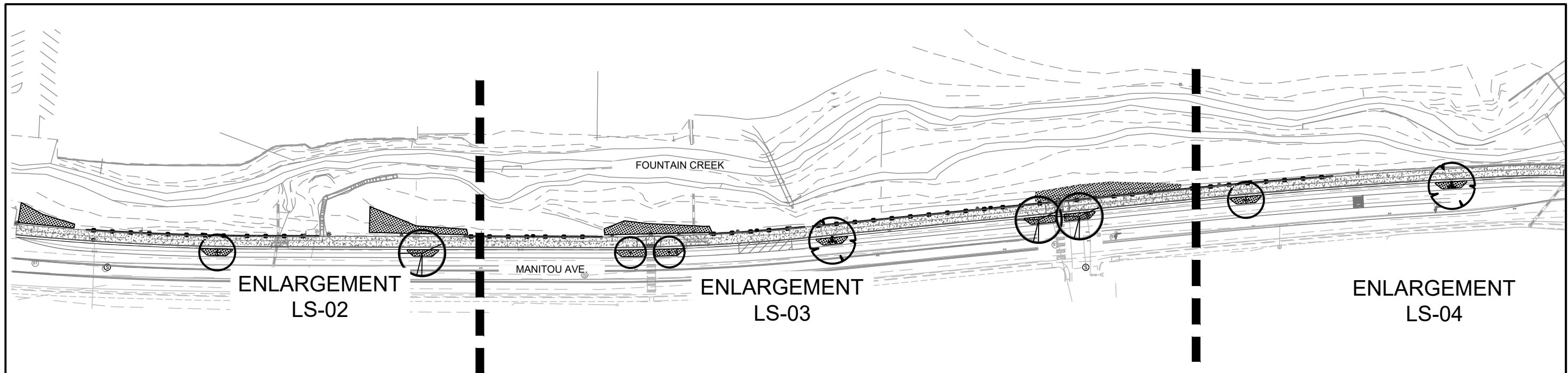
Index of Revisions	



CITY OF MANITOU SPRINGS
606 MANITOU AVENUE
MANITOU SPRINGS, CO 80829
CONTACT: BEN SCHMITT
PHONE: 719-600-8317

As Constructed	CREEK WALK TRAIL – PHASE 4 TYPICAL SECTIONS	Project No./Code
No Revisions:		M850-031(24000)
Revised:		M850-032(24310)
Void:		Sheet Number 8
Designer: BSR	25311.00	1 of 1
Detailer: MKS		
Sheet Subset: TYP SECTIONS	Subset Sheet:	





OVERALL LANDSCAPE PLAN

LS-01 SCALE: 1" = 100'-0"

LANDSCAPE NOTES:

1. ALL PLANT MATERIAL IS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
2. ALL SHRUB BED AND TREE LOCATIONS ARE TO BE STAKED OUT ON THE SITE FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PROVIDE SHRUB BED LAYOUT BASED UPON THIS LANDSCAPE PLAN AND NOT THE IRRIGATION PLAN.
3. THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG CURBS AND WALKWAYS TO ACCOMMODATE SEED, SOD OR MULCH.
4. ALL PLANT MATERIALS WILL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN AND STATE OF COLORADO INDUSTRY STANDARDS.
5. THE CONTRACTORS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. SYMBOLS ON ALL SHRUBS AND TREES SHALL TAKE PRECEDENCE OVER WRITTEN QUANTITIES.
6. CONTRACTOR TO INSTALL TEMPORARY ORANGE CONSTRUCTION FENCING AROUND ALL SEEDED AREAS.
7. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND WALKWAYS. HAVE ALL FINE GRADING APPROVED PRIOR TO SEEDING.
8. CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, CURB AND GUTTER, WALKWAYS, IRRIGATION SYSTEM AND OTHER EXISTING STRUCTURES THAT IS A RESULT OF HIS WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER.
10. ALL FINE GRADING TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO SODDING.



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Date: 6/18/2025
File Name: 01_CWP5_LANDSCAPE.DWG

LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN

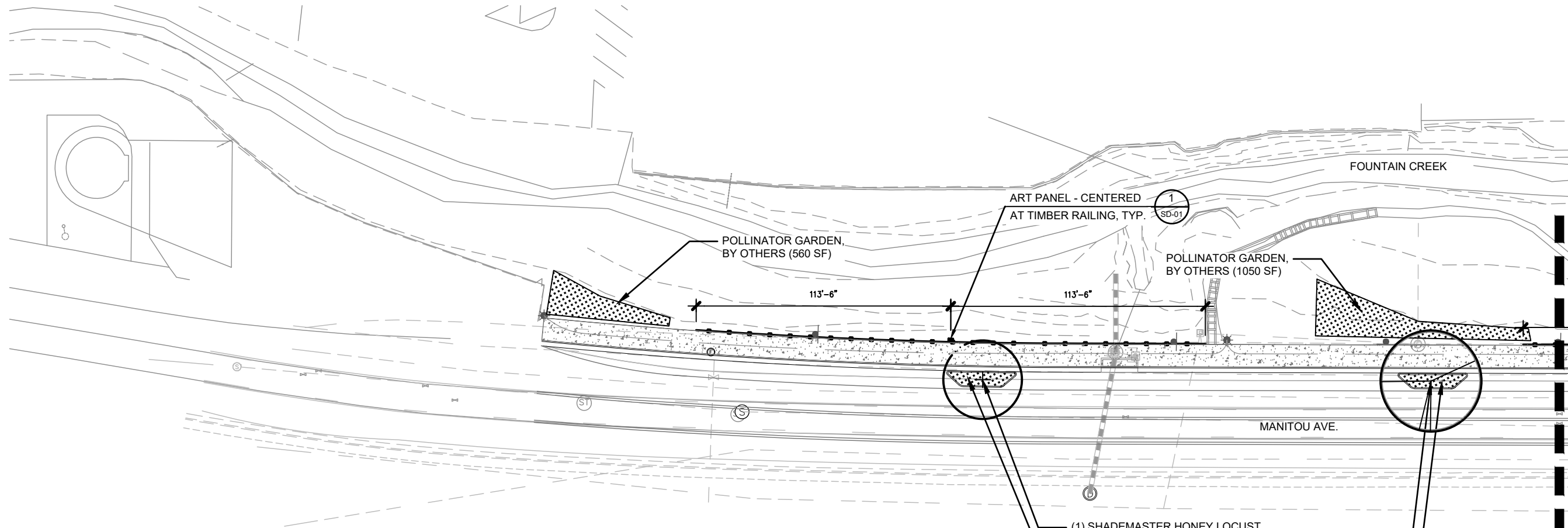
Index of Revisions	

CITY OF MANITOU SPRINGS
606 MANITOU AVENUE
MANITOU SPRINGS, CO 80829
CONTACT: BEN SCHMITT
PHONE: 719-600-8317





As Constructed
No Revisions:
Revised:
Void:

CREEK WALK TRAIL – PHASE 4 LANDSCAPE PLANS	
Designer: AKH	
Detailer: EA	
Sheet Subset: LANDSCAPE	Subset Sheet: 1 of 6

Project No./Code
CI 2020-15/24000
25311.00
Sheet Number LS-01



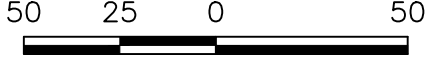


LEGEND

-  DECIDUOUS STREET TREE
-  POLLINATOR GARDEN BY OTHERS
-  CREEK WALK BY OTHERS
-  ART PANEL


A LANDSCAPE PLAN
 LS-02 SCALE: 1" = 50'-0"

- NOTE:**
1. ALL LANDSCAPE AREAS TO BE POLLINATOR GARDENS BY OTHERS.
 2. REFER TO CIVIL SHEETS FOR ALL UTILITIES AND HARDSCAPE UPDATES.

ORIGINAL SCALE: 1" = 50'

Date: 6/18/2025
 File Name: O1_CWP5_LANDSCAPE.DWG



LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN

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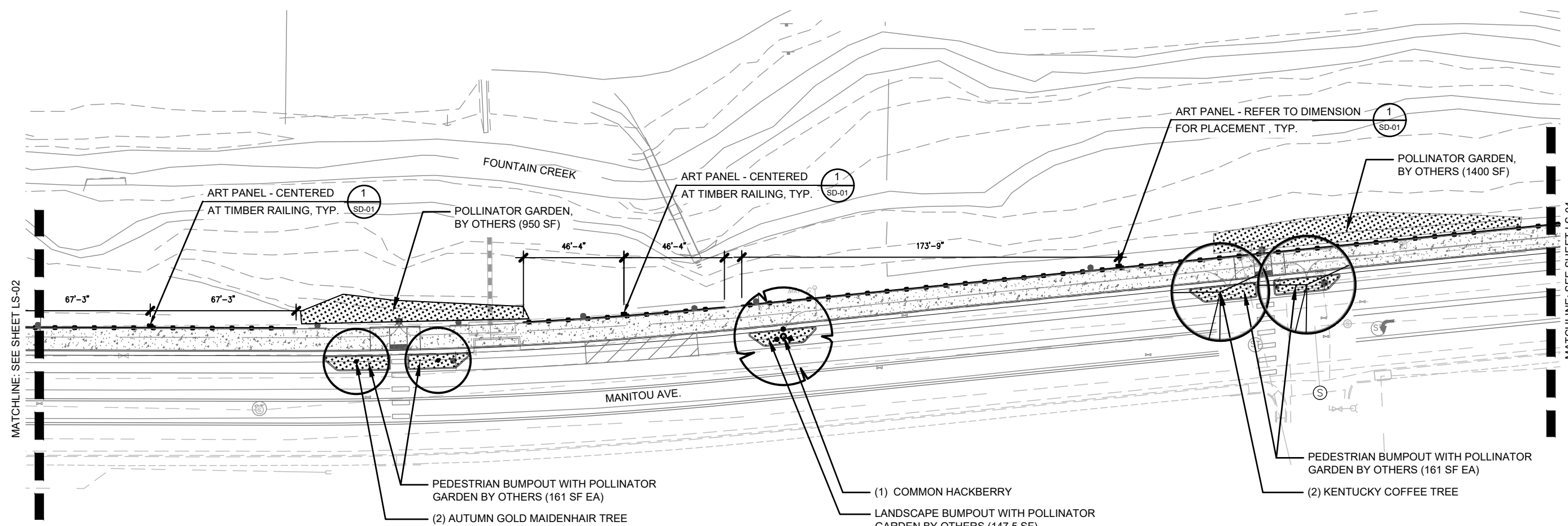


CITY OF MANITOU SPRINGS
 606 MANITOU AVENUE
 MANITOU SPRINGS, CO 80829
 CONTACT: BEN SCHMITT
 PHONE: 719-600-8317

As Constructed
No Revisions:
Revised:
Void:

CREEK WALK TRAIL – PHASE 4 LANDSCAPE PLANS	
Designer: AKH	
Detailer: EA	
Sheet Subset: LANDSCAPE	Subset Sheet: 2 of 6

Project No./Code
CI 2020-15/24000
25311.00
Sheet Number LS-02



MATCHLINE: SEE SHEET LS-02

MATCHLINE: SEE SHEET LS-04

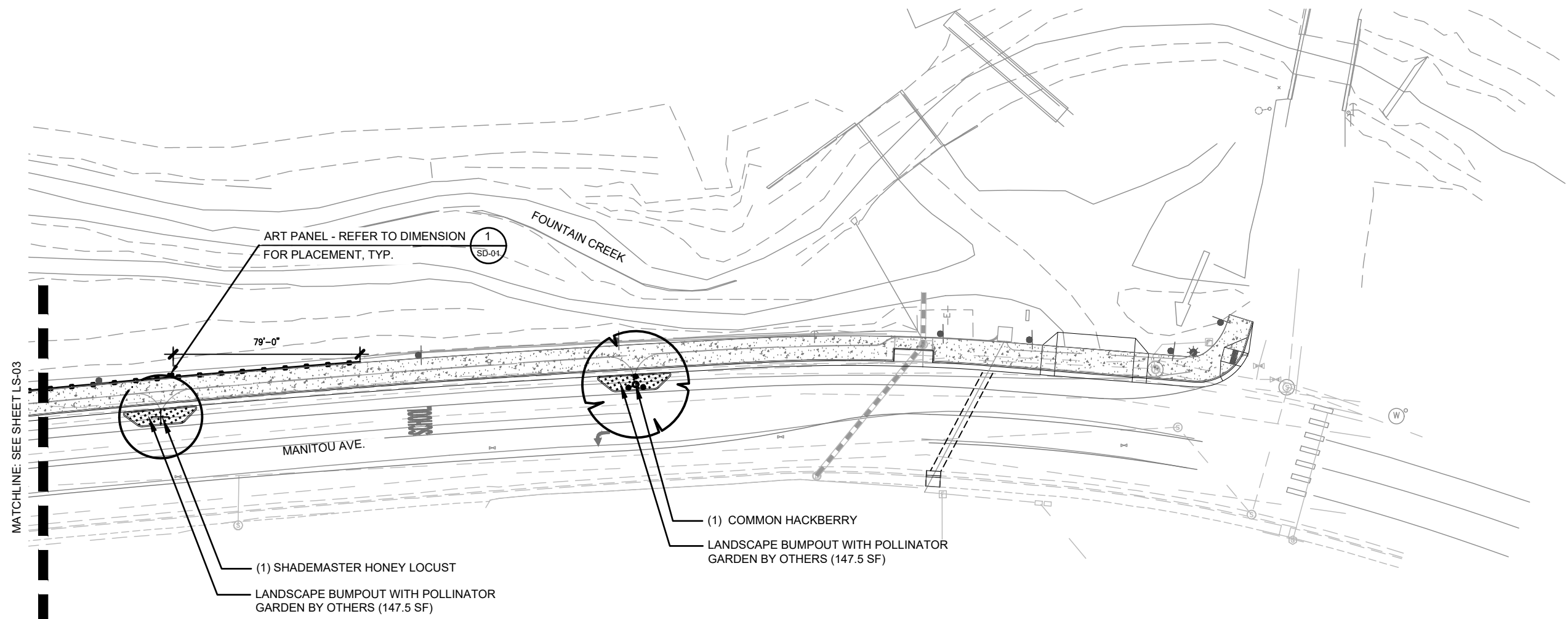
A LANDSCAPE PLAN
LS-03 SCALE: 1" = 50'-0"

- LEGEND**
- DECIDUOUS STREET TREE
 - POLLINATOR GARDEN BY OTHERS
 - CREEK WALK BY OTHERS
 - ART PANEL

NOTE:
 1. ALL LANDSCAPE AREAS TO BE POLLINATOR GARDENS BY OTHERS.
 2. REFER TO CIVIL SHEETS FOR ALL UTILITIES AND HARDSCAPE UPDATES.

ORIGINAL SCALE: 1" = 50'

Date: 6/18/2025			CITY OF MANITOU SPRINGS 606 MANITOU AVENUE MANITOU SPRINGS, CO 80829 CONTACT: BEN SCHMITT PHONE: 719-600-8317	As Constructed	CREEK WALK TRAIL – PHASE 4 LANDSCAPE PLANS	Project No./Code
File Name: O1_CWP5_LANDSCAPE.DWG				No Revisions:		CI 2020-15/24000
LANDSCAPE ARCHITECTURE LAND PLANNING URBAN DESIGN				Revised:	Designer: AKH	25311.00
				Void:	Detailer: EA	Sheet Number LS-03
					Sheet Subset: LANDSCAPE	Subset Sheet: 3 of 5



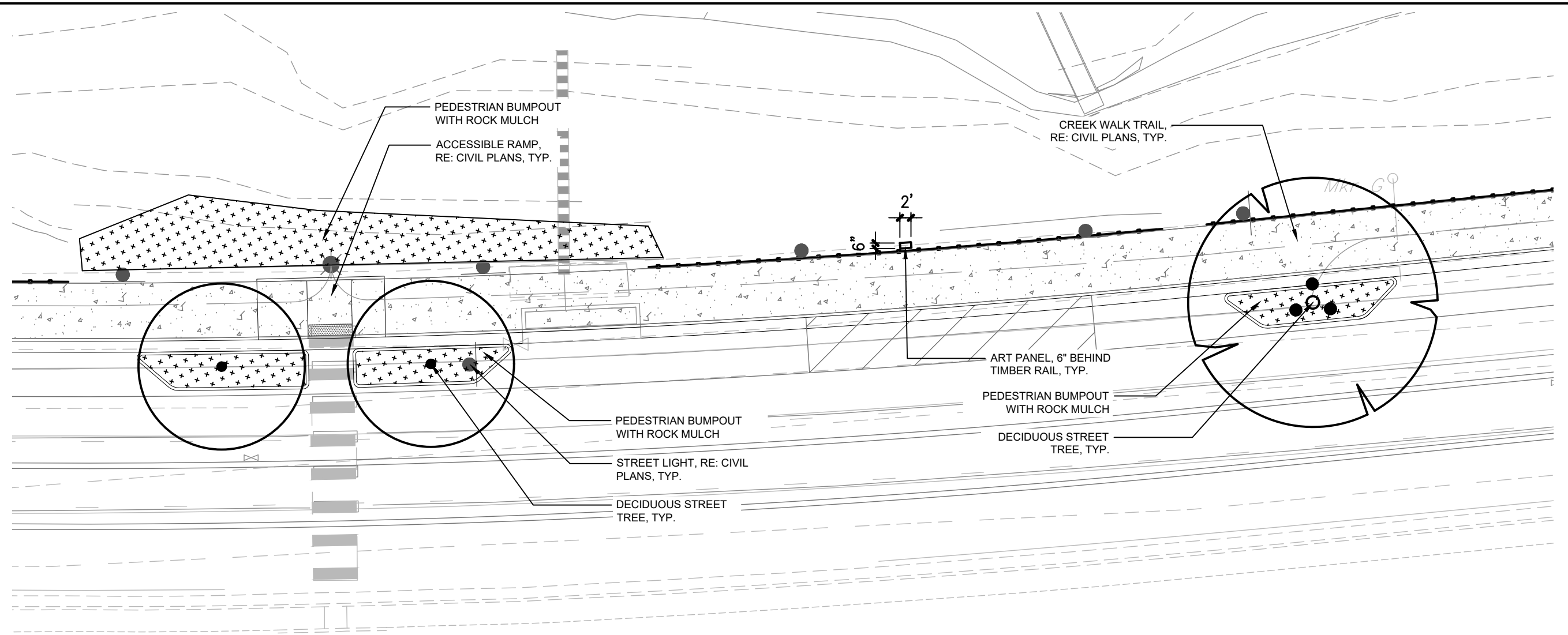
- LEGEND**
- DECIDUOUS STREET TREE
 - POLLINATOR GARDEN BY OTHERS
 - CREEK WALK BY OTHERS
 - ART PANEL

A LANDSCAPE PLAN
 LS-04 SCALE: 1" = 50'-0"

- NOTE:**
1. ALL LANDSCAPE AREAS TO BE POLLINATOR GARDENS BY OTHERS.
 2. REFER TO CIVIL SHEETS FOR ALL UTILITIES AND HARDSCAPE UPDATES.

ORIGINAL SCALE: 1" = 50'

Date: 6/18/2025			CITY OF MANITOU SPRINGS 606 MANITOU AVENUE MANITOU SPRINGS, CO 80829 CONTACT: BEN SCHMITT PHONE: 719-600-8317	As Constructed		CREEK WALK TRAIL – PHASE 4 LANDSCAPE PLANS	Project No./Code CI 2020-15/24000
File Name: O1_CWP5_LANDSCAPE.DWG				No Revisions:	Designer: AKH		
				Revised:	Detailer: EA		
				Void:	Sheet Subset: LANDSCAPE	Subset Sheet: 4 of 6	Sheet Number LS-04



LEGEND

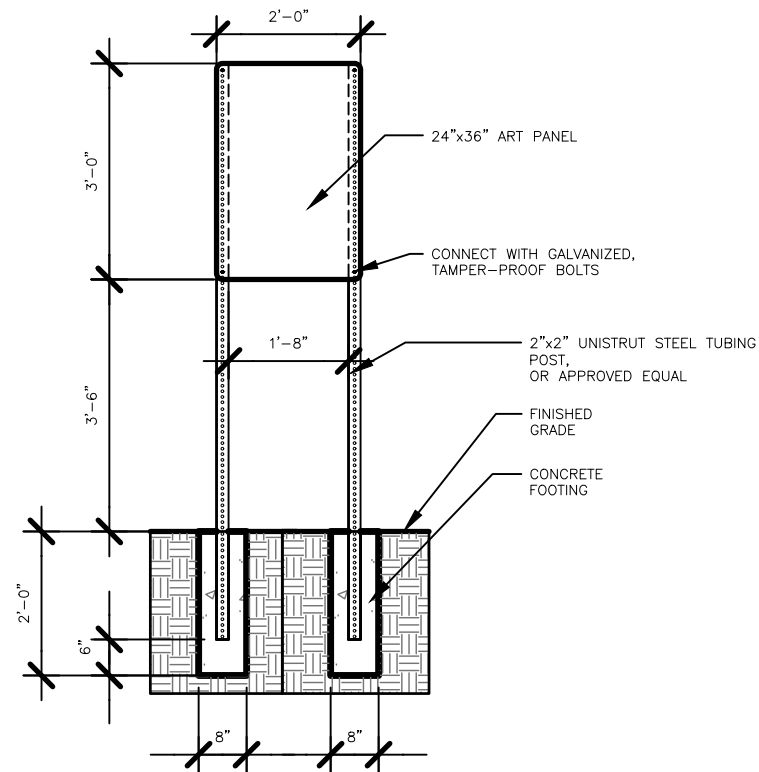
- DECIDUOUS STREET TREE
- POLLINATOR GARDEN BY OTHERS
- CREEK WALK BY OTHERS
- ART PANEL

A LANDSCAPE ENLARGEMENT PLAN
 LS-05 SCALE: 1" = 20'-0"

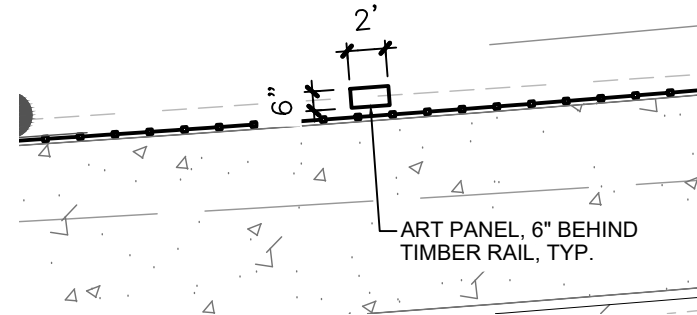
- NOTE:
1. ALL LANDSCAPE AREAS TO BE POLLINATOR GARDENS BY OTHERS.
 2. REFER TO CIVIL SHEETS FOR ALL UTILITIES AND HARDSCAPE UPDATES.

ORIGINAL SCALE: 1" = 20'

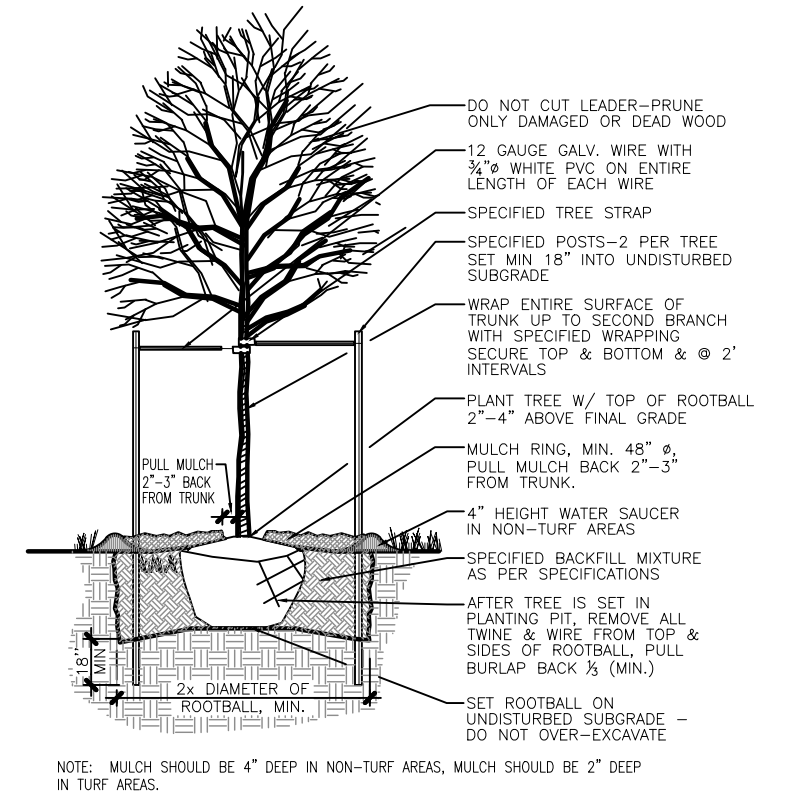
Date: 6/18/2025	Index of Revisions					
File Name: O1_CWP5_LANDSCAPE.DWG	00000					
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1 ART PANEL - LOCATED BEHIND TIMBER RAILING
SD-01 SCALE: 3/8" = 1'-0"



2 ART PANEL LAYOUT
SD-01 SCALE: 1" = 10'



3 DECIDUOUS TREE PLANTING
SD-01 SCALE: NTS

CONSTRUCTION DOCUMENTATION PLANT SCHEDULE- RRP

Plant List

Quantity	Botanical Name	Common Name	Size	Mature Height	Mature Spread	Light	Water
Deciduous Trees							
2	<i>Celtis occidentalis</i>	Common Hackberry	2.5" Cal.	40' to 60'	40' to 50'	Full Sun, Partial Shade	Moderate
2	<i>Ginkgo Biloba</i> 'Autumn Gold'	Autumn Gold Maidenhair Tree	2.5" Cal.	40' to 50'	25' to 30'	Full Sun	Moderate
2	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	2.5" Cal.	50' to 75'	25' to 40'	Full Sun	Low
3	<i>Gymnocladus dioicus</i> 'Espresso'	Kentucky Coffeetree	2.5" Cal.	60' to 75'	40' to 50'	Full Sun	Low



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LANDSCAPE ARCHITECTURE
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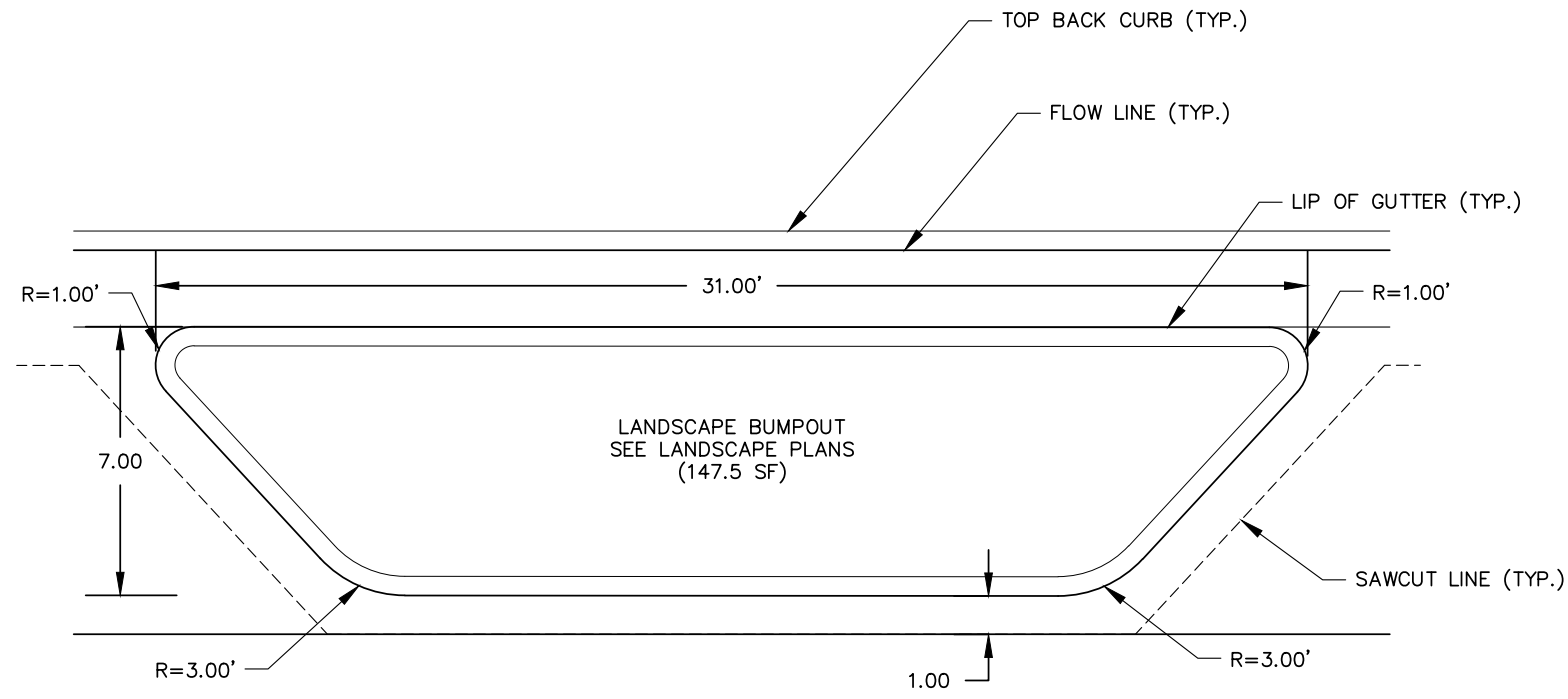
CITY OF MANITOU SPRINGS
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MANITOU SPRINGS, CO 80829
CONTACT: BEN SCHMITT
PHONE: 719-600-8317

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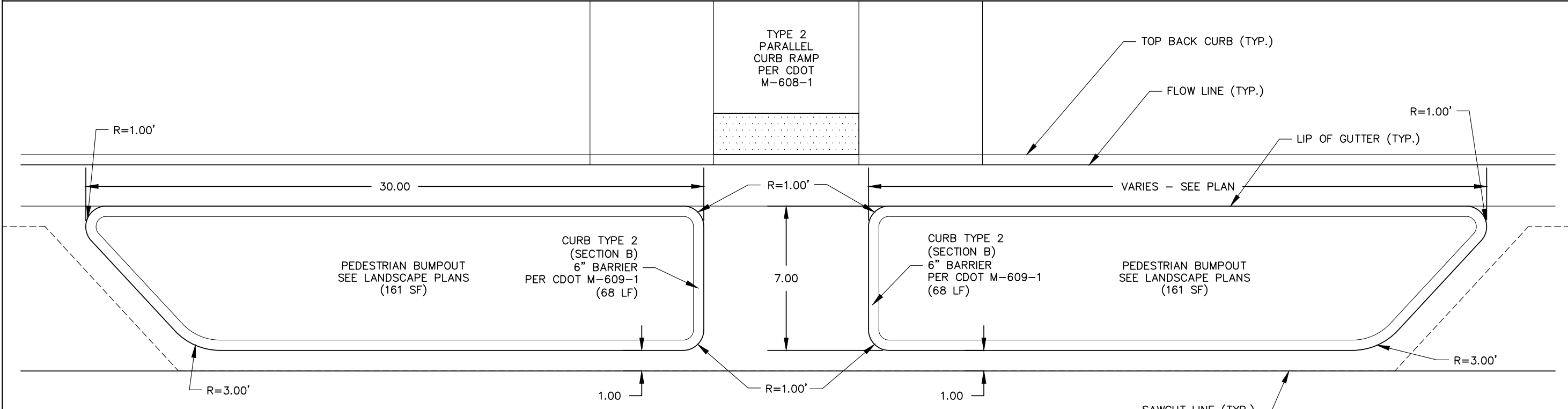
**CREEK WALK TRAIL - PHASE 4
LANDSCAPE PLANS**

Designer: AKH
Detailer: EA
Sheet Subset: LANDSCAPE Subset Sheet: 6 of 6

Project No./Code
CI 2020-15/24000
25311.00
Sheet Number SD-01



LANDSCAPE BUMPOUT DETAIL
SCALE: 1" = 5'



PEDESTRIAN BUMPOUT DETAIL
SCALE: 1" = 5'

Date: 8/22/24
File Name: 2531100_DT01.DWG

J-R ENGINEERING
A Westrian Company

Index of Revisions			

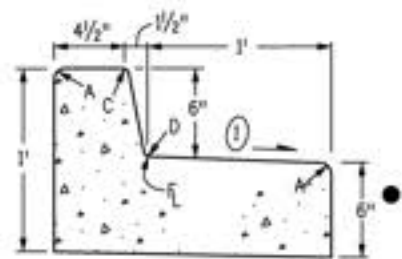


CITY OF MANITOU SPRINGS
606 MANITOU AVENUE
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CONTACT: BEN SCHMITT
PHONE: 719-600-8317

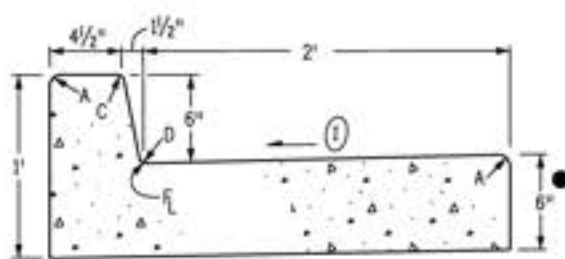
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Void:	

CREEK WALK TRAIL - PHASE 4			
DETAILS			
Designer:	BSR		
Detailer:	BSR	25311.00	
Sheet Subset:	DETAILS	Subset Sheet:	5 of 6

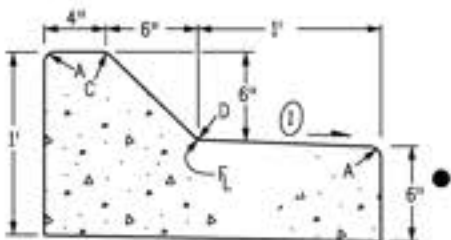
Project No./Code	M850-031(24000)
	M850-032(24310)
Sheet Number	31



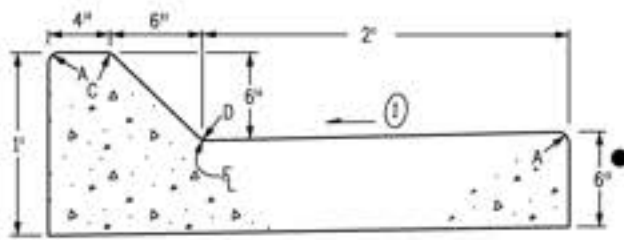
**CURB AND GUTTER TYPE 2
(SECTION IB)
(6 IN. BARRIER - 1 FT. GUTTER)**



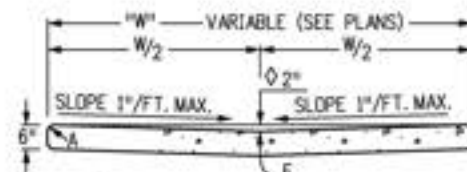
**CURB AND GUTTER TYPE 2
(SECTION IIB)
(6 IN. BARRIER - 2 FT. GUTTER)**



**CURB AND GUTTER TYPE 2
(SECTION IM)
(6 IN. MOUNTABLE - 1 FT. GUTTER)**

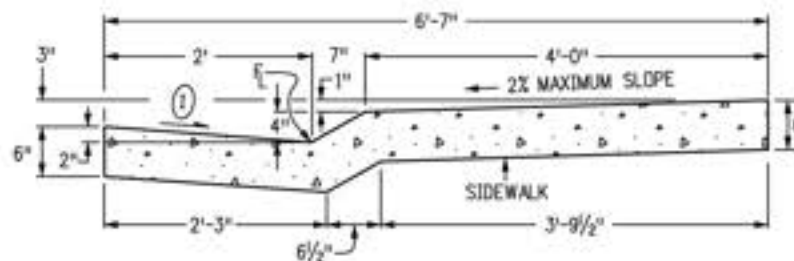


**CURB AND GUTTER TYPE 2
(SECTION IIM)
(6 IN. MOUNTABLE - 2 FT. GUTTER)**



2 IN. DEPTH WHEN USED AS A CROSSSPAN IN AN INTERSECTION

GUTTER TYPE 2

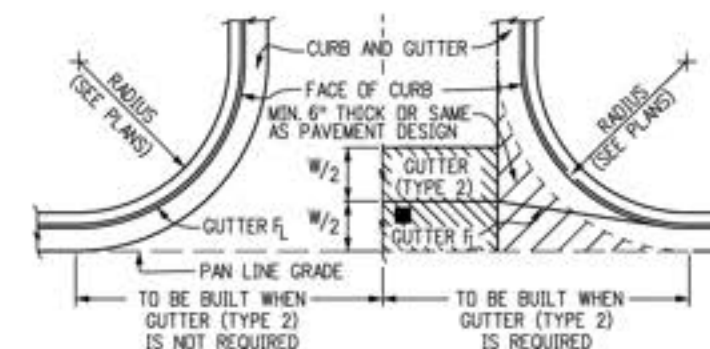


**CURB AND GUTTER TYPE 2
(SECTION MS)
(4 IN. MOUNTABLE WITH SIDEWALK)**

GENERAL NOTES

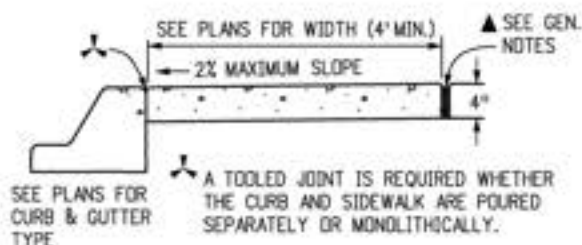
- ON ROADWAY CURVES WITH A RADIUS OF 1,900 FT. OR LESS, CURBS AND GUTTERS ARE TO BE PLACED ON THE ARC OF THE CURVE, UNLESS OTHERWISE NOTED ON THE PLANS. A MAXIMUM CHORD LENGTH OF 10 FT. MAY BE USED WHEN THE CURVE RADIUS IS GREATER THAN 1,900 FT.
 - CONCRETE SHALL BE CLASS B.
 - PROFILE GRADE OF CURBS AND GUTTERS SHALL BE LOCATED AT THE FLOW LINE.
 - CURB TYPE 4 (KEY-WAY) MAY BE USED IN LIEU OF CURB AND GUTTER TYPE 2 (SECTIONS IB AND IM) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 - GUTTER CROSS SLOPES MAY BE ADJUSTED TO FACILITATE DRAINAGE FOR PROFILE GRADES AS SHOWN ON THE PLANS.
 - THICKNESS OF CURB AND GUTTER SECTION SHALL MATCH CONCRETE PAVEMENT THICKNESS IF SHOWN ON THE PLANS. CURB AND GUTTER SHALL BE CLASS P CONCRETE IF PLACED MONOLITHICALLY WITH CONCRETE PAVEMENT.
 - INCREASE SIDEWALK THICKNESS TO 6 IN. AT LOCATIONS SHOWN ON THE PLANS.
 - MINIMUM SIDEWALK WIDTH IS 4 FT.
- ▲ EXPANSION JOINTS SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURE. EXPANSION JOINT MATERIAL SHALL BE 1/2 IN. THICK AND SHALL EXTEND THE FULL DEPTH OF CONTACT SURFACE.
 - ① GUTTER CROSS SLOPES SHALL BE 1/2 IN./FT. WHEN DRAINING AWAY FROM CURB AND 1 IN./FT. WHEN DRAINING TOWARD CURB (WITH EXCEPTION TO IMMEDIATELY ADJACENT TO CURB RAMP - SEE STANDARD PLAN M-608-1 FOR SLOPE REQUIREMENTS).
 - WHEN TIE BARS ARE REQUIRED, THE GUTTER THICKNESS SHALL BE INCREASED TO THE PAVEMENT THICKNESS (T). BARS SHALL BE EPOXY-COATED #4 CONFORMING TO AASHTO M 284 AND SPACED AT 3 FT. INTERVALS. THEY SHALL BE INSERTED 1/2 AND 1#2 LENGTH INTO THE GUTTER.

LEGEND FOR RADII	
A	= 1/8" TO 1/4"
B	= 1"
C	= 1 1/2"
D	= 1 1/2" TO 2"

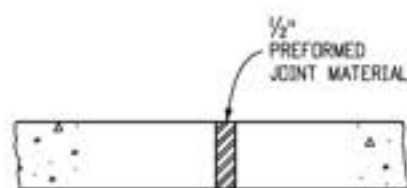


- ▨ THIS AREA SHALL BE POURED MONOLITHICALLY WITH CURB AND GUTTER AND PAID FOR AS "CONCRETE PAVEMENT".
- FLOW LINE LOCATION WILL BE ESTABLISHED BY W/2 SHOWN ON PLANS.

CONSTRUCTION OF CONCRETE GUTTERS AT INTERSECTION



CONCRETE SIDEWALK



- NOTES:
- EXPANSION JOINTS SHALL BE PLACED IN THE SIDEWALK AT INTERVALS OF NOT MORE THAN 500 FT.
 - EXPANSION JOINTS MAY BE SEALED WHEN SPECIFIED ON THE PLANS.

SIDEWALK EXPANSION JOINT

Computer File Information	
Creation Date: 07/31/19	
Designer Initials: JBK	(R-X)
Last Modification Date: 07/31/19	(R-X)
Detailer Initials: LTA	(R-X)
CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English	(R-X)

Sheet Revisions	
Date:	Comments

Colorado Department of Transportation
 2829 West Howard Place
 CDOT HQ, 3rd Floor
 Denver, CO 80204
 Phone: 303-757-9021 FAX: 303-757-9868
 Project Development Branch JBK

**CURB, GUTTERS,
AND SIDEWALKS**
 Issued by the Project Development Branch: July 31, 2019

STANDARD PLAN NO.	
M-609-1	
Standard Sheet No. 1 of 4	
Project Sheet Number:	

Creek Walk Trail Phase 4 Arborist Report

11 September 2024

Prepared for:
Andrew Morren
City Engineer / Project Manager
City of Manitou Springs

Prepared by:
Matthew Nelson
City Arborist & Horticulturalist
City of Manitou Springs

Purpose & Scope:

The purpose of this report is to detail the condition of seven (7) trees along Manitou Avenue within the area proposed for Creek Walk Phase 4. The scope of this report is seven trees along a 0.2 mile area on the North side of Manitou Avenue.

The current plan for Creek Walk Phase 4 places these trees within the proposed sidewalk. For the project to proceed as planned all seven trees would require removal prior to project start.

Table 1: Tree Species, Size, and Condition

Tree number	Species	DBH	Tree condition	Tree location	Candidate for EAB treatment
1	Green ash	19.25"	Fair	Poor	No
2	Green ash	14"	Fair	Poor	No
3	Green ash	13.5"	Fair	Poor	No
4	Green ash	17.25"	Fair	Poor	No
5	Siberian elm	21"	Good	Poor	N/A
6	Green ash	13.5"	Fair	Poor	No
7	Green ash	7"	Fair	Poor	No
Total Diameter inches:		105.5			
DBH: Diameter at breast heigh - 4.5 feet.					

Emerald Ash Borer:

EAB (Emerald Ash Borer) is an invasive insect that results in 100% mortality in untreated ash trees. This insect was detected in Boulder, CO in 2013 and has been progressing up and down the Front Range since it's discovery. When EAB is detected in Colorado Springs we will need to develop a treatment plan for all ash trees the City wishes to protect. Only proactive

treatment is effective and only optimal trees should be treated due to treatment cost. Optimal trees must have vigorous growth, strong trunk vascular tissue, and good rooting area and water uptake to effectively distribute the trunk injected product. If the tree does not have the ability to uptake and distribute the product throughout the canopy treatment is unlikely to be effective.

Tree Replacement:

Any tree removed from public property or right of way must be replaced with a minimum of one (1) new tree per one (1) tree removed. To maintain zero net canopy lost multiple trees should be planted to replace each tree lost. Planting of new trees in the project area would be ideal to ensure that canopy will be replaced in the area that canopy has been lost.

Tree 1 – Green ash – 19.25” DBH



Notes:

- Unequal growth form
- Interference with communication lines
- Conflict with sidewalk
- Insufficient root growth area
- Pruned in 2023 to provide 14ft road clearance

Tree 2 – Green ash – 14” DBH



Notes:

- Unequal growth form
- Interference with communication lines
- Conflict with sidewalk
- Insufficient root growth area
- Pruned in 2023 to provide 14ft road clearance
- Substantial damage on ~50% of main stem – moderate response growth

Tree 3 – Green ash – 13.5” DBH



Notes:

- Unequal growth form
- Interference with communication lines
- Conflict with sidewalk
- Insufficient root growth area
- Pruned in 2023 to provide 14ft road clearance

Tree 4 – Green ash – 17.25” DBH



Notes:

- Unequal growth form
- Interference with communication lines
- Conflict with sidewalk
- Insufficient root growth area
- Pruned in 2023 to provide 14ft road clearance
- Substantial wound – strong response growth

Tree 5 – Siberian elm – 21” DBH



Notes:

- Relatively equal growth form
- Interference with communication lines
- Conflict with sidewalk
- Insufficient root growth area
- Pruned in 2023 to provide 14ft road clearance

Tree 6 – Green ash – 13.5” DBH



Notes:

- Relatively equal growth form
- Interference with communication lines
- Conflict with sidewalk
- Insufficient root growth area
- Pruned in 2023 to provide 14ft road clearance
- Wound on main stem – strong response growth

Tree 7 – Green ash – 7” DBH



Notes:

- Relatively equal growth form
- No conflict with sidewalk at this time
- Sufficient root growth area
- Pruned in 2023 to provide 14ft road clearance



Title: Code Revisions Work Session
From: Fred Rollenhagen
To: City Planning Commission
Address of Proposal: N/A
Applicant:

July 9, 2025

Proposal:

The Planning Commission held a second work session last month continuing to review areas of the Code that could be affected by the 2024 State Land Use and Housing Legislation. The CPC invited the Housing Advisory Board (HAB) to participate in the discussion. In 2024, the Colorado General Assembly passed four (4) bills, that were signed into law by the Governor, that are a matter of mixed statewide and local concern and compel local municipal compliance. These laws intend to achieve the goal to build more housing and more affordable housing in the State. This discussion does not include the 4th bill; HB 1313 because it does not apply to any area within the City. Further discussion may be held as requested by CPC on a later meeting date. The City's legal council provided legal advice on the bills during the first work session. At the end of the second work session, Planning Commissioners and Housing Board members all communicated their feelings and concerns about what should be considered in a draft ordinance and what information they wanted to see to help inform them on a draft ordinance.

Zone District:

N/A

Background & Existing Conditions:

The three housing bills we are compelled to comply with, outlined by the City's attorney, are as follows:

1. HB 1007, Housing Occupancy Limits

This bill prohibits local governments from setting a maximum occupancy limit on a single dwelling unless the limit is based on a) a demonstrated health/safety standard or b) on governmental affordable housing program guidelines. It indicates that all occupancy limits, including those based on familial relationships, are void as of July 1, 2024. In order to comply with this bill, the definition of household would need to be defined based on demonstrated health and safety standards that are found in the International Code Series (ICC) building codes and/or fire codes.

2. HB 1152, Accessory Dwelling Units (ADUs)

This bill provides a land use regulation that allows ADUs for all municipalities with a population of 1,000 or more and are within a Metropolitan Planning District (MPO). Manitou Springs fits into these criteria. It requires the City to allow ADUs as a use by right, as an accessory use to any single-unit detached dwelling unit, in any zone district that allows single-unit detached dwelling



units. The City also may not:

- a. Require new off-street parking spaces for the ADU except when no existing off-street parking exists, is in a zoning district that requires one or more parking spaces for the main dwelling unit, or is located on a block where on-street parking is prohibited.
- b. Require an ADU, or primary dwelling unit on the same lot to be owner-occupied.
- c. Apply restrictive design or dimension standards that are not required for the primary dwelling unit. HOA rules that are more restrictive than these rules are now void. In order to comply with this bill, the City would need to adopt an Ordinance that amends the LUDC to permit accessory dwelling units in zoning districts that allow single-family dwelling units. Further discussion is in this report that discusses the alternatives available to the City for a potential Ordinance.

3. HB 1304, Minimum Parking Requirements

This bill prohibits local governments within an MPO and at least partially within a “transit service area” from enforcing minimum parking requirements for multifamily residential developments, residential adaptive reuse projects, and mixed-use projects with at least 50% residential uses. The Colorado Department of Local Affairs (DOLA) released a map identifying these areas in each community subject to the new law. A portion of Manitou Springs following the two established bus routes is located within a transit service area and would be subject to this law. See the attached map that shows these locations. In order to comply with this bill, the City would need to adopt an Ordinance that inserts applicability language into the LUDC that clarifies that minimum parking requirements for multifamily residential development and the types of adaptive reuse projects covered by the law do not apply to the areas identified in the attached transit service area map.

Application Detail:

Tonight's work session will focus on HB 1152: Accessory Dwelling Units. During the last session, CPC and HAB members expressed a number of questions and concerns about how the City is allowed to regulate ADUs to meet the City's current residential development standards and what types of measures could be implemented to ensure ADUs are and remain truly affordable. Commissioners and HAB members also requested information to have a better understanding of how many ADUs the city might expect to be constructed.

1. Residential Development Standards

A number of concerns were related to how or whether the City has the ability to apply its current development standards to ADUs. Standards such as the city's Historic Preservation Ordinance, setbacks, lot density requirements, conformance with minimum construction standards to maintain construction quality, assurance of adequate water supply and sewer capacity were communicated. The majority of the City's residential development standards can be applied to ADUs. A few, such as density per residential unit, cannot. The attached "cheat sheet" summarizes what a potential ADU ordinance could require in conformance with HB 1152, and includes required conformance with most of the City's standards for residential development.

HB 1152 does not allow the city to apply residential density requirements to an ADU, but it does allow the city to apply its other residential development standards.



2. ADU Affordability

The state has a number of funding opportunities to help encourage ADU construction and to aid in maintaining affordability. The Housing Advisory Board has been exploring funding opportunities and will continue to do so. A few regulatory mechanisms are available, such as requiring deed restrictions on ADUs to assure affordability. These generally have not been used in the city of Manitou Springs as yet.

3. Potential ADU locations

Staff has put together a series of maps (attached) that show where ADUs could potentially be constructed based on zoning, location of single-household detached dwellings, and available land per parcel. Additional mapping also shows the number of garages and basements that could be available to potentially be converted to ADUs. Staff will have a full presentation of this information during the meeting on July 9th.

Public Involvement:

Findings & Review Criteria:

Staff Recommendation:

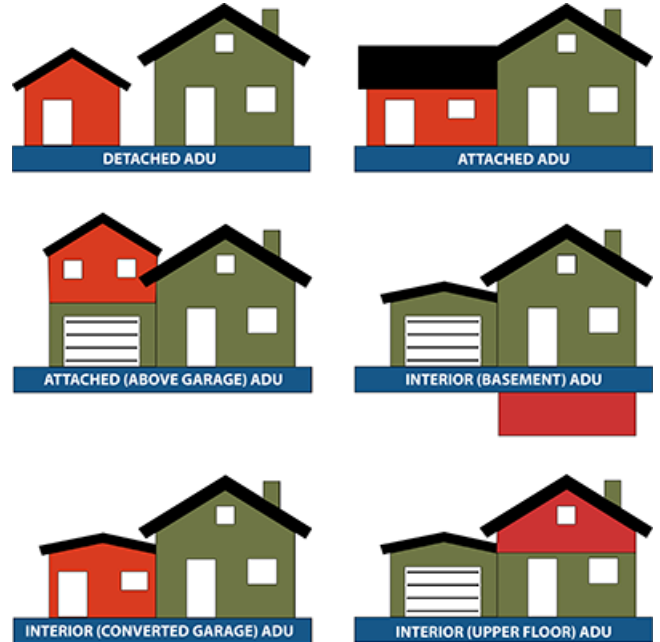
N/A

Motion Language Options:

Accessory Dwelling Units (ADUs)

Section XX of the Municipal Code

In 2024, the Colorado General Assembly passed HB 1152 which requires the City of Manitou Springs, and others, to allow ADUs as a use by right, as an accessory use to any single-unit detached dwelling unit, in any zone district that allows single-unit detached dwelling units. This document is intended to provide general guidance for the development of ADUs, but interested parties are encouraged to contact the Planning Department for more information.



What is an ADU?

“Accessory Dwelling Unit” means an internal, attached, or detached dwelling unit that: (a) provides complete independent living facilities for one or more individuals; (b) is located on the same lot as a proposed or existing primary residence; and (c) includes facilities for living, sleeping, eating, cooking, and sanitation.

Where are ADUs allowed?

ADUs are allowed as an accessory to an existing single-household detached dwelling in the General Residential (GR) zone, the Low-Density Residential (LDR) zone, and the Hillside Low-Density Residential (HLDR) zone. Only one ADU is allowed per lot per single-household dwelling. Density restrictions do not apply to ADUs.

How big can ADUs be?

ADUs are allowed to be between 500 – 750 square feet in size. ADUs must comply with setbacks for Permanent Principal Structures as outlined in the Dimensional Standards tables.

What can my ADU look like?

If your property is in the Historic District, the ADU must comply with the Historic Preservation ordinance (Chapter 17 of the Municipal Code) and the Historic District Design Guidelines.

Where can I build an ADU on my property?

Accessory Dwelling Units must comply with setbacks, height restrictions, and other development standards applicable to your property and the applicable zone district.

Can I rent out my ADU?

ADUs and the primary dwelling unit can be rented for periods exceeding 30 days, however, the short term rental of ADUs, or the principal single-household dwelling, is not permitted.

Do ADUs need separate utilities?

[information to be provided pending engagement with the Manitou Springs Utilities Department]



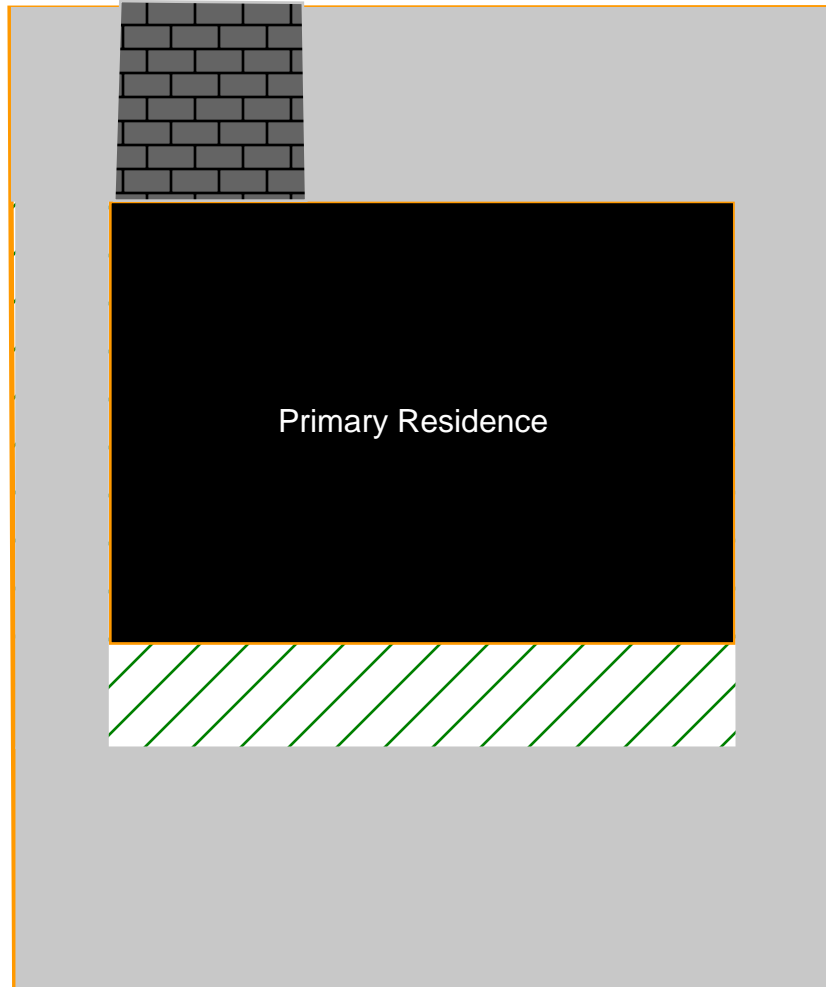
What is the approval process for ADUs?

ADUs are administratively approved through a Minor Site Plan and a Grading and Erosion Control Plan for detached ADUs or attached ADUs that require new construction. However, if your property is within the Historic District, you also need design approval from the Historic Preservation Commission (HPC). Your contractor will also need to obtain a building permit from the Pikes Peak Regional Building Department.

How do I get started?







Scan the QR Code below to schedule a Pre-Application Meeting with the City of Manitou Springs Planning Department!

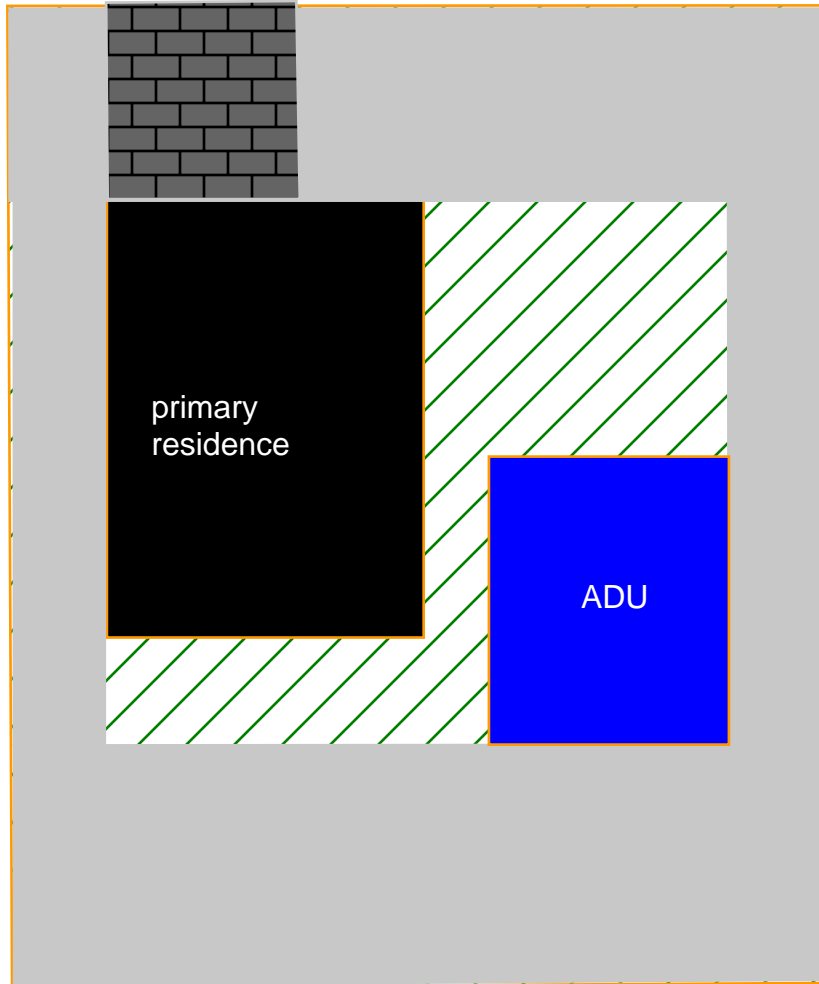




Low Density Residential







1 Story Residence on standard lot
 85' minimum lot frontage
 8,700 square foot minimum lot area
 35% maximum lot coverage
 house size 3,045sf

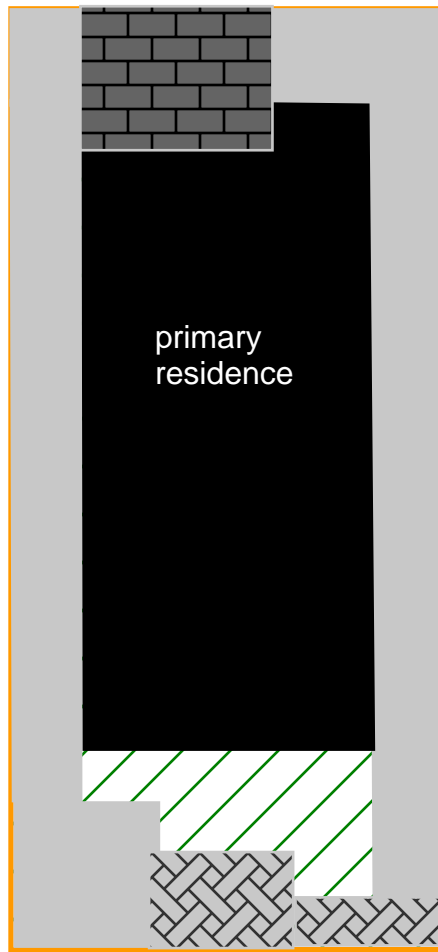
-  Lot Boundary
-  Setbacks
-  Primary Residence
-  ADU
-  undeveloped (yard)
-  driveway/impervious



Low Density Residential








2 Story Residence with ADU on standard lot
 85' minimum lot frontage
 8,700 square foot minimum lot area
 35% maximum lot coverage
 house size 3,045sf (1,522 sf footprint)
 750 sf ADU

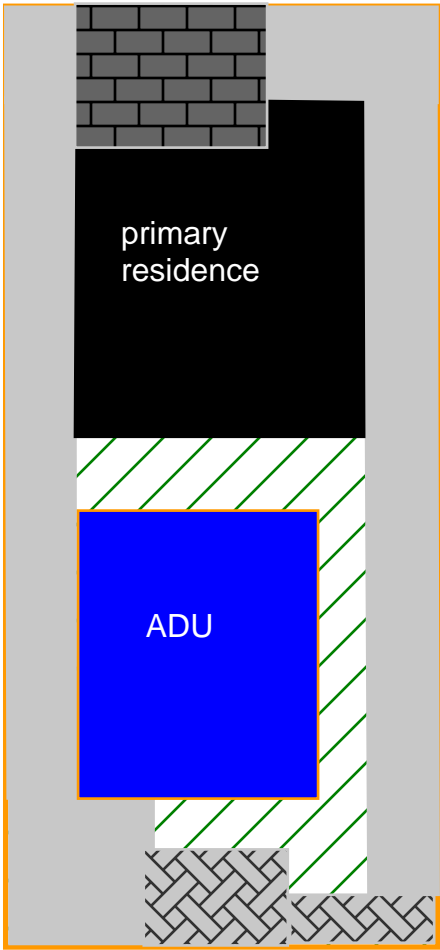
-  Lot Boundary
-  Setbacks
-  Primary Residence
-  ADU
-  undeveloped (yard)
-  driveway/impervious



General Residential


1 Story Residence on standard lot
 45' minimum lot frontage
 4,400 square foot minimum lot area
 50% maximum lot coverage
 house size 2,200sf

-  Lot Boundary
-  Setbacks
-  Primary Residence
-  ADU
-  undeveloped (yard)
-  driveway/impervious
-  reduced setbacks for special circumstances



General Residential

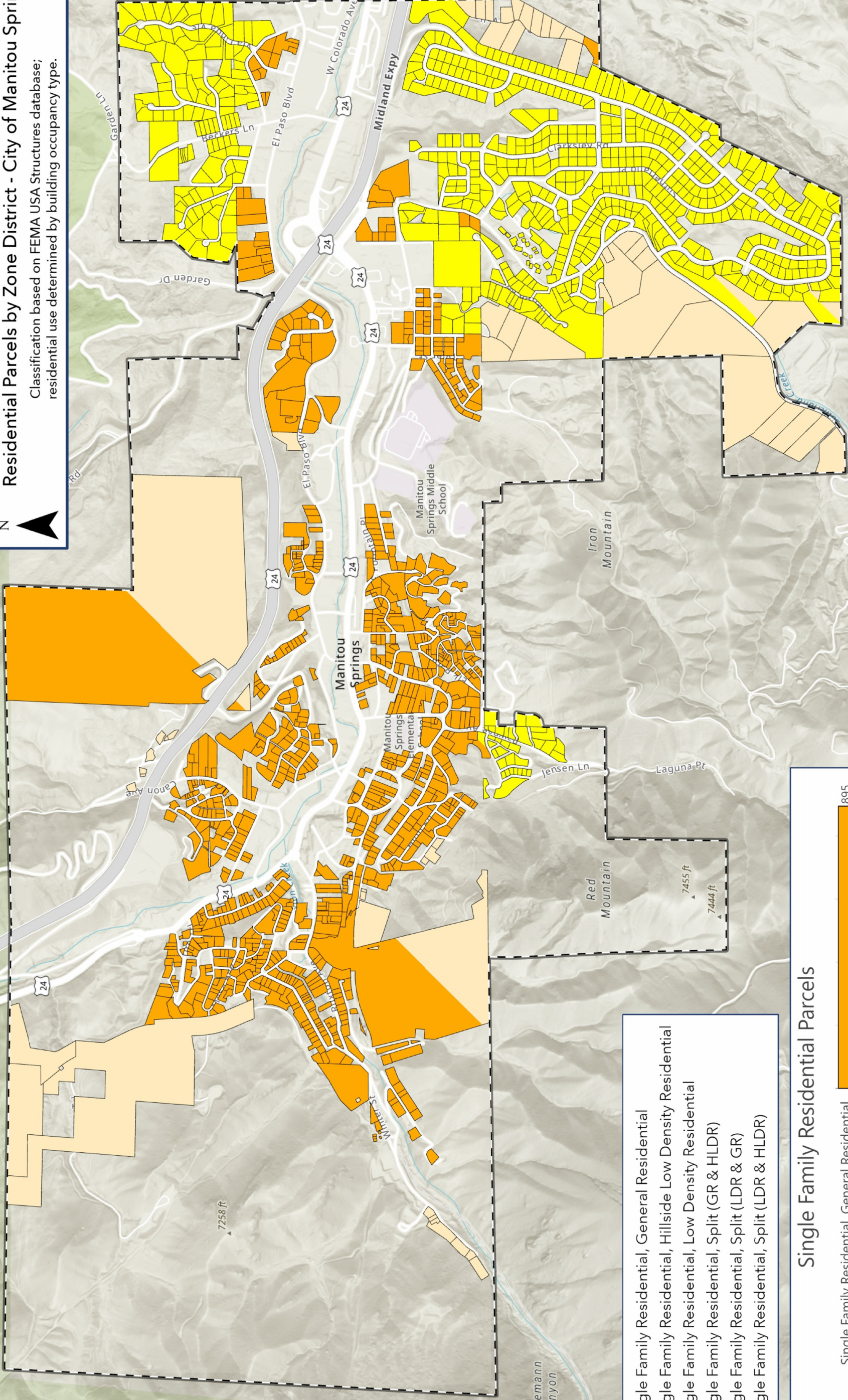
2 Story Residence with ADU on standard lot
 45' minimum lot frontage
 4,400 square foot minimum lot area
 50% maximum lot coverage
 house size 2,200sf (1,200 sf footprint)
 750 sf ADU

-  Lot Boundary
-  Setbacks
-  Primary Residence
-  ADU
-  undeveloped (yard)
-  driveway/impervious
-  reduced setbacks for special circumstances

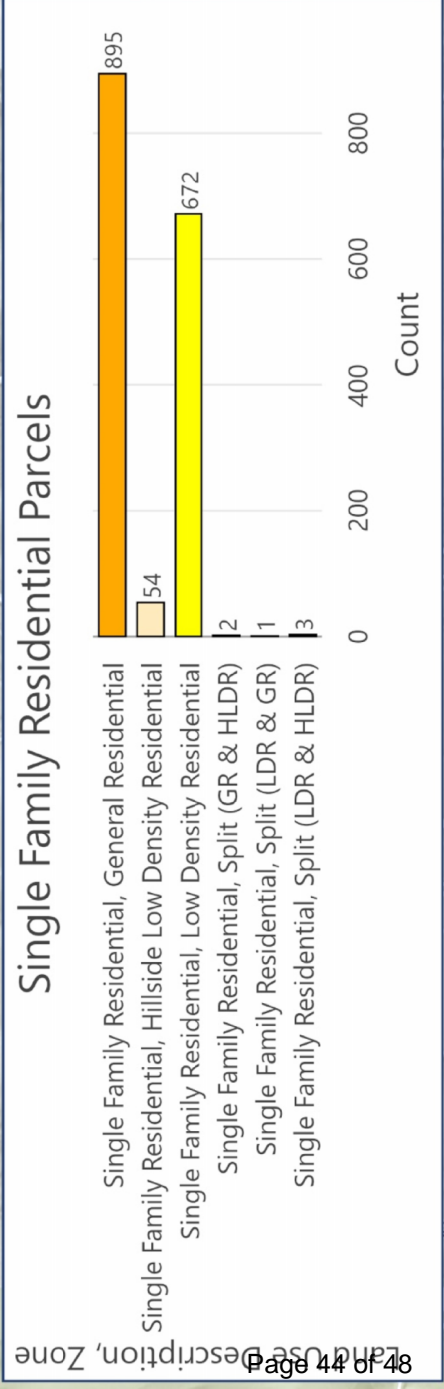


Residential Parcels by Zone District - City of Manitou Springs

Classification based on FEMA USA Structures database; residential use determined by building occupancy type.

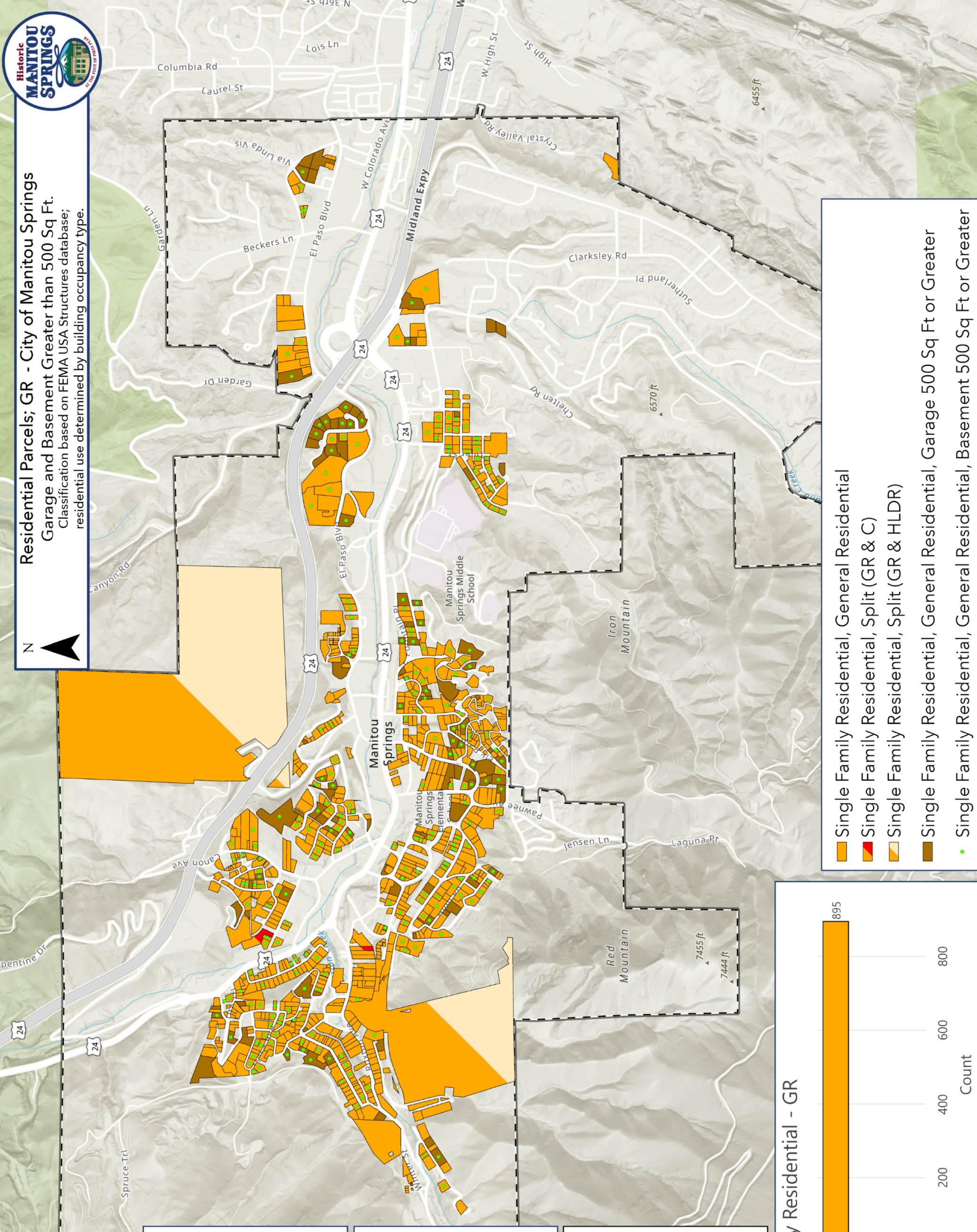
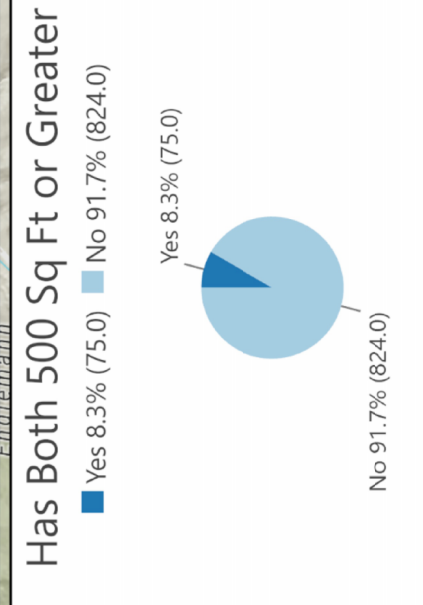
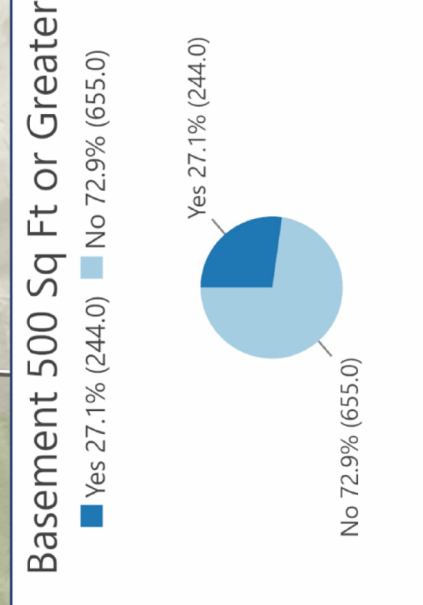
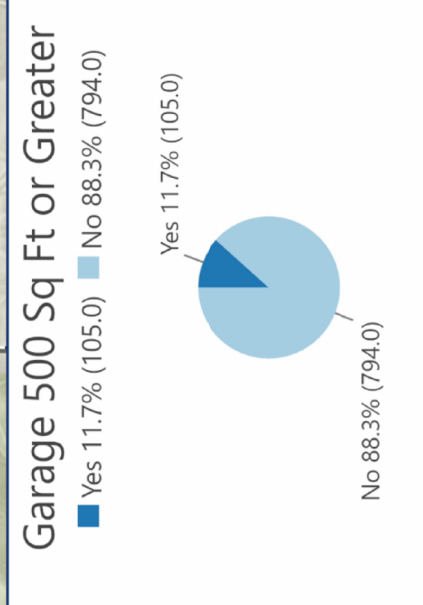


- Single Family Residential, General Residential
- Single Family Residential, Hillside Low Density Residential
- Single Family Residential, Low Density Residential
- Single Family Residential, Split (GR & HLDR)
- Single Family Residential, Split (LDR & GR)
- Single Family Residential, Split (LDR & HLDR)

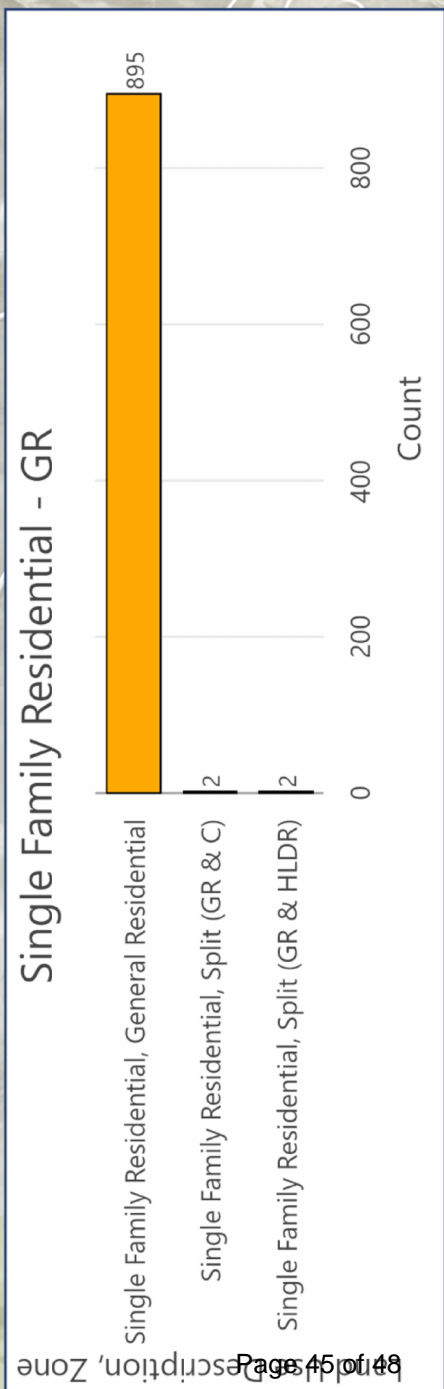




Residential Parcels; GR - City of Manitou Springs
Garage and Basement Greater than 500 Sq Ft.
 Classification based on FEMA USA Structures database;
 residential use determined by building occupancy type.

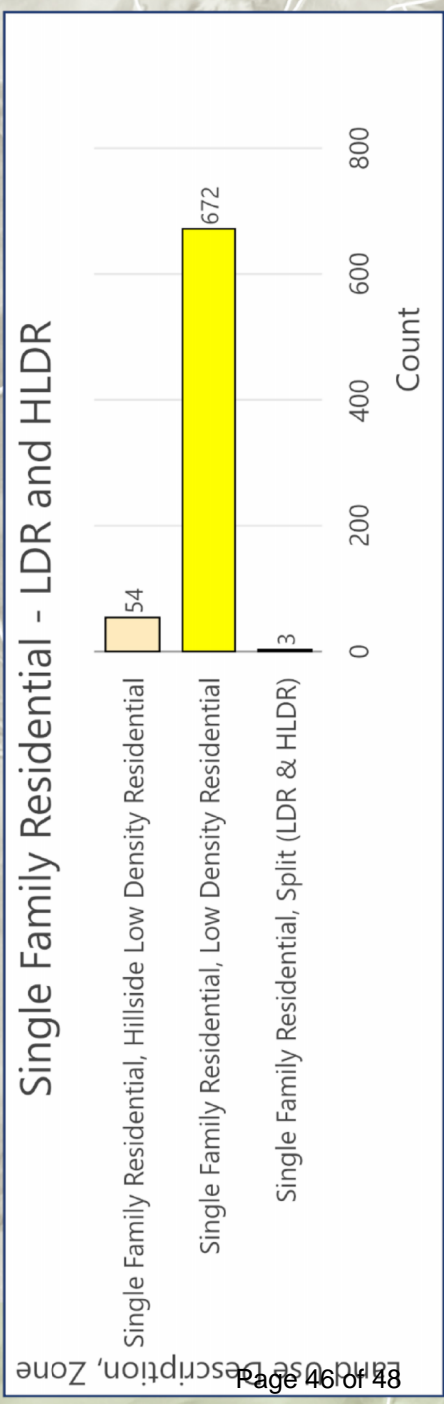
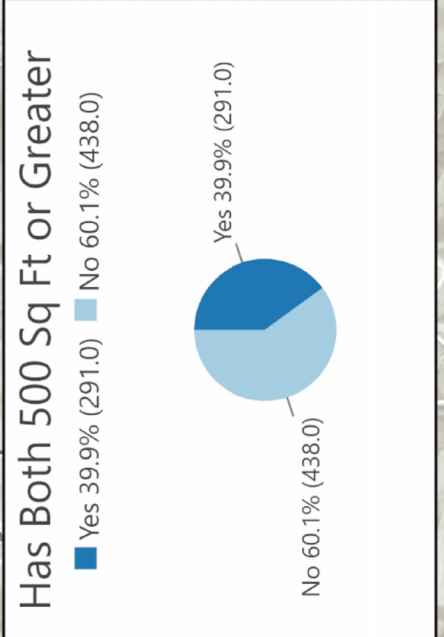
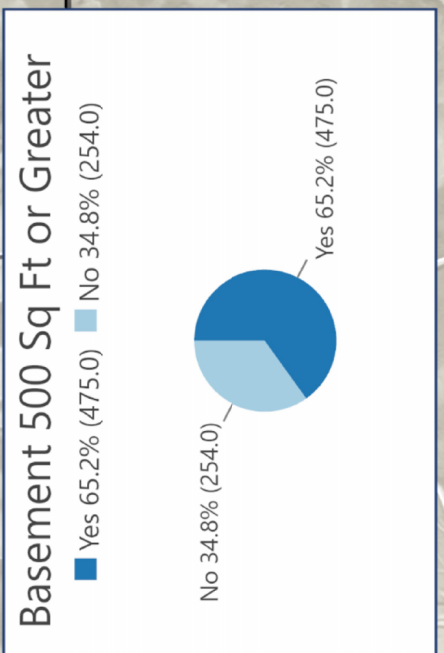
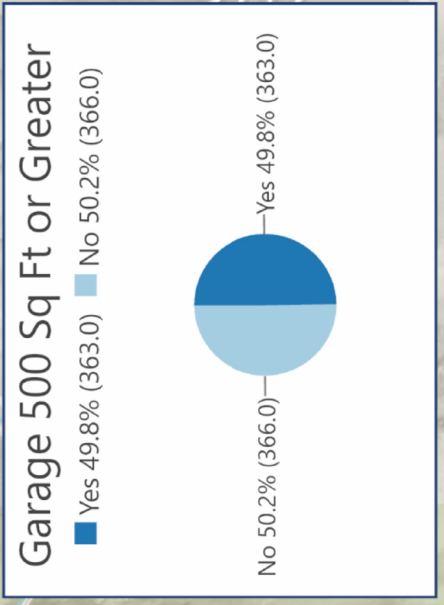
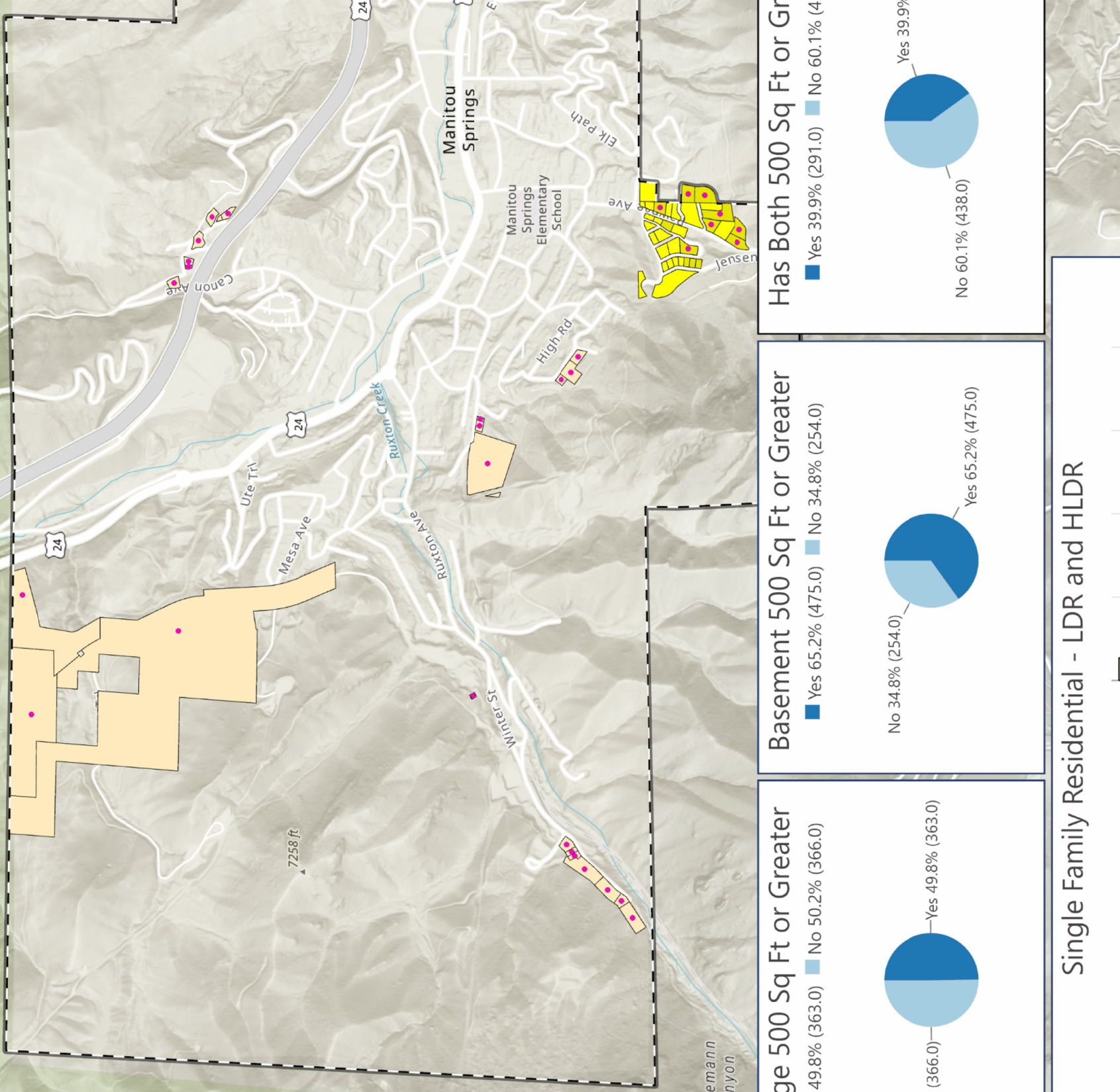


- Single Family Residential, General Residential
- Single Family Residential, Split (GR & C)
- Single Family Residential, Split (GR & HLDR)
- Single Family Residential, General Residential, Garage 500 Sq Ft or Greater
- Single Family Residential, General Residential, Basement 500 Sq Ft or Greater





Residential Parcels; LDR and HLDR - City of Manitou Springs
Garage and Basement Greater than 500 Sq Ft.
 Classification based on FEMA USA Structures database;
 residential use determined by building occupancy type.

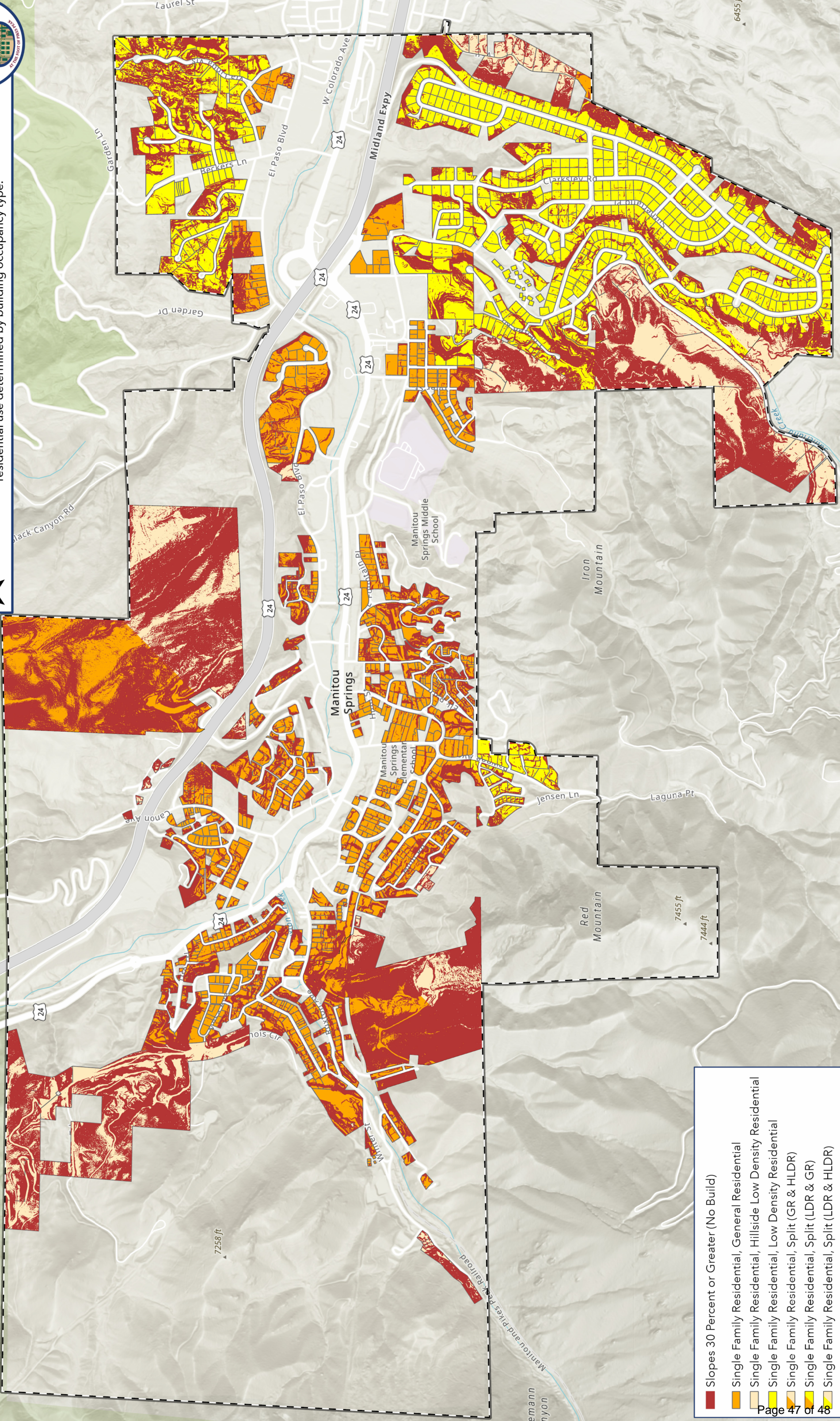


- Single Family Residential, Hillside Low Density Residential
- Single Family Residential, Low Density Residential
- Single Family Residential, Split (LDR & HLDR)
- Single Family Residential, LDR and HLDR, Garage 500 Sq Ft or Greater
- Single Family Residential, LDR and HLDR, Basement 500 Sq Ft or Greater



Residential Parcels; Slope Profile - City of Manitou Springs

Classification based on FEMA USA Structures database; residential use determined by building occupancy type.

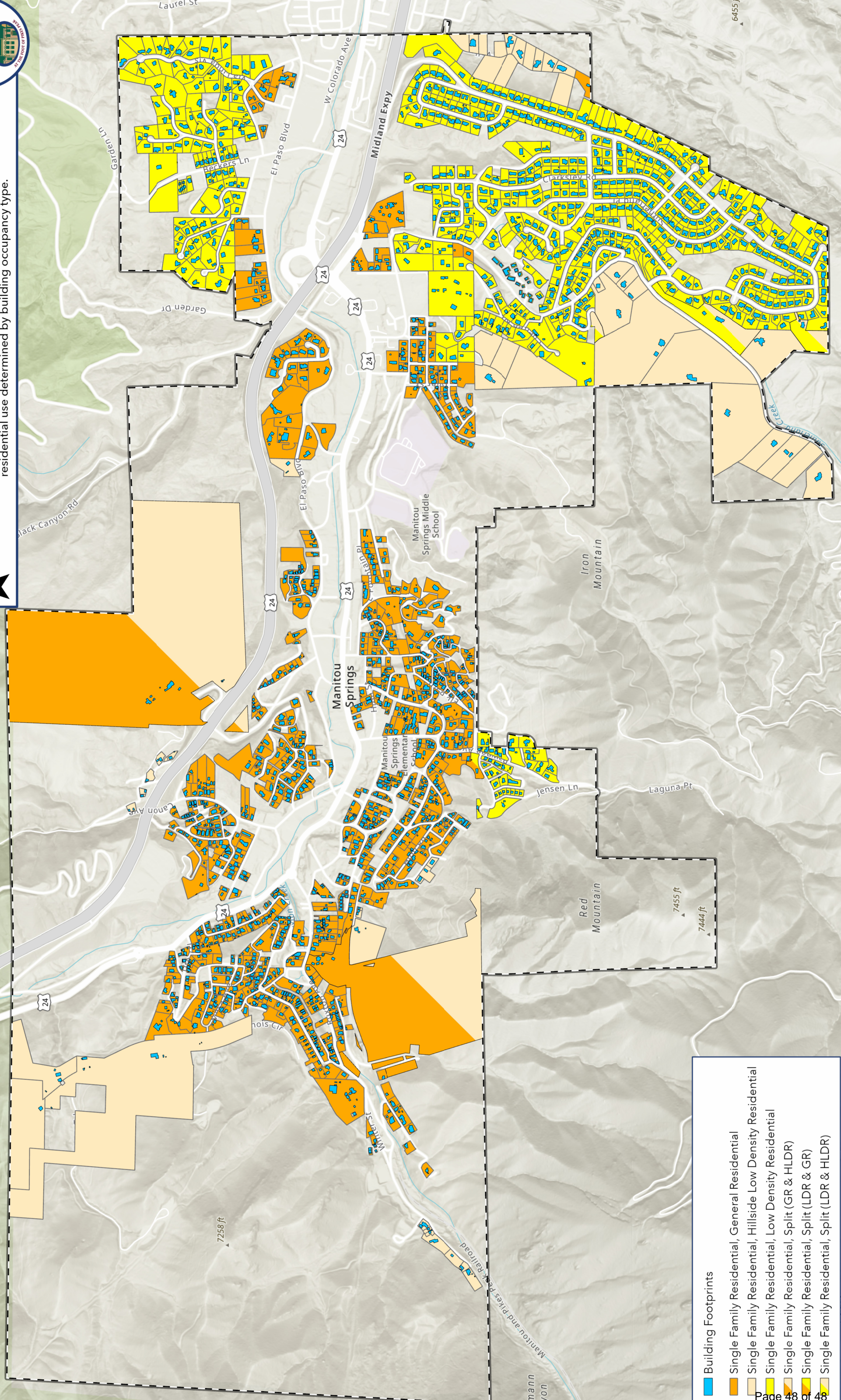


- Slopes 30 Percent or Greater (No Build)
- Single Family Residential, General Residential
- Single Family Residential, Hillside Low Density Residential
- Single Family Residential, Low Density Residential
- Single Family Residential, Split (GR & HLDR)
- Single Family Residential, Split (LDR & GR)
- Single Family Residential, Split (LDR & HLDR)



Residential Parcels; Building Footprints - City of Manitou

Classification based on FEMA USA Structures database; residential use determined by building occupancy type.



- Building Footprints
- Single Family Residential, General Residential
- Single Family Residential, Hillside Low Density Residential
- Single Family Residential, Low Density Residential
- Single Family Residential, Split (GR & HLDR)
- Single Family Residential, Split (LDR & GR)
- Single Family Residential, Split (LDR & HLDR)