



MANITOU SPRINGS HISTORIC PRESERVATION COMMISSION REGULAR MEETING AGENDA

All upcoming HPC meetings are scheduled to be hybrid,
Zoom (remote) or in-person at Memorial Hall.

In Person: Memorial Hall
606 Manitou Avenue

Manitou Springs, CO 80829

Remote: A link is provided on the City's Official Website at
<https://www.manitouspringsgov.com/544/All-Boards-and-Commissions>

April 2, 2025

5:30 PM

I. CALL TO ORDER

II. APPROVAL OF MINUTES

1. March 5, 2025 Meeting Minutes

III. PUBLIC COMMENT ON NON-AGENDA ITEMS

IV. NOTICE OF COUNCIL ACTION

V. UNFINISHED BUSINESS

VI. NEW BUSINESS

2. MCAC 2502 - 56 Park Avenue - Exterior Alterations
3. MCAC 2503 - 528 Canon Ave - Exterior Alterations
4. 7 Elk Path - Vicky Bunsen Doucette Memorial Mini-Grant

VII. OTHER BUSINESS

5. 2025 Historic Preservation Awards
6. Architectural Scavenger Hunt

VIII. ADJOURNMENT

Commissioners:

Laura Kindseth, Chair (03/31/2027)
Matthew Rose, Vice Chair (03/31/2028)
Matthew Murphy (03/31/2028)
Ann Nichols (03/31/2029)
Joy Porter(3/31/2029)
Tammila Wright, Alternate Member (03/31/2028)

Staff and Liaisons:

Michelle Whetherhult, City Council Liaison
Fred Rollenhagen, Planning Director
Chelsea Royston, Senior Planner
Erin Ringsred, Planner and Landscape Architect II
Zachary Davison, Planner

2 regular and 2 alternate positions available

The City of Manitou Springs does not discriminate on the basis of disability in the admission to, access to, or operations of programs, services or activities. Reasonable accommodation will be provided to ensure equal access to all. Individuals who would like to request auxiliary aids or services should contact the ADA Coordinator at (719) 685-5481 or jfryer@manitouspringsco.gov. You may also contact the City Clerk's Office at cityclerk@manitouspringsco.gov or (719) 685-2554. Please provide a minimum of 3-5 days advance notice.

Interested citizens are invited to serve on any of the City's Boards or Commissions. Please contact the City Clerk's Office for more information or visit our website at: www.manitouspringsgov.com.



**MANITOU SPRINGS
HISTROIC PRESERVATION
COMMISSION REGULAR MEETING
MINUTES
MARCH 5, 2025**

I. CALL TO ORDER

A Regular Meeting of the Manitou Springs Historic Preservation Commission was held at Manitou Springs Memorial Hall, 606 Manitou Avenue. Chair Laura Kindseth called the meeting to order at 5:30 PM and declared a quorum present.

PRESENT: Chair Laura Kindseth
Vice Chair Matthew Rose
Commissioner Joy Porter
Commissioner Ann Nichols
Commissioner Doug Edmundson
Commissioner Matthew Murphy

ABSENT:

STAFF: Planner II Erin Ringsred
Planner I Zachary Davison

GUESTS: City Attorney Representative Katherine Vera

II. APPROVAL OF MINUTES

ITEM 1 February 5, 2025 Minutes

Chair Kindseth noted that in section 4 the word “intrefication” should be corrected to “withintrification”.

MOTION:

Commissioner Edmundson made a motion to approve December 4, 2024, minutes with Chair Kindseth’s correction.

SECOND:

The motion was seconded by Vice Chair Rose .

VOTE:

Motion was carried 6-0

III. PUBLIC COMMENT ON NON-AGENDA ITEMS

None

IV. NOTICE OF COUNCIL ACTION

None

V. UNFINISHED BUSINESS

None

VI. NEW BUSINESS

ITEM 2 MCAC 2501 - 308 Ruxton Avenue - Exterior Alterations – Planner Zachary Davison presented the application.

Vice Chair Rose asks if second story windows have been installed, and the addition removed.

Planner Davison stated the addition is removed but the windows are just tacked in so they can be easily removed if they are not approved.

Commissioner Porter asks about the window grids and whether they are the new ones are similar to those tacked in.

Planner Davison stated that the existing windows are separated and double hung.

Commissioner Edmundson stated that the windows are partially open revealing the top and bottom and agreed that these are double hung windows.

Vice Chair Rose asks about the intent of the front porch and returning it to the way it was formerly. The applicants will answer this question.

Chair Kindseth directed that question to the applicant and asked the applicants to come forward.

Josh and Ashley Allen at 924 Prospect Place. They are in the military and moved here in August. They are expecting their first child and are exiting the military and looking to settle in Manitou. Josh misunderstood that like vs like meant materials and not just size reference. The windows were removed because of extreme deterioration, and they want to do everything the right way, but aren't sure all the ways to go about it. They are on a tight budget, but doing their best to restore the home to its former glory so it is a great home for their family.

Vice Chair Rose asked if they are going to replace the lattice work or spindles or any of the long pieces.

The applicant stated that the addition was beyond repair and supported by a pebble on a few piers. He tried to save the remaining elements of the front porch but it was so far destroyed that there was nothing he could do but take it down. The spindles are set to the side, but due to budget constraints he is unsure of when he will be able to replace it. He says that due to budget constraints they are not unfortunately able to replace it at this time, but have saved what they could and will hopefully be able to replace it at some point in the future.

Commissioner Porter asked for clarification that none of the spindles and posts would be replaced at this time.

The applicant stated that he is not able to do that due to budget at this time. The original elements of the front porch were severely deteriorated due to the addition added by previous owners.

Commissioner Edmundson said that the building is located in the Ruxton subdistrict and is considered a contributing structure. This means that original architectural elements fall under the purview and guidelines of the historic preservation commission. The demolition of the original porch post and cover on the west side of the building without prior vetting by the Historic Preservation Commission was noted as unusual and an oversight in protocol. The scar left on the side of the building clearly indicates the original location and design of the porch post and cover. The original porch likely had a steeper pitched roof and was attached to the side of the building, as evidenced by the scarring. It was separate from the later addition on the upper level. He made recommendation to restore the porch, as it is considered an important original architectural element that contributes to the building's character and its place in the historic subdistrict. He stated spindle posts similar to the original can be acquired relatively easily. Taber Mill Outlet in Denver is a state-renowned resource for historic restoration materials, including newly made items and the ability to replicate specialized trim. Salvaged materials from other locations might also be an option.

Commissioner Nichols asked for clarification that the porch could not be accommodated in the current budget of the project.

Planner Davison stated that staff had provided the grant application to help with improvements but it cannot be applied retroactively.

Commissioner Porter asked if it could help with the porch.

Planner Davison state that yes it could.

Chair Kindseth stated that the applicant could apply next year as well if they have plans for the porch.

Commissioner Edmundson stated that they could see scaring on the exterior of the house. He suggested that the homeowner include the porch restoration plans in their existing homeowner's permit to streamline the process with the Pikes Peak Regional Building Department, especially regarding structural elements requiring engineering and inspection.

Vice Chair Rose stated that the front porch posts are standard and could be replaced easily

Planner Ringsred issued a statement for clarification of what portion of the structure the commission is defining as a porch. The area outlined in red with a window was an addition and not original. The area underneath the addition is inset from the addition and only the ornamentation of the posts remained and the roof had been removed previously.

Commissioner Edmundson identified the area under discussion and confirmed Planner Ringsred's scope of the front porch as previously stated.

The Applicant stated their commitment to restoring the neglected house and working with the commission but highlighted the financial realities and the extent of unforeseen repairs. He expressed significant financial challenges due to unexpected issues like extensive deterioration and a costly water line replacement, making immediate porch restoration difficult. An unforeseen repair to the water line has cost them \$20,000 unexpectedly. They do not have even a dollar extra to spend on improvements beyond those required to make the home habitable.

Vice Chair Rose stated that he appreciated the applicant's statements. We all share your feelings that the building needs to be restored and the commission is trying to advocate for the town.

Chair Kindseth stated that their efforts are appreciated.

Chair Kindseth opened the floor for public comment.

Leon and Geneva Knights step forward - 1124 West Pikes Peak in Old Colorado City to speak on behalf of their friends, Josh and Ashley Allen.

Leon Knight stated that he has experience with historic homes, owning one built in 1909 in Old Colorado City and another built in 1901 in Texas. This gives him familiarity with the challenges of renovating and updating older properties, including window compliance and energy efficiency. He acknowledges the trade-off between original windows and energy efficiency, noting that original windows can lead to an inefficient home in winter. He believes Josh has a desire to keep the house in Manitou as original as possible. He raises a point about the definition of "original," noting that many older homes have had unoriginal alterations over time. He suggests that the choice might be between dilapidated homes with existing unoriginal alterations and a modified, updated home that is lived in and tries to be as close as possible to the original while addressing modern needs and safety codes (like electrical). He believes the current homeowners are doing their best to keep the house as original as possible while making necessary updates. Regarding the removed porch, he raises concerns about its structural integrity, especially considering the later addition on top. He notes that a subfloor was added directly on top of the porch roof to create a kitchen above, and the supporting posts for this addition likely weren't engineered or permitted. He suggests that the original porch was potentially unsafe due to this later addition. While he agrees the spindle look is historic, he suggests focusing on completing the current work and potentially adding the porch back in the future when feasible.

Geneva Knights also spoke in support of the applicants. She and her husband are close to Josh and Ashley and witnessed the poor condition of the house when they first bought it, describing it as an "eyesore" and potentially unsafe. She is impressed by the progress Josh and Ashley have made with the renovations, especially considering their age and current situation. She appreciates the commission's understanding and

willingness to help while also representing the beauty and history of Manitou, which is why the homeowners chose to renovate there. She sees this as a learning experience for everyone, including others who might undertake similar projects in the future. She asks for grace for Josh and Ashley, as this is their first time going through such a significant renovation.

Chair Kindseth closed the public hearing and opened the item for discussion amongst the Commission

Commissioner Porter stated she appreciated what they are going through however felt that the front porch improvements should be included.

City Attorney Vera stated that the commission could condition future approvals for this property on the restoration of that porch.

Commissioner Porter said she is concerned because this is a contributing home.

Commissioner Nichols asked for clarification on the legal recommendation.

City Attorney Vera stated that the commission could approve this MCAC but condition future MCAC approvals for this property on the restoration of that porch.

Commissioner Nichols stated that we could state we would like to see the historic porch reestablished.

City Attorney Vera stated that we could add a timeline on when they need to bring a front porch application back within nine months for example.

Commissioner Porter asked how we could ensure this in the future.

City Attorney Vera stated that the conditions being considered aren't the only recourse you could enforce code enforcement procedures.

Commissioner Nichols stated that it was administratively approve and that would not be appropriate at all.

Planner Ringsred clarified that the addition was administratively approved for demolition by staff because the addition was deemed a hazard and unsafe. Taking this to court would be challenging because the unpermitted addition that had to be removed due to safety. The addition is what compromised the original front porch.

Planner Ringsred stated that we could include the recommendation to improve the front porch in future staff reports as part of the project background and could be considered with future MCACs.

Commissioner Porter asked if any MCAC's had been identified to bring forward in the future.

Planner Ringsred stated that there are no planned future MCACs at this time.

Commissioner Edmunson sympathizes with the homeowners, believing they intend to do the right thing but may have acted prematurely or received incorrect advice. He regrets that the commission didn't see the window plans before replacement to suggest more historically appropriate options. Regarding the porch, he suggests a longer timeframe for restoration for example three years, given its importance as an original architectural element. He advises the homeowners to work closely with their engineer and the regional building department to navigate the permitting process. He reiterates that conditioning future MCAC applications on porch restoration seems like the most viable option for the commission.

Commissioner Nichols stated that we have an application for a project that will materially improve a historic structure in our community and they are committed to doing that. They suggest that while porch restoration is desirable, the homeowners have clearly indicated that it is not currently economically feasible. They stated we do have economic hardship criteria in our code.

MOTION:

Commissioner Nichols moved to approve MCAC 2401 as presented with a condition that When they come back to the City for MCACs they would have an application for porch improvements, and this would not be time bounded.

SECOND:

The motion was seconded by Commissioner Murphy.

VOTE:

The motion carried (6-0).

ITEM 3 308 Ruxton Avenue - Vicky Bunsen Doucette Memorial Mini-Grant – Planner Zachary Davison presented the grant application.

Commissioner Porter asked for clarification regarding grant amount.

Planner Davison stated the applicant is seeking the full \$2,0000.

Vice Chair Rose asks when the timeline for this application is.

Planner Davison stated the application is for now, for the improvement identified in the example areas.

Planner Davison clarified that The applicant has the ability to apply every 12 months. This grant is a refund after the fact grant. The planning department has to approve the project and then issue check request or apply the refund to the utility bill.

MOTION:

Vice Chair Rose moved to approve the \$2,000 mini grant as presented with no conditions.

SECOND:

Commissioner Nichols seconded the motion.

VOTE:

The motion carried (6-0).

VII. OTHER BUSINESS

ITEM 4 Historic Preservation Awards 2025

Planner Ringsred stated that some of the 2023 awards were not picked up by the home owners.

Chair Kindseth stated that commissioners would pass out the previous awards.

Planner Ringsred distributed the awards still in need of distribution.

Planner Ringsred stated the existing list is for MCACs approved in 2023 and 2024

Commissioner Edmundson shared details regarding the awards ceremony in 2023.

Chair Person Kindseth has reserved the Library Community Room for May 29th a Thursday evening.

Planner Ringsred requested we give as much notice to the awardees as possible. They stated that on the April 2025 hearing we need to review and provide recommendations for the awards so that we can move forward with notifications.

Commissioner Murphy asked if there would be a powerpoint for all of the project.

Planner Ringsred stated that commissioners have gone to the sites in the past and cross referenced this with the MCAC packets.

Commissioner Edmundson stated that you go to the address refer to the packet in the agenda archives and see if the work has been completed per the MCAC.

Chair Kindseth asked if the list would be divided.

Vice Chair Rose stated that it would be helpful for all of the commissioners to review.

Planner Ringsred showed the commissioner where the archived packets could be found on Documents On Demand.

Commissioner Edmundson volunteered to find the previous years artist contact information and would also contact Audrey Grey at CRANE.

Planner Ringsred asked if there was a budget

Commissioner Edmundson stated that the budget has typically been around \$500 to \$600.

Chair Kindseth will look into caterers for the May 29th event. The city generally tries to support local businesses when purchasing food, though there is no preferred food vendor.

VIII. Historic Preservation Month

Historic Preservation Month Photo Contest:

Vice Chair Rose will create a graphic design for the contest application. Twelve photos are needed for the design. Commissioners will each take two or three photographs around town for the contest.

To avoid violating Sunshine Laws, commissioners should send their photos to staff. Staff will then forward them to Vice Chair Rose to compile the scavenger hunt.

The types of photographs needed include: Bridges, Buildings, Neon signs, Close-up architectural details, Main features of buildings that are easily identifiable

Chair Kindseth will be meeting with the Chamber of Commerce to help with referring between sights and promoting the Scavenger Hunt.

Planner Ringsred stated she can be present but does not have to be.

Planner Ringsred stated that Pikes Peak Bulletin is also an option for advertising beginning the last two weeks in April. Erin advises the Commission that the City generally pays for all advertisement space.

Chair Person Kindseth is considering approaching them to do an article. The scavenger hunt concept is based on the "Where is it?" feature the Pikes Peak Bulletin used to run, but with a historic preservation focus to familiarize people with Manitou Springs' historic buildings and raise awareness about the Historic Preservation Commission and available resources. Reaching out to Hala at the Pikes Peak Bulletin to discuss costs and advertising options is suggested. The goal is likely to publish all 12 photos at once, requiring a larger space than an eighth of a page. Publishing photos gradually over several weeks is also mentioned as a possibility. The Heritage Center is a 501(c)(3) organization, so publishing through them might qualify for a free or very low-rate Public Service Announcement.

The agenda item will be revisited at the April meeting with information on funding options (all at once vs. weekly), costs, and the possibility of an article.

The Chamber of Commerce and The Heritage Center are suggested as potential partners for the scavenger hunt. The Chamber could be a convenient drop-off location for entries, as they have a counter. The Heritage Center could potentially publish information as a PSA.

Typically, there is a prize (a book donated by a local bookstore) for a drawing of correct entries. Since there is no local bookstore currently, a gift certificate from a local restaurant or shop is suggested as an alternative. Chair Person Kindseth will follow up on the prize

IX. ADJOURNMENT

With no other old business, the meeting is adjourned at 7:10 pm

Minutes prepared by Amanda Robinson.

Tammila Wright, Alternate Member (03/31/2028)

1 regular and 2 alternate positions available

Staff and Liaisons:

Michelle Whetherhult, City Council Liaison
Fred Rollenhagen, Planning Director Chelsea
Royston, Senior Planner
Erin Ringsred, Planner and Landscape Architect II Zachary
Davison, Planner I

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Title: MCAC 2502 - 56 Park Avenue - Exterior Alterations
From: Zach Davison - Planner
To: Historic Preservation Commission
Address of Proposal: 56 Park Avenue
Applicant: Eli Morgan, Applicant

April 2, 2025

Proposal:

Eli Morgan, applicant, requests a Material Change of Appearance Certification to perform the following exterior alterations:

- Installation of a retaining wall in the rear of the property.
- Parking area expansion in the newly leveled area in front of the retaining wall.

This subject property is considered a non-contributing resource to the West Manitou Historic Sub-District.

Zone District:

Commercial (C)

Historic Subdistrict:

West Manitou

Background and Existing Conditions:

The subject property includes an existing structure built in 1947, measuring 2,449 square feet, along with an adjacent parking lot and rear vegetated yard area. The parking area serves the site but has deteriorated over time, exhibiting signs of asphalt failure, cracking, and uneven surfaces. The parking area does not have a well-defined drainage system, and stormwater runoff flows inconsistently across the site. The rear area consists of vegetation, bare ground, and gravel, with retention limited to the upper portion of the slope. Various signs of degradation and erosion are present throughout the site.

Public Involvement:

The application was noticed via postcards to properties within 300 feet of the property boundaries, in the newspaper and via a poster posted on site. No comments have been received as of the publication of this report.

Findings and Review Criteria:

The following guidelines are applicable to this project:



Chapter 10: Site Improvements for Residential and Commercial Properties.

Guideline 10.3 New retaining walls, bridges and stairs shall match the appearance and alignment of existing and/or adjacent walls, as well as the character, quality and appearance of other retaining walls, bridges and stairs in the Historic District.

The retaining wall will be comprised of a locally produced fractured ledge stone from Stone Strong. This pattern has the same look and feel of other stone walls around Manitou Springs. The stone can be stained to match the aesthetic of traditional Manitou Springs colors. The only underlying difference between the proposed retaining wall and the neighboring wall is the height. Due to contemporary retaining wall requirements, the wall is not able to be built to match the twenty-two (22) foot neighboring wall and lacks the need to do so.

Site Drainage

Stormwater will be managed through a concrete swale that will be sloped at 0.02 ft per foot that abuts an asphalt slope of 1/8 per foot toward the swale. This concrete swale will be aligned in the middle of the driving area and will reside along the length of the parking area.

Additional required applications will include: a grading and erosion control permit, a minor site plan, and a property improvement permit. These permits may alter the final design of the retaining wall structure, but the facade presentation will comply with standards set by the Historic Preservation Commission.

Automobile Access and Parking

Visual impacts of the current parking area are already mitigated with the use of trees, vegetation, and fencing. This project does not alter screening techniques and seeks to enhance it by adding more native vegetation.

Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to grant MCAC 2501, staff does not recommend any conditions.

Motion Language Options:

Approve the Material Change of Appearance Certification at 56 Park Avenue, based upon the findings that the request meets the review criteria for granting a Material Change of Appearance Certification as set forth in City Code Section 17.04.050.B.5.

Approve the Material Change of Appearance Certification at 56 Park Avenue, based upon the findings that the request meeting the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with conditions as follows...



Deny the Material Change of Appearance Certification at 56 Park Avenue, based upon the findings that the request does not meet the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5.

Postpone the Material Change of Appearance Certification at 56 Park Avenue, to May 7, 2025, for further consideration.



APPLICATION TYPE

Physical Development Permits

- | | |
|--|---|
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Hillside Development Plan |
| <input checked="" type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Sign Permit |
| <input checked="" type="checkbox"/> Minor Development Plan | <input checked="" type="checkbox"/> Grading Permit |
| <input type="checkbox"/> Major Development Plan | <input checked="" type="checkbox"/> Material Change of Appearance |

Use Permits

- | | |
|---|---|
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Wireless Facility Permit |
| <input type="checkbox"/> Short-term Rental Permit | <input type="checkbox"/> Temporary Use Permit – Minor |
| <input type="checkbox"/> Long-term Occupancy Permit | <input type="checkbox"/> Temporary Use Permit- Major |

Subdivisions

- | | | |
|--|--|---|
| <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Boundary Adjustment | <input type="checkbox"/> Easement Vacation |
| <input type="checkbox"/> Major Subdivision | <input type="checkbox"/> Revised Final Plat | <input type="checkbox"/> Rights-of-Way Vacation |
| <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Waiver of Replat | |
| <input type="checkbox"/> Final Plat | | |

Relief from the LUDC

- Waiver
- Variance

Amendments

- LUDC Amendment
- Minor Modification
- Rezoning

Applicant's Statement

I understand the procedures that apply to my request and acknowledge an incomplete application shall not be processed or scheduled for public hearing until such time as it is complete. City acceptance of the application, fee, and any accompanying materials does not constitute completeness. I further agree to reimburse the City for technical and professional consultant expenses that may be incurred during the review of my request. Failure to reimburse the City for invoiced expenses constitutes an incomplete application. I understand and acknowledge the use or action for which approval is requested is not allowed unless the permit is granted. I understand a pre-application appointment is required a minimum of 10 workdays prior to submission deadline.

Elis Morgan
Applicant's Signature

3/10/25
Date

Owner's Statement

I have read and agree to the above statements. In addition, if I am not the applicant for this request, I further give the above designated applicant permission to make the request on my behalf.

Elis Morgan
Property Owner's Signature

3/10/25
Date

Yellow Deli Retaining wall & Grading

1. Project address:

- ❖ 56 Park Ave. Manitou Springs Co 80829

2. Property owner:

- ❖ Yellow Deli

3. Property Owner, Contact information and Address

- ❖ The Yellow Deli LLC (Eli Morgan)
- ❖ PH. 660.525.7555
- ❖ E. Elimorgan@gmail.com , 56parkaveconstruct@gmail.com

4. Architect

- ❖ Art of Engineering (Scott Harvey)
- ❖ 515 Manitou Ave # 260
Colorado Springs co 80829
- ❖ E. service@artofengineering.com

5. Description of existing improvements

- ❖ In 2013 we were issued a permit to regrade and construct a retaining wall at the North end of our parking lot and to regrade our parking lot to make it suitable for parking and handicap accessibility.
- ❖ We were able to accomplish demo of the existing wall and moving a telephone pole as per the previous permit.
- ❖ The work began as permitted but was slowed due to financial challenges and the permit expired. Our ambition is to keep going with a very similar plan.
- ❖ Our proposed plan includes erecting a new Precast "stone like" retaining wall at the north edge of property as described in the plans. The product will look very similar in color and design to the photo below taken from Tubby's Turn Around looking across Manitou Ave.

Yellow Deli Retaining wall & Grading



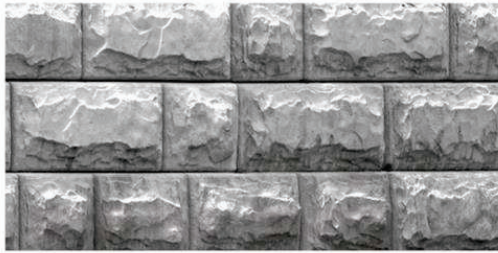
- ❖ The plan also includes grading the parking lot and repaving

- ❖ We will also be landscaping the east edge of our parking lot Native shrubs, trees and mulch.
- ❖ This plan also allows access needed by the Manitou sewer Dept to a cleanout behind our building which not currently accessible due to the work not completed on the expired permit.

- ❖ We hope to complete this project for the sake of beautifying our town and cleaning up our property to having a usable parking lot. This would make our building usable in the future and help bring revenue to ManitouSprings.
- ❖ Considering the wall on our neighbor's property to the east we feel like our wall will compliment and keep a congruent look.

Yellow Deli Retaining wall & Grading

6. Below is a product from Stone Strong, this is our selection. It is produced locally and can be stained to blend with traditional Manitou colors.



CHISELED GRANITE

Derived from blocks hand-chiseled by artisans, the pattern is intended to match the classic look of natural, chiseled stone.



FRACTURED LEDGE

Created from actual fractured ledge stone, the highly defined pattern offers the most natural look to match most any application.



POTOMAC

Smooth and broken up, this pattern was produced to replicate actual original cobblestone from the East Coast cities.



TENNESSEE FoothILLS

Sharp and well defined, the pattern was developed by laser-mapping actual retaining walls in the Smoky Mountains.



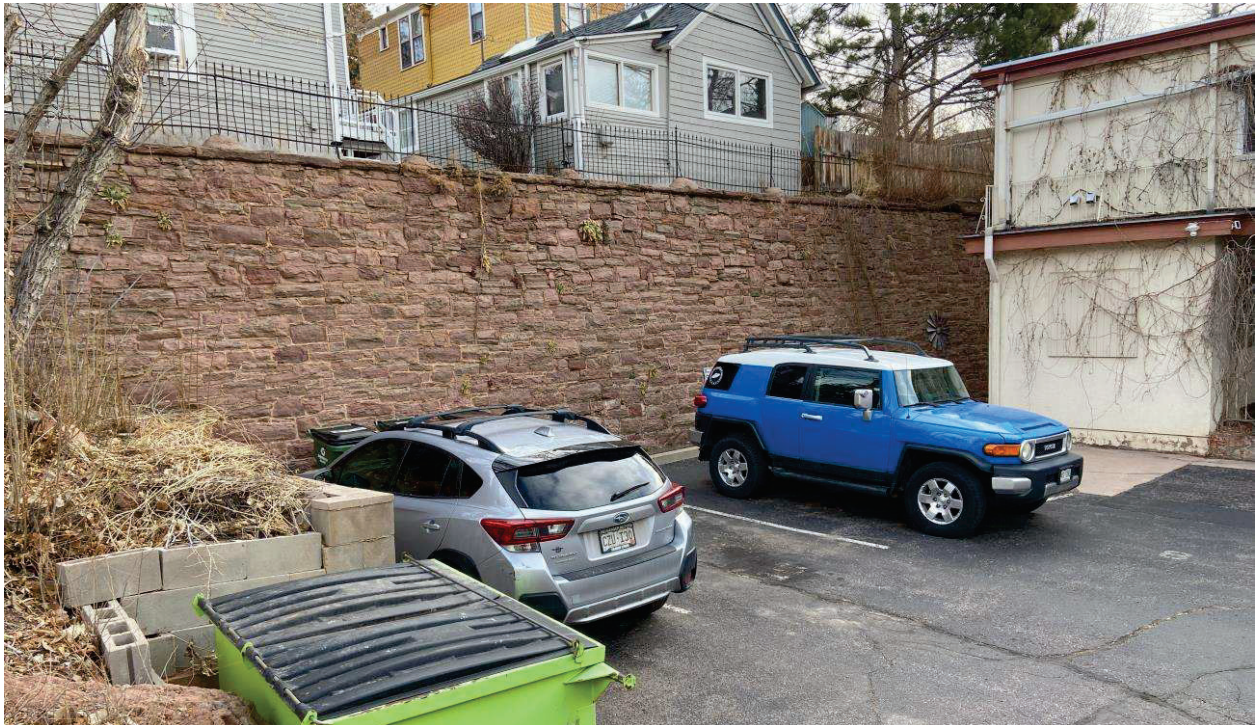
7. Below are Photos of the current conditions and neighbors, Note the neighbor to the east has a wall that stands nearly 22' tall and matching the height would not be possible due to current codes.

Yellow Deli Retaining wall & Grading

7. Looking north at 56 park ave and east Neighbor



8. Looking north at 56 park ave only



Yellow Deli Retaining wall & Grading

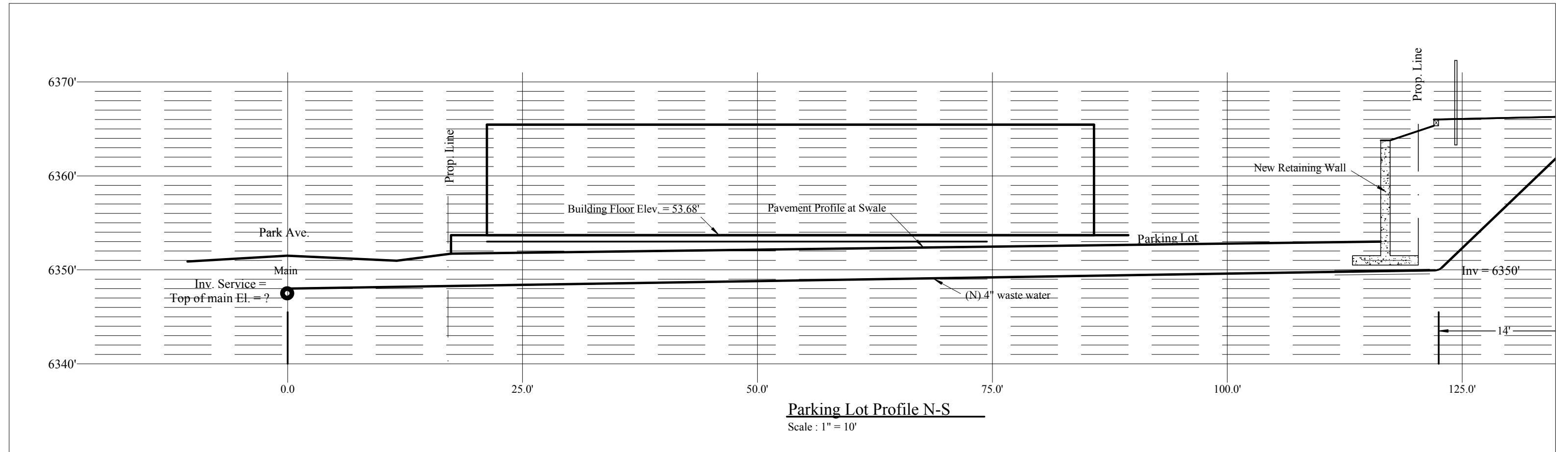
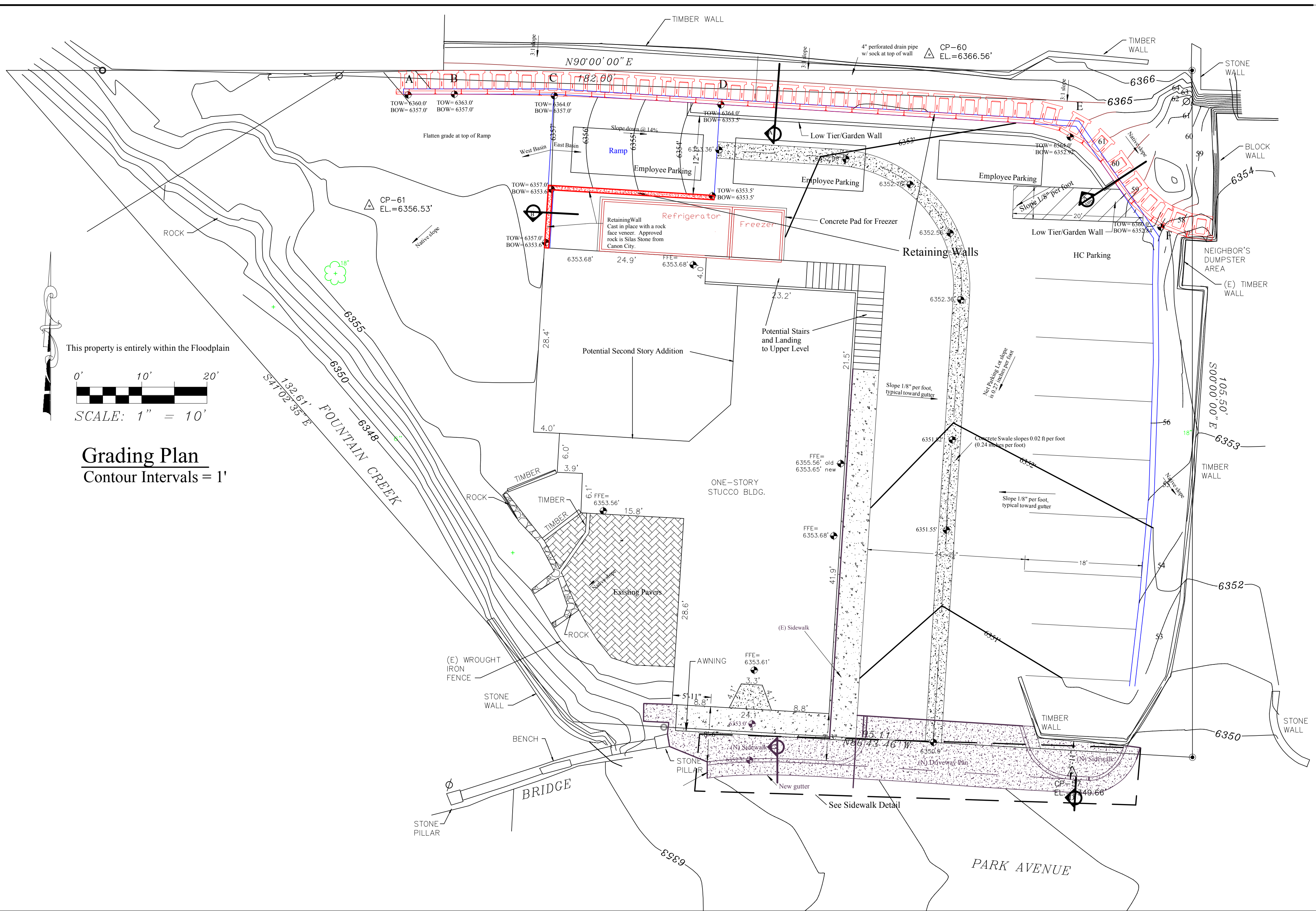
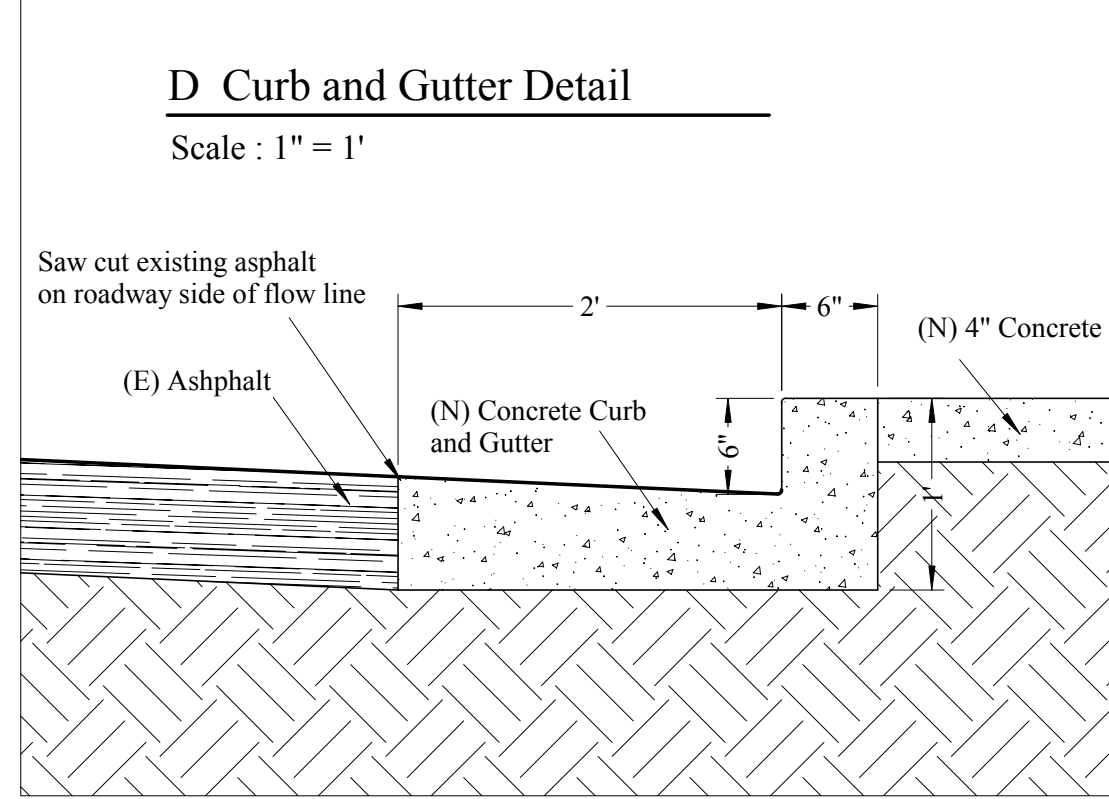
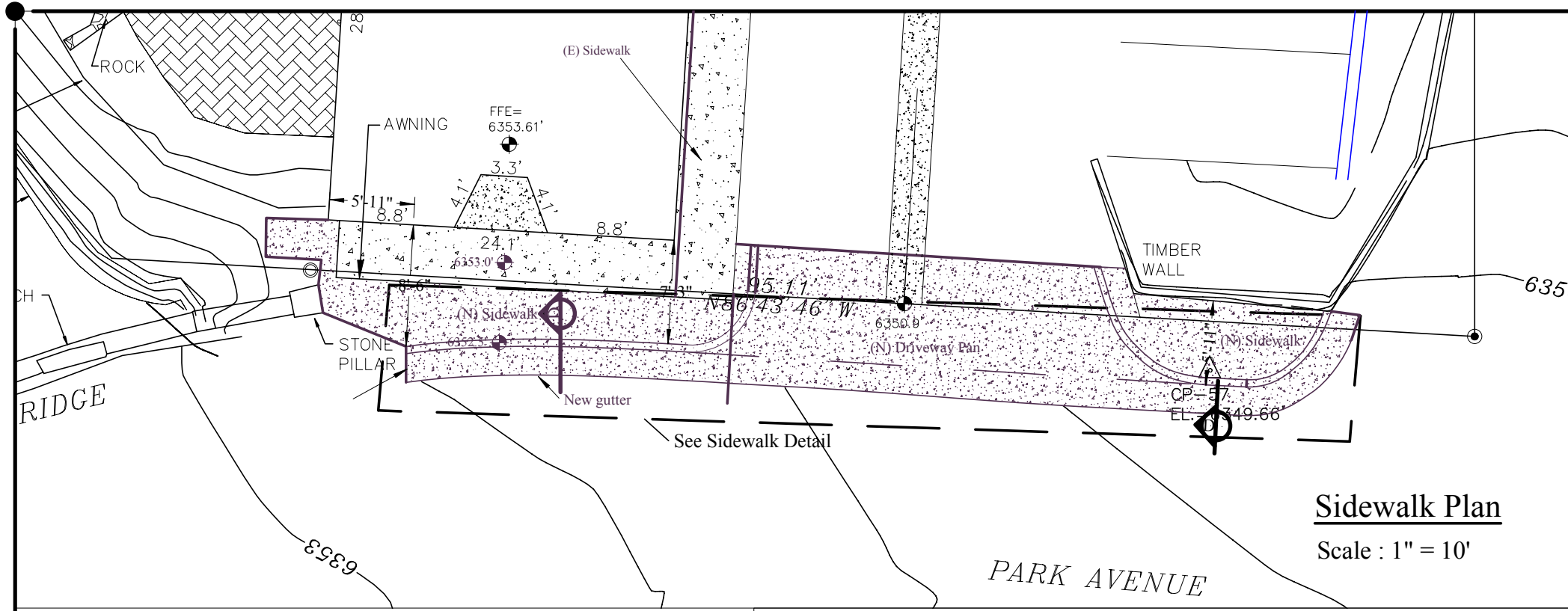
9. Looking se towards park ave



Yellow Deli Retaining wall & Grading

10. Facing north towards location of new retaining wall





Erosion and Drainage Practices

1. Prevention of erosion from the construction site is simplified by the existing and proposed drainage area that is confined by existing topography and berms. The sole drainage path for the areas to be disturbed is through the existing driveway access.
2. A silt fence / gate will be employed across the driveway to positively intersect and trap erosion during construction. The daily use of the gate will require frequent cleaning with removed soils being redistributed in the excavated areas.
3. Spoils - the grading plan calls for all cuts with no fills that would require storage. There are no top soils to be retained. Erosion captured by the silt gate will be redistributed.
4. The west portion of the lot will remain in its native condition. The east portion of the lot will have very limited erosion potential from the berm on the east and from behind the retaining wall on the north. These two areas amount to 1013 square feet. The slopes in these two areas vary but have mostly vegetation as ground cover.
5. Silt fences are shown on the Grading Plan.
6. Clearing is limited to the cut area associated with the parking lot lowering. Retaining wall Option #3 can be built with little land disturbance behind them.
7. Stabilization of soil in the Parking Lot area will come with construction of the permeable pavers. Finish of the area at the top of the Public Works access ramp shall be accomplished with mulch and native grass seed within 14 days of grading this area.
8. There will be stock piles of sand and gravel used to the paving system. These stock piles shall be kept out of the drainage path and within the confined construction area (no street storage).
9. Soil shall be kept moist by water spraying to reduce wind erosion.
10. Uphill waters above north and east retaining walls are collected and discharged onto paved area in the southeast corner of the parking lot.
11. The silt gate is our sediment trap. The rock apron (vehicle tracking pad) will catch much tire carried soils. Clean-up of the street area will have to occur based on truck traffic.
12. Adjacent properties should not be impacted by construction activities as topography will confine any erosion to this property.
13. As shown.
14. A dumpster will be provided during periods of construction associated with debris.
15. All liquids, paints and chemicals shall be stored inside or in suitable outdoor storage shelter.
16. Concrete forms shall be 'oiled' with attention paid to overspray where drippage and overspray are collected on tarps of absorbent materials that can be directed to landfill. Use of Insulated Concrete Forms will eliminate most of the need for form oil use.
17. A concrete wash-out put will be provided in the south east corner. Concrete trucks are allowed to wash chutes and equipment but drum clean out shall occur at the plant.
18. Porta Potties shall be located in an area at least 15' from any drainageways.
19. Contractor shall maintain erosion control features so as to not allow run-off from site to enter creek, street or adjoining properties.
20. Erosion control features shall be cleaned and maintained for proper effectiveness.

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General Contractor must verify all conditions, dimensions and notify designer of any discrepancies or omissions prior to starting work on site. All work must be completed to be sealed (or even multiples of that) but... DO NOT SCALE DRAWINGS

Yellow Delh Manitou Springs
56 Park Ave.
Manitou Springs, Colorado 80829

Art of Engineering, Inc.
Architectural, Civil and Construction Services
515 Manitou Ave #260 Colorado Springs, CO 80829
Phone: 719-528-1557
Email: Service@ArtOfEngineering.com

Client Information:
Mate Factor LLC
966 Manitou Ave.
Manitou Springs, CO 80829

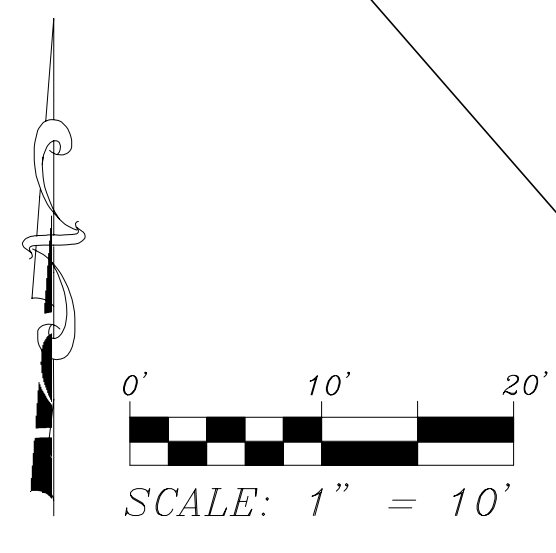
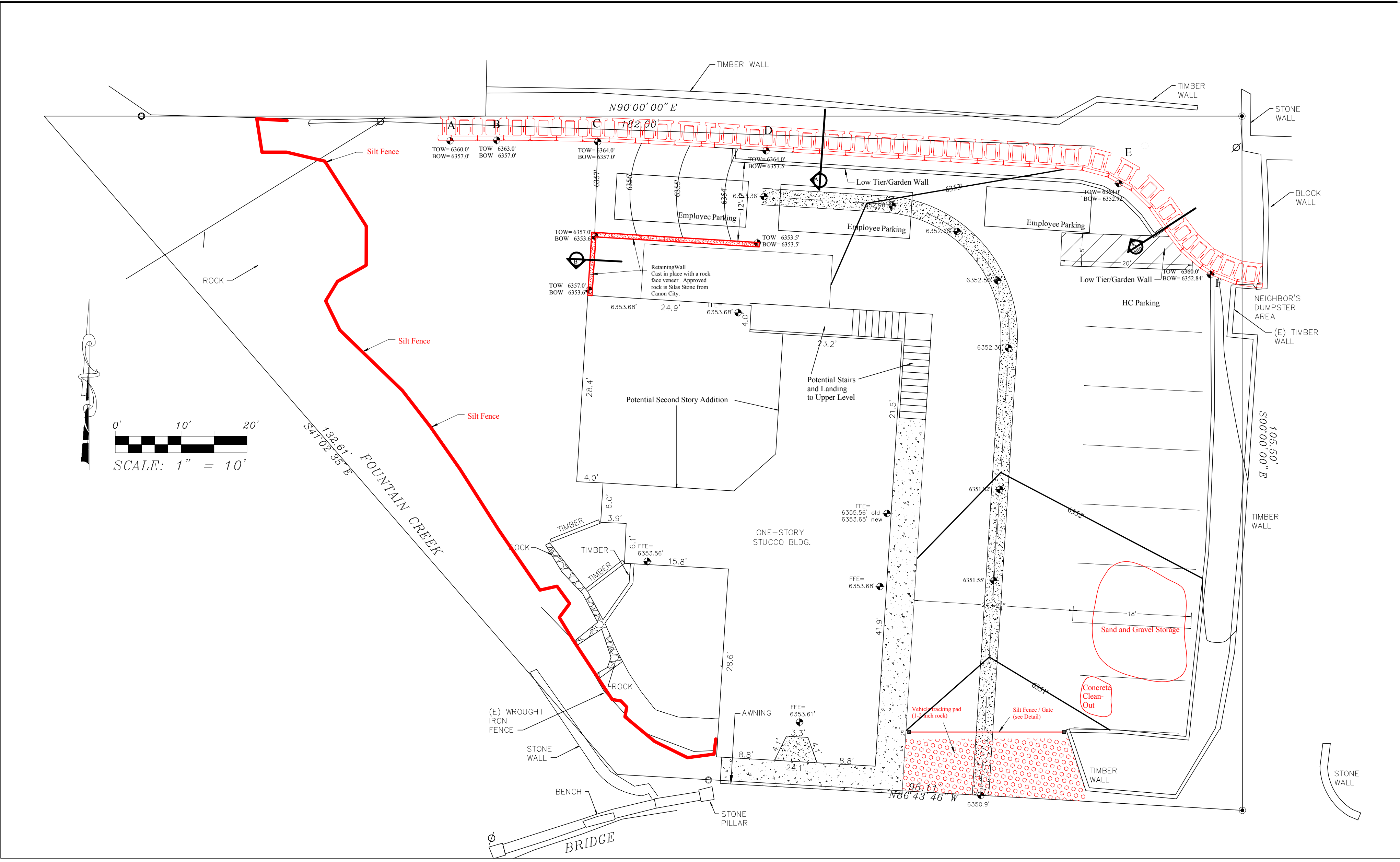
Number	Date	Revisions

Project Number : 12084
Project Phase: Retaining Wall Permit
Drawn by : RSH
Drawing Date : Jan 6, 2025

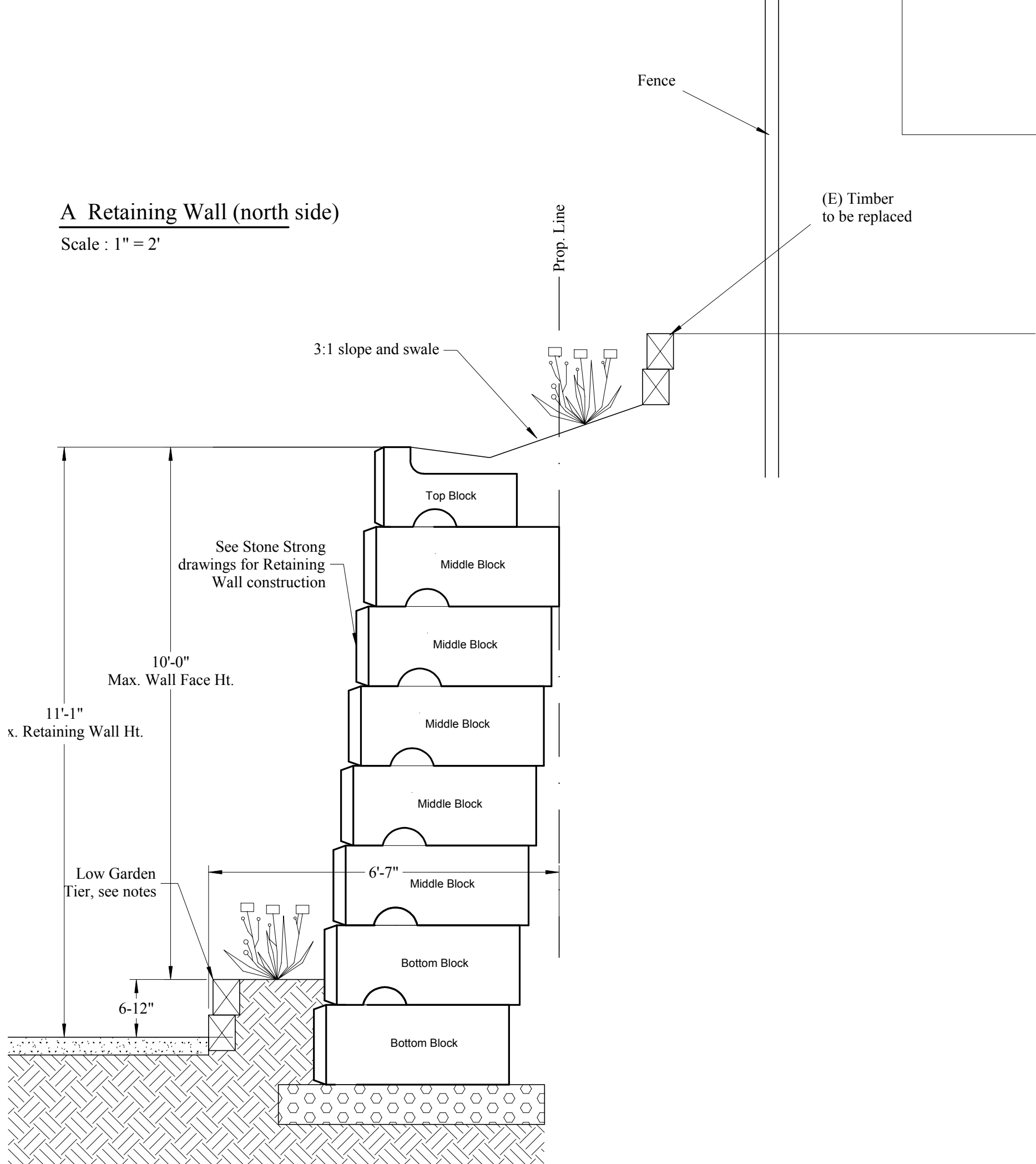
Grading Plan

Notes on Foundation and Concrete

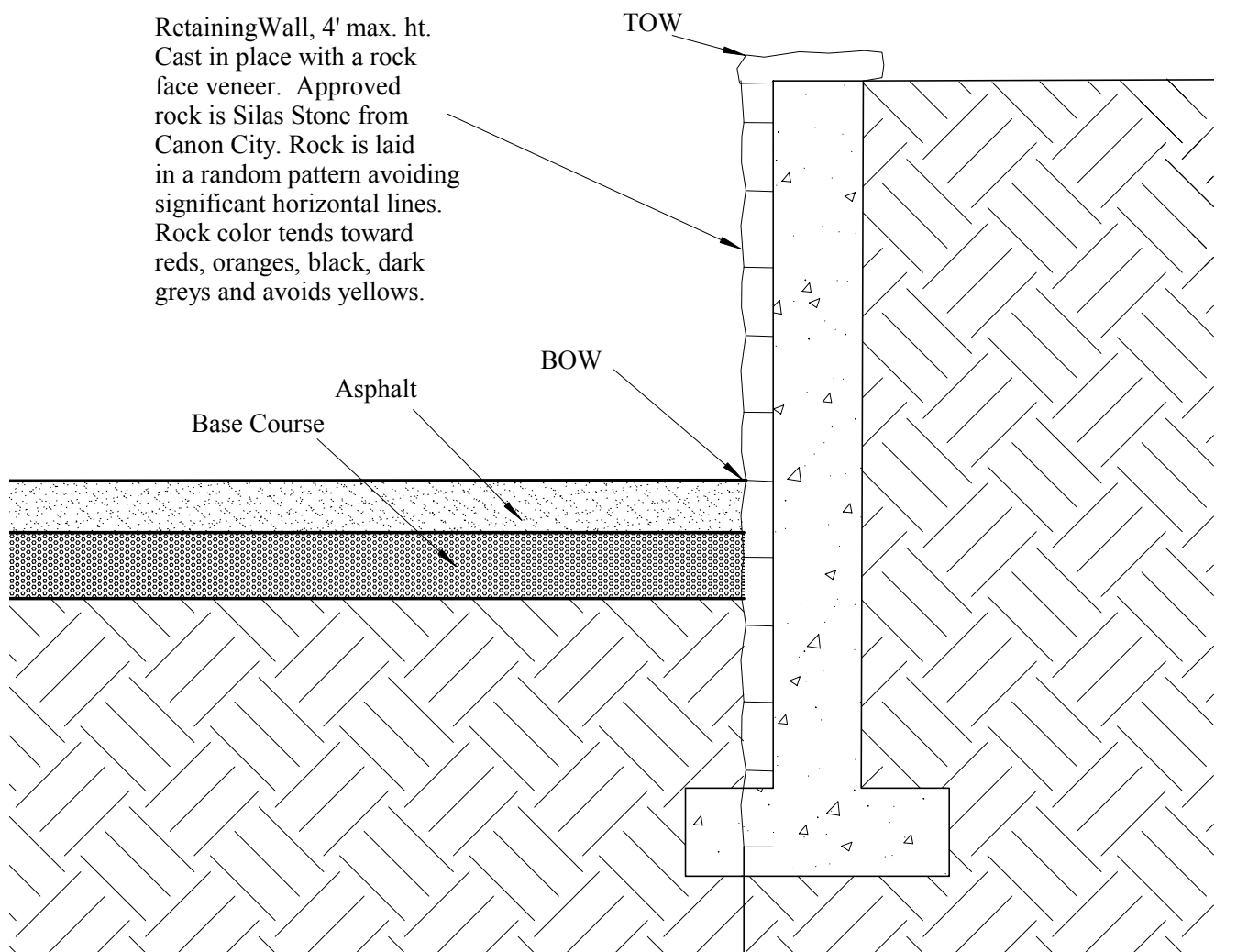
- GENERAL**
- All foundation and concrete work shall comply with the International Building Code and American Concrete Institute standards.
- SOIL**
- SOILS REPORT BY Geoquest # 13-0119
 Allowable bearing capacity is 1500 psf EFP is 40 pcf
- Builder, contractor and subcontractors shall follow all recommendations of Soils Report including but not limited to: open hole testing, soil compaction, drainage, perimeter drain, suspended walls and isolation of structure from soil.
 - Remove all loose soil from footing areas and compact per soils report.
- CONCRETE**
- All concrete is 4000 psi strength (after a maximum 28 day cure). Maximum slump is 3 inches.
 - All concrete is TYPE II and calcium chloride must not be added.
- REINFORCING**
- All rebar is Grade 60
 - All rebar splices must lap each other as follows:
 - #4's = 12"
 - #5's = 16"
 - #6's = 20"
 - #7's = 27"
 - #8's = 35"
 Welded Wire Fabric (mesh) must overlap two wires.
 - Rebar must be minimum distances from face of concrete as follows:
 - Concrete exposed to earth or weather: #6 bars and larger is 2" from face, #5's and smaller is 1.5" from face
 - Concrete not exposed to weather or earth, in slabs, walls & joists: #14 and larger is 1.5" from face, #11 and smaller is .75" from face
 - in beams and columns: all rebar, ties and stirrups are 1.5" from face
 - Minimum bend diameter for rebar is as follows: #4 = 2.5", #5 = 3", #6 = 3.5"
- FOOTINGS**
- Footings can be poured 'neat' in trenches of proper width with vertical sides. (Note, top of footing should be flat and level to start wall forms from.)
 - Place vertical dowels in footing at spacing of vertical rebar. Observe splice lengths above.
 - Continuous rebar in footing shall be bent around corners and spliced as described above.
 - All rebar in footings must be 3" above soil and 3" from forms.
- WALLS & BEAMS**
- Rebar is centered in walls, Unless Noted Otherwise
 - Continuous bars in top of wall are 2" down from top of concrete.
 - Anchor bolts shall be placed between these top bars.
 - Never place anchor bolt between rebar and edge of concrete.
 - Unless authorized by engineer, backfill against against full basement walls must wait until slab on grade is complete and cured.
- SLABS**
- Wire mesh is centered in slab
 - Slabs are to be poured with a maximum slump of 6".
 - All slabs have control joints @ 10' oc each way and min. 1.5" deep.
- RETAINING WALL**
- Wall is built in section not to exceed 20 foot in length.
 - All construction joints are sealed with pliable, expandable membrane or compound.
 - All concrete exposed to soil (except bottom) is damproofed with spray latex/asphalt sealant.



A Retaining Wall (north side)
 Scale: 1" = 2'



B Concrete Retaining Wall (west/ramp)
 Scale: 1" = 2'



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 © 2013 Art of Engineering, Inc.
 General Contractor must verify all conditions, dimensions and notify designer of any discrepancies or omissions prior to starting work or fabrication. Drawings are intended to be sealed (or even multiples of that) but... DO NOT SCALE DRAWINGS

Yellow Deli
Manitou Springs

Art of Engineering, Inc.
 Architectural, Civil and Construction Services

Client Information:
 Mate Factor LLC
 966 Manitou Ave.
 Manitou Springs, CO 80829

Number	Date	Revisions

Project Number : 12084
 Project Phase: Retaining Wall Permit
 Drawn by : RSH
 Drawing Date : Nov. 23, 2018

Retaining Wall

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 10: Guidelines for SITE IMPROVEMENTS for Residential and Commercial Properties								
10.1	10.2	Stone Retaining Walls, Bridges & Stairs						
10.2	10.2	Stone Retaining Walls, Bridges & Stairs						
10.3	10.3	Stone Retaining Walls, Bridges & Stairs	X		X			
n/a	10.3	Site Drainage	X		X			
10.4	10.4	Automobile Access & Parking						
10.5	10.5	Automobile Access & Parking	X		X			
10.6	10.5	Mechanical Equipment & Service Areas						
n/a	10.6	Fencing	X		X			
10.7	10.8	Streetscape						
n/a	10.9	Vegetation	X		X			
10.8	10.10	Lighting						
10.9	10.11	Lighting						

COLORADO HISTORICAL SOCIETY
Office of Archaeology and Historic Preservation
 1300 Broadway, Denver, Colorado 80203
HISTORIC BUILDING INVENTORY RECORD

NOT FOR FIELD USE	
<input type="checkbox"/>	ELIGIBLE
<input type="checkbox"/>	DET. NOT ELIGIBLE
<input type="checkbox"/>	NOMINATED
<input type="checkbox"/>	CERTIFIED REHAB
<input type="checkbox"/>	DATE _____

PROJECT NAME Manitou Springs Commercial Area		COUNTY El Paso	CITY Manitou Springs	STATE ID NO. 5EP530.190 TEMPORARY NO. 56.PA
CURRENT BUILDING NAME			OWNER Sharon C. Johnson 216 W. Cheyenne Mtn. Blvd. Colorado Springs, CO 80906	
ADDRESS 56 Park Avenue Manitou Springs, CO 80829 7405203066			TOWNSHIP 14S RANGE 67W SECTION 05 SW 1/4, NW 1/4	
HISTORIC NAME			USGS QUAD NAME Manitou Springs, Colorado YEAR 1961 7.5	
DISTRICT NAME Manitou Springs Historic District MRA			ADDITION Davis Sub. of Hulbert's Resub. YEAR 1890 BLOCK 1 LOT(S) 7-10	
FILM ROLL # MS-18 FILM ROLL #	NEGATIVE # 11 NEGATIVE #	NEGATIVE LOCATION City of Manitou Springs Planning BY: Andrews & Anderson		DATE OF CONSTRUCTION ESTIMATE ACTUAL 1947 SOURCE El Paso County Assessor Records
				USE PRESENT Laundromat/residence HISTORIC Laundromat/residence
				CONDITION EXCELLENT FAIR X GOOD DETERIORATING
				EXTENT OF ALTERATIONS MINOR MODERATE X MAJOR DESCRIBE dryer vents; sign panel
				ORIGINAL SITE X MOVED DATE(S) OF MOVE:
				NATIONAL REGISTER ELIGIBILITY INDIVIDUAL YES NO X LISTED
				DISTRICT POTENTIAL YES X CONTRIBUTING NO NONCONTRIBUTING X
STYLE	STORIES 1		LOCAL LANDMARK DESIGNATION NAME DATE	
MATERIALS stucco over concrete masonry unit	SQUARE FOOTAGE 1548		ASSOCIATED BUILDINGS YES NO X TYPE	
ARCHITECTURAL DESCRIPTION Simple, rectangular storefront immediately north of Park Avenue bridge w/ open gravel parking to north side; textured stucco over concrete masonry unit; flat, parapeted roof steps @ front, center and corners; pair of fixed full light display windows flank entry door; shallow spanish tile shed roof runs middle 2/3 of north side; apartment @ rear third has metal casement transom (cont.)				IF INVENTORIED, LIST ID #
ADDITIONAL PAGES YES				

	TEMP NO. 56.PA
	ARCHITECT Unknown
	SOURCE
	ORIGINAL OWNER Harold B. Bullington
	SOURCE El Paso County Assessor Records
BUILDER/CONTRACTOR Unknown	
SOURCE	
THEME(S)	

CONSTRUCTION HISTORY (description, names, date, etc. relating to major additions or alterations to original structure)
Assessors record indicates various interior changes and reroof in 1984.

CONTINUED? NO

HISTORICAL BACKGROUND (important persons and events associated with this structure)
No information available.

CONTINUED? NO

SIGNIFICANCE (check appropriate categories and briefly justify below)

<p>ARCHITECTURAL SIGNIFICANCE:</p> <p>REPRESENTS WORK OF A MASTER POSSESSES HIGH ARTISTIC VALUES REPRESENTS A TYPE, PERIOD, OR METHOD OF CONSTRUCTION</p>	<p>HISTORICAL SIGNIFICANCE:</p> <p>ASSOCIATED WITH SIGNIFICANT PERSONS ASSOCIATED WITH SIGNIFICANT EVENTS OR PATTERNS CONTRIBUTES TO AN HISTORIC DISTRICT</p>
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STATEMENT OF SIGNIFICANCE

CONTINUED? NO

REFERENCES (be specific)
El Paso County Assessor Records

CONTINUED? NO

SURVEYED BY Jean Garrity	AFFILIATION Manitou Springs Historic Preservation Commission	DATE 08/01/91
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CONTINUATION SHEET

TEMP. NO. 56.PA

ARCHITECTURAL DESCRIPTION (cont.)

over 3 lite windows.





Title: MCAC 2503 - 528 Canon Ave - Exterior Alterations
From: Zach Davison - Planner
To: Historic Preservation Commission
Address of Proposal: 528 Canon Ave – 7405209062
Applicant: Luke Townsend, Applicant

April 2, 2025

Proposal:

Luke Townsend, applicant, requests a Material Change of Appearance Certification to perform the following exterior alterations:

- Replace wood and vinyl windows with Fibrex wood-composite windows, matching original size and layout.

This subject property is considered a contributing resource to the Agate Hill Historic Sub-District.

Zone District:

General Residential (GR)

Historic Subdistrict:

Agate Hill

Background and Existing Conditions:

The subject property is a one-story structure built in 1905, measuring 1,377 square feet, and known historically as the “Linger Longer Lodge.” The building has an L-shaped footprint measuring approximately 34’-2” by 24’-4”, featuring a gable-on-hip roof with asphalt composition shingles and a Manitou greenstone foundation. Log siding is visible on the north and west elevations. Walls display panels of logs arranged concentrically, with vertical log wainscoting above and below. The north elevation includes two windows: a 1/1 single-hung window with a 2x1 divided lites and a single fixed window. The west elevation has a 1/1 single-hung window with 2x1 divided lites.

At the southwest corner, a Porch under the hipped roof has log columns and original log railing with diagonal balusters. The main entry door is located in the porch’s northeast corner. A brick chimney is at the eastern end of the roof ridge. The southwest corner is a gabled wing clad in wood shingles, containing four 1/1 single-hung windows with 2x1 divided lites. Additionally, two appendages exist on the east elevation—one at the southern end with shingle siding and another at the north end serving as an enclosed porch with log siding and vertical beaded board



Public Involvement:

The application was noticed via postcards to properties within 300 feet of the property boundaries, in the newspaper and via a poster posted on site. No comments have been received as of the publication of this report.

Findings and Review Criteria:

The following guidelines are applicable to this project:

Chapter 4: Guidelines for Preservation, Alterations and Additions to Contributing Residential Structures

Guideline 4.3 Historic windows, window materials, scale and their arrangement and location on a building façade shall be preserved, especially any façade visible from the street.

The windows are currently a mix of wood and vinyl, with most having storm windows installed to increase insulation. These windows will be replaced with 1/1 double-hung windows. The current window color is white, with forest green storm windows. The new windows will be constructed from Fibrex, a wood-composite material. The exterior color of the new windows will be forest green, matching the predominant existing external color, while the interior will remain white. The windows are custom-manufactured specifically for this installation, ensuring there will be change in window size, scale, or arrangement. Trim will remain unchanged.

Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to grant MCAC 2503, staff does not recommend any conditions.

Motion Language Options:

Approve the Material Change of Appearance Certification at 528 Canon Avenue, based upon the findings that the request meets the review criteria for granting a Material Change of Appearance Certification as set forth in City Code Section 17.04.050.B.5.

Approve the Material Change of Appearance Certification at 528 Canon Avenue, based upon the findings that the request meeting the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with conditions as follows...

Deny the Material Change of Appearance Certification at 528 Canon Avenue, based upon the



findings that the request does not meet the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5.

Postpone the Material Change of Appearance Certification at 528 Canon Avenue, to May 7, 2025, for further consideration.



APPLICATION TYPE

Physical Development Permits

- Concept Plan
- Minor Site Plan
- Minor Development Plan
- Major Development Plan
- Hillside Development Plan
- Sign Permit
- Grading Permit
- Material Change of Appearance

Use Permits

- Conditional Use Permit
- Short-term Rental Permit
- Long-term Occupancy Permit
- Wireless Facility Permit
- Temporary Use Permit – Minor
- Temporary Use Permit- Major

Subdivisions

- Minor Subdivision
- Major Subdivision
- Preliminary Plat
- Final Plat
- Boundary Adjustment
- Revised Final Plat
- Waiver of Replat
- Easement Vacation
- Rights-of-Way Vacation

Relief from the LUDC

- Waiver
- Variance

Amendments

- LUDC Amendment
- Minor Modification
- Rezoning

Applicant's Statement

I understand the procedures that apply to my request and acknowledge an incomplete application shall not be processed or scheduled for public hearing until such time as it is complete. City acceptance of the application, fee, and any accompanying materials does not constitute completeness. I further agree to reimburse the City for technical and professional consultant expenses that may be incurred during the review of my request. Failure to reimburse the City for invoiced expenses constitutes an incomplete application. I understand and acknowledge the use or action for which approval is requested is not allowed unless the permit is granted. I understand a pre-application appointment is required a minimum of 10 workdays prior to submission deadline.

 Applicant's Signature

3/17/25

 Date

Owner's Statement

I have read and agree to the above statements. In addition, if I am not the applicant for this request, I further give the above designated applicant permission to make the request on my behalf.

 Property Owner's Signature

 Date

Property Info

Name: Sandra Disney and Ann Edinger

Address: 528 Canon Ave, Manitou Springs, CO 80829

Phone: (719)351-7903

Email: manitoid@gmail.com

Contractor Info

Name: Renewal by Andersen, Luke Townsend

Address: 1401 West Bayaud Avenue, Unit 7, Denver, Colorado 80223

Phone: (719)306-1411

Email: ltownsend@renewalcolorado.com

To Whom it May Concern,

The property owners have elected to replace their windows to be more energy efficient and improve comfort. They have elected to choose Renewal by Andersen due to our Fibrex (wood composite) material, low-e glass, and argon insulated windows. The windows will have a Forest Green exterior with grids in-between the glass to keep the same aesthetic with immensely improved comfort and energy efficiency. The project is a full replacement process including manufacturing, installation, and disposal of the old windows.

Thank you for your consideration.

Luke Townsend

Project Consultant





LINGER LONGER LODGE
NO VACANCY





102 Living

Acclaim™ Double-Hung (DG) - 28.00W x 45.00H



EXTERIOR

360°

INTERIOR



TILT TO CLEAN



102 Living

Acclaim™ Double-Hung (DG) - 28.00W x 45.00H



EXTERIOR

360°

INTERIOR



TILT TO CLEAN



103 Living

Acclaim™ Picture - 53.00W x 45.00H



EXTERIOR

360°

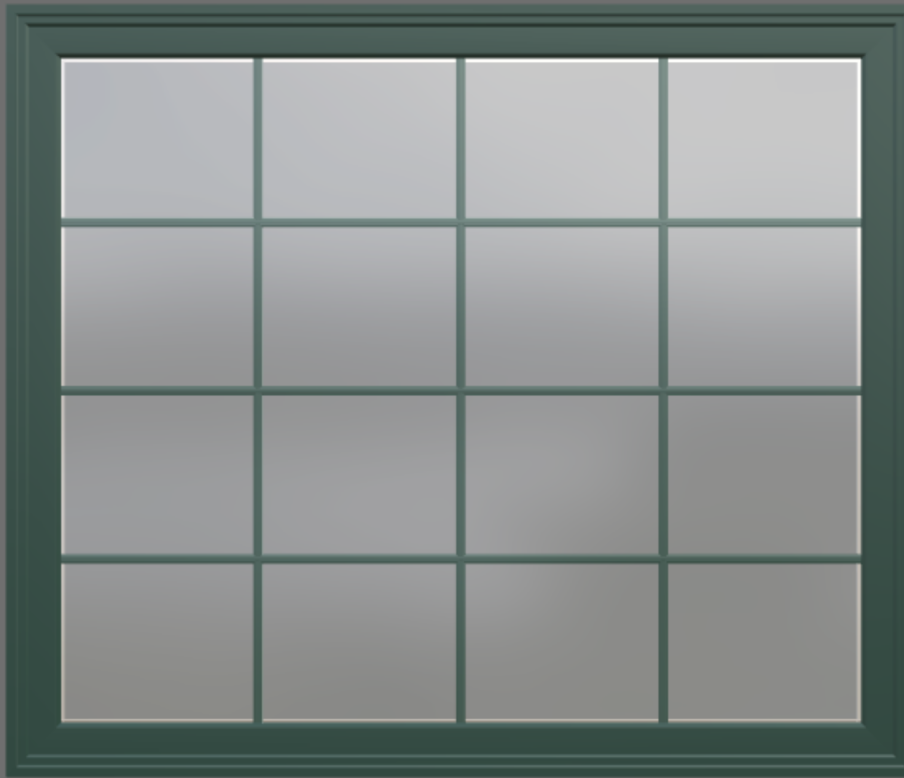
INTERIOR





103 Living

Acclaim™ Picture - 53.00W x 45.00H



EXTERIOR

360°

INTERIOR





104 Living

Acclaim™ Double-Hung (DG) - 28.00W x 45.00H



TILT
TO CLEAN



104 Living

Acclaim™ Double-Hung (DG) - 28.00W x 45.00H



TILT
TO CLEAN



105 Futon Room

Acclaim™ Double-Hung (DG) - 27.00W x 46.00H



TILT
TO CLEAN



105 Futon Room

Acclaim™ Double-Hung (DG) - 27.00W x 46.00H



EXTERIOR

360°

INTERIOR



TILT TO CLEAN



106 Futon Room

Acclaim™ Double-Hung (DG) - 27.00W x 46.00H



TILT
TO CLEAN



106 Futon Room

Acclaim™ Double-Hung (DG) - 27.00W x 46.00H



TILT
TO CLEAN



107 Garage

Acclaim™ Gliding - Double - 58.00W x 40.00H



EXTERIOR

360°

INTERIOR





107 Garage

Acclaim™ Gliding - Double - 58.00W x 40.00H



EXTERIOR

360°

INTERIOR

CHECKLIST FOR APPLICABILITY
City of Manitou Springs Historic District Design Guidelines

Project Name and/or Address 528 Canon Ave Date 3-17-25

STEP 1: Identify an approach for your project (see page 1.7 of the Historic Design Guidelines)

STEP 2: Complete the following Checklist

- **Is the Guideline applicable? If yes, is your project in compliance with the Guideline? If your project is not in compliance, please indicate why not and describe your alternative strategy for fulfilling the intent of the Guideline.**

Photographs and supplemental information are encouraged. Please use a separate piece of paper if you need additional space.

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
Chapter 1: Introduction (Includes Philosophy, How to Use the Design Guidelines and the Submittal Process)								
Chapter 2: Historic Context (Includes information about the Historic Subdistricts on pages 2.7-2.60 and Architectural Styles on pages 2.61-2.72)								
Chapter 3: Guidelines for SUSTAINABLE Building Strategies								
3.1	3.6	Solar Panels and Photovoltaic Cells						
3.2	3.6	Satellite Dish Antennas						
Chapter 4: Guidelines for Preservation, Alterations and Additions to CONTRIBUTING RESIDENTIAL Structures								
4.1	4.1	Architectural Character						
4.2	4.2	Building Alignment						
4.3	4.2	Building Orientation						
4.4	4.2	Building Height						
4.5	4.4	Mass & Scale						

Guideline	Page	Category	Applicable?		Compliant?		Why Not?	Alternative Strategy
			Yes	No	Yes	No		
4.6	4.4	Roof Form						
4.7	4.5	Roof Materials						
4.8	4.6	Chimneys						
4.9	4.6	Dormers						
4.10	4.7	Skylights						
4.11	4.7	Porches						
4.12	4.8	Porch Material						
4.13	4.9	Windows	X			X	- updating to wood composite frames	
4.14	4.10	Doors						
4.15	4.11	Architectural Details						
4.16	4.12	Foundation Ornamentation & Details						
4.17	4.12	Foundation Ornamentation & Details						



Title: 7 Elk Path - Vicky Bunsen Doucette Memorial Mini-Grant
From: Zach Davison - Planner
To: Historic Preservation Commission
Address of Proposal: 7 Elk Path – 7405402039
Applicant: Matthew and Holley Murphy, Owners

April 2, 2025

Proposal:

This \$10,000 fund is located within the City of Manitou Springs’ general fund and is renewed each year. This mini-grant program is a reimbursement grant intended to assist property owners with maintaining their historic structures.

The owners of 7 Elk Path request the Vicky Bunsen Doucette Memorial Mini-Grant to perform the following maintenance:

- Power wash, sand, and paint the exterior of the house.
- Replace any damage where necessary with like materials (cedar shingles, window trim, and wood siding.)

The estimated cost of this project is \$5,500. Applicants are requesting a \$2,000 reimbursement allowance and are providing \$3,500 in matching funds.

Zone District:

General Residential (GR)

Historic Subdistrict:

Midland

Background and Existing Conditions:

Built in 1892, this two-story, 1,942-square-foot house has a generally rectangular footprint with a side wing a covered porch wrapping around the front and side facades. The exterior is clad in horizontal wood side, with decorative fish-scale shingles in the front-facing gable. A lower-pitched roof over the porch, separated from the main roof by a slight break in the roof line, is supported by turned columns, spindled frieze trim, and corner ornamentation.

On the main level, the street-facing façade includes a pair of tall 1/1 double-hung windows and two similarly tall 1/1 single-hung windows, all evenly spaced. Where the main block meets the side wing, there is an independent corner pent roof. The primary façade also has tall triple-hung (1/1) windows, with the main entrance located to the right.

Above, the second story is defined by a steeply pitched roof and front-facing gable, which contains 1/1 double-hung windows. An east-facing dormer runs along the roofs ridge, containing two 1/1 double-hung windows. On the west side, there are two distinct projections, each capped



by its own roof, creating a staggered roof profile.

Public Involvement:

Public notice is not required for this application.

Findings and Review Criteria:

There are no specific review criteria for this grant and the program guidelines are not located in code and are not adopted by the City Council. Therefore, the Historic Preservation Commission has the authority to approve or deny requests of any amount.

Staff Recommendation:

Should the Historic Preservation Commission find it appropriate to grant this Vicky Doucette Memorial Mini-Grant, staff does not recommend any conditions.

Motion Language Options:

Approve the Mini-Grant Application for 7 Elk Path, based upon the findings that the request meets the review criteria for granting a Material Change of Appearance Certification as set forth in City Code Section 17.04.050.B.5.

Approve the Mini-Grant Application for 7 Elk Path, based upon the findings that the request meeting the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5, with conditions as follows...

Deny the Mini-Grant Application for 7 Elk Path, based upon the findings that the request does not meet the review criteria for granting a Material Change of Appearance Certification, as set forth in City Code Section 17.04.050.B.5.

Postpone the Mini-Grant Application for 7 Elk Path, to May 7, 2025, for further consideration.

Vicky Bunsen Doucette
Memorial Mini-Grants for Maintenance of Historic Properties
APPLICATION PART 1 – INITIAL GRANT APPROVAL

Date Submitted 3/21/2025

Name of Owner Applicant(s): Holley Murphy
Phone: 512-618-3435 Email: holleyhickman22@gmail.com

Property Name (if any): _____

Property Address: 7 Elk Path Manitou Springs, CO 80829

Historic Subdistrict Property is located within: Midland

Tax Parcel Number: 7405402039

Legal Description (attach separate page if needed): LOT 2 THE CREE REPLAT

Brief Project Description: Please provide a brief project description of all work associated with the project. Work that will not be funded, but is associated with funded work should be included. We would like to apply the funds to use on cleaning, rehabilitation, and painting on the exterior of our home. We will us like material for any that is deemed unsuitable. Our goal is to restore the historical aspects and incorporate a victorian color scheme.

Photos and Detailed Project Description: Using the form provided, attach general photograph(s) of the building or structure and detailed photos of existing conditions that will be addressed by the proposed project. Provide a brief description of each photo and what the associated work will consist of.

Total estimated cost of project: \$ 5,500 Amount of grant request: \$ 2,000 up to \$2,000

Amount of match funds: \$ 3,500 (25% min.)

Start date of project: May 2025 Estimated completion date: May 2025

General Conditions

- It is understood and agreed that the applicant shall be solely responsible for all safety conditions and compliance with all safety regulations, building codes, ordinances and other applicable regulations.
- It is understood and agreed work initiated or completed prior to approval of this grant application is ineligible for funding and will not be funded.
- It is expressly understood and agreed the applicant or owner will not seek to hold the City of Manitou Springs or the Manitou Springs Historic Preservation Commission liable for any property damage, personal injury, or other loss relating in any way to work done in connection with the Maintenance Grant Program.
- The applicant agrees to maintain the property and improvements.
- The applicant authorizes the City of Manitou Springs to promote an approved project, including but not limited to displaying a sign at the site, during and after construction, and using photographs and descriptions of the project in City of Manitou Springs promotional materials, press releases, and on the City’s website.
- The applicant understands the City of Manitou Springs reserves the right to make changes to the Maintenance Grant Program.

I hereby apply for preliminary grant approval for the work described in this application for which I am seeking reimbursement of the funds up to \$2,000 as specified. I certify by signing below that I am the legal owner of the subject property and, to the best of my knowledge, the information provided in this application is true and correct. I agree to allow representatives of the City of Manitou Springs and/or the Manitou Springs Historic Preservation Commission access to the property as may be necessary and reasonable for the review and approval of this application.

Holley Murphy

3/21/2025

Signature of Applicant

Date

Planning Staff Use Only

Application Complete: ✓ Incomplete: _____

Applicant Sent for Individual Commissioner Review: _____

Approved: Y N

Conditions: _____

PHOTOS AND DESCRIPTION OF NEEDS/PROJECT

Insert or Attach Photo Here



Photo # 1 Drawing # _____ Cost estimate: _____

Describe photo and proposed work:

This is the front of the home as seen from Elk Path. You can also see in this photo an example of the deteriorating paint in the lower left of the scallop shingles.



Photo # 2 Drawing # _____ Cost estimate: _____

Describe photo and proposed work:

This is a closeup of 1 of the 12 posts on the front porch which will be restored and painted white with 2 accent colors